GENERAL NOTES HIS PLAN IS SUBMITTED PURSUANT TO A SETTLEMENT AGREEMENT BETWEEN NORTH CORNWALL

- TOWNSHIP AND SPRINGWOOD DEVELOPMENT PARTNERS, LP, DATED AS OF APRIL 20, 2010, AND APPROVED BY THE COURT OF COMMON PLEAS OF LEBANON COUNTY PURSUANT TO A CONSENT DECREE, DATED AUGUST, 2, 2010
- THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSTRUCTION PLANS FOR THE FOR SALE APARTMENT BUILDING (BUILDING 1 ON LOT 26). FINAL PLANS FOR FUTURE PHASES MUST BE FILED SEPARATELY. NORTH CORNWALL TOWNSHIP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY
- AREA, IMPROVEMENT, LANDSCAPING, ETC. NOT DEDICATED FOR PUBLIC USE. PARKING THAT COMPLIES WITH THE OFF-STREET PARKING REQUIREMENTS OF THE CURRENT SETTLEMENT
- AGREEMENT SHALL BE PROVIDED ON EACH LOT ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF STECKBECK ENGINEERING & SURVEYING, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL OF STECKBECK ENGINEERING &
- SURVEYING, INC NO ONE SHALL SCALE FROM THESE PLANS. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER RESPONSIBLE FOR THE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS ARE TAKEN FROM THE FACE OF CURB AND EXTERIOR FACE OF THE BUILDINGS, UNLESS OTHERWISE NOTED ON THE PLAN. NO WALL, FENCE, OR OTHER STRUCTURE SHALL BE ERECTED, ALTERED OR MAINTAINED, AND NO HEDGE. TREE. SHRUB OR GROWTH SHALL BE PLANTED OR MAINTAINED WHICH EXCEEDS TWO AND ONE-HALF (2
- 1/2') FEET AS IT MAY RESULT IN A VISUAL OBSTRUCTION WITHIN THE CLEAR SIGHT TRIANGLES AT STREET INTERSECTIONS. GROSS LOT AREA IS CALCULATED TO THE TITLE LINE. NET LOT AREA WILL EXCLUDE EXISTING STREET RIGHT-OF-WAYS AND STORMWATER MANAGEMENT BASIN AREAS BUT WILL INCLUDE ANY INTERNAL
- EASEMENTS OR RIGHT-OF-WAYS. ALL STREET LIGHTS SHALL BE APPROVED BY MET-ED AND THEIR INSTALLATION SHALL BE COORDINATED
- WITH MET-ED. MET-ED SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STREET LIGHTS. ALL STRUCTURES WITH BASEMENT ELEVATIONS THAT ARE LESS THAN 2' ABOVE THE 100-YEAR WATER
- SURFACE ELEVATION, AS IDENTIFIED ON THE GRADING PLANS, SHALL BE ADEQUATELY WATER PROOFED BELOW THAT ELEVATION IN ORDER TO PREVENT FLOODING. THE DEVELOPER SHALL MAINTAIN UNDEDICATED STREETS UNTIL SUCH TIME THAT THE TOWNSHIP ACCEPTS
- DEDICATION. AT THIS TIME THE DEVELOPER SHALL POST AN EIGHTEEN(18) MONTH MAINTENANCE BOND FOR SUCH STREETS
- DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, NO ALTERATION FROM THE PLAN MAY BE MADE WITHOUT TOWNSHIP APPROVAL. CHANGES TO THE APPROVED PLAN SHALL ONLY BE AUTHORIZED BY WRITTEN APPROVAL OF THE TOWNSHIP OR DESIGNEE (E.G., TOWNSHIP ENGINEER).
- ROADWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF NORTH CORNWALL TOWNSHIP. IN THE ABSENCE OF A NORTH CORNWALL TOWNSHIP STANDARD THE CURRENT PENNDOT
- STANDARDS FOR ROADWAY CONSTRUCTION SHALL BE UTILIZED. WELL ABANDONMENTS SHALL BE COMPLETED IN ACCORDANCE WITH ACT 610 OF THE WELL DRILLER'S LICENSE ACT. THE WATER WELL DRILLER'S ACT REQUIRES THAT THE OWNER OR CONSULTANT WHO IS TO ABANDON THE WELL NOTIFY THE DEPARTMENT (BUREAU OF TOPOGRAPHIC AND GEOLOGIC SURVEY IN THE STATE PLANNING BOARD OF THE COMMONWEALTH OF PENNSYLVANIA) OF THE INTENT TO DECOMMISION A WELL AT LEAST 10 DAYS BEFORE THE WELL IS SEALED OR FILLED. INDIVIDUAL DEPARTMENT BUREAUS MAY HAVE SPECIFIC REGULATIONS OR GUIDELINES. IN ADDITION, ALL WELL ABANDONMENT PROCEDURES FOR THIS PROJECT MUST BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMPLETION. PROPER WELL ABANDONMENT ACCOMPLISHES THE FOLLOWING: 1) ELIMINATES THE PHYSICAL HAZARD OF THE WELL, 2) ELIMINATES AN AQUIFER FOR MIGRATION OF CONTAMINATION, AND 3) PREVENTS HYDROLOGIC CHANGES IN THE AQUFER SYSTEM, SUCH AS THE CHANGES IN HYDRAULIC HEAD AND THE MIXING OF WATER BETWEEN AQUIFERS. THE PROPER DECOMMISIONING METHOD WILL DEPEND ON BOTH THE REASON FOR ABANDONMENT AND THE CONDITION AND CONSTRUCTION DETAILS OF THE BORING OR WELL. CONTACT INFORMATION: WATER-WELL DRILLERS LICENSING SERVICE, PENNSYLVANIA GEOLOGICAL SURVEY, 3240 SCHOOLHOUSE ROAD, MIDDLETOWN, PA 17057-3534
- A COPY OF THE WELL ABANDONMENT FORM SHALL ALSO BE SUBMITTED TO NORTH CORNWALL TOWNSHIP. ALL PLAN SHEETS IN THE SET ARE PART OF THIS PLAN AND ARE ENFORCEABLE AS IF THEY APPEARED IN TOTAL HEREIN 3. A MAJOR REVISION TO THE BUILDING AND PARKING CONFIGURATION SHALL REQUIRE A REVISED LAND
- DEVELOPMENT PLAN APPROVAL FOR THE COMMERCIAL LOT BEING REVISED. WHEREVER SIDEWALKS ARE INTERRUPTED BY ROADWAYS, INTERSECTIONS, DRIVEWAYS, OR OTHER BARRIERS, ADA COMPLIANT HANDICAPPED RAMPS, INCLUDING DETECTABLE WARNING SURFACES, MUST BE PROVIDED. ANY EXISTING HANDICAPPED RAMPS ALONG THE FRONTAGE OF THE SITE MUST BE REPLACED
- WITH COMPLIANT RAMPS. DEPRESSED CURBS MUST TRANSITION IN SUCH A WAY AS TO NOT INHIBIT ADA COMPLIANCE OF SURFACES TREES OR SHRUBS SHALL NOT BE PLANTED IN SWALES OR WITHIN 2.5 FEET OF BURIED UTILITY LINES.

SURVEY NOTES UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION.

- ACT 187 UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (STECKBECK ENGINEERING & SURVEYING, INC. CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).
- PROPERTY LINES SHOWN IN ACCORDANCE WITH SURVEY PERFORMED BY SESI. TOPOGRAPHIC INFORMATION IS FROM AERIAL SURVEY PERFORMED BY THE SESI
- PERMANENT CONCRETE MONUMENTS SHALL BE SET AS SHOWN ON THESE PLANS PORTIONS OF THE EXISTING FEATURES PLAN WERE TAKEN FROM GIS INFORMATION IN ORDER TO DEPICT THE AREAS OF THE SITE NOT AFFECTED BY THE PROPOSED DEVELOPMENT. THESE AREAS OUTSIDE THE LIMITS OF SURVEY SHOULD BE CONSIDERED APPROXIMATE AND SHALL NOT BE USED FOR DESIGN OR CONSTRUCTION PURPOSES. STECKBECK ENGINEERING AND SURVEYING, INC. HAS NOT FIELD VERIFIED ANY AREAS OUTSIDE THE SURVEY LIMITS AND STECKBECK ENGINEERING AND SURVEYING, INC. SHALL NOT BE HELD LIABLE FOR THE ACCURACY OF THE INFORMATION DEPICTED OUTSIDE THE SURVEY LIMITS.

STORM WATER MANAGEMENT NOTES

- ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS AND SPECIFICATIONS IDENTIFIED ON THIS PLAN. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
- STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO NORTH CORNWALL TOWNSHIP. AS REQUIRED BY NORTH CORNWALL TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE REPAIR OR REPLACEMENT OF DAMAGED FACILITIES. VEGETATION OI STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN MID IN ACCORDANCE WITH NORTH CORNWALL TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
- ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORMWATER
- MANAGEMENT FACILITIES. STORMWATER RUNOFF'FROM EXISTING NATURAL SWALES AND/OR OTHER EXISTING DRAINAGE CONVEYORS SHALL NOT BE DIRECTED TOWARDS OR INTERCEPTED BY THE STORMWATER MANAGEMENT FACILITIES. TOWNSHIP OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR
- INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES CONTACT NORTH CORNWALL TOWNSHIP AT (717) 273-5200 PRIOR TO CONSTRUCTION TO COORDINATE INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE TOWNSHIP
- ENGINEER. NO OCCUPANCY IS PERMITTED UNTIL STORMWATER MANAGEMENT FACILITIES HAVE BEEN INSTALLED AND APPROVED THROUGH INSPECTION BY THE TOWNSHIP ENGINEER NOTE: WHERE FACILITIES SUCH AS NEW STREETS WITH STORM SEWERS AND RELATED STRUCTURES ARE INTENDED FOR OWNERSHIP AND MAINTENANCE BY THE TOWNSHIP, HOMEOWNER'S ASSOCIATION, OR SIMILAR ORGANIZATION, ADDITIONAL NOTES SHALL BE PROVIDED TO DOCUMENT OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.
- ALL STORMWATER FACILITIES LOCATED IN PUBLIC STREET RIGHTS-OF WAY WILL BE DEDICATED TO THE MUNICIPALITY WITH JURISDICTION OVER THE RIGHT OF WAY. SPECIFICALLY, NORTH CORNWALL TOWNSHIP WILL OWN AND MAINTAIN STORM WATER FACILITIES WITHIN THEIR RESPECTIVE STREET RIGHTS-OF WAY.
- ALL STORM WATER FACILITIES NOT WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE PROVIDED WITH EASEMENTS AS SHOWN ON THE PLANS. NO ALTERATION TO SWALES, BASINS, OR OTHER DRAINAGE STRUCTURES SHALL BE
- PERMITTED WITHIN EASEMENTS NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NORTH CORNWALL TOWNSHIP SHALL HAVE THE RIGHT TO A. ACCESS THE SITE TO INSPECT STORM WATER FACILITIES AT ANY TIME
- B. REQUIRE THAT THE LAND OWNER TAKE CORRECTIVE MEASURES AND ASSIGN THE LAND OWNER A REASONABLE PERIOD TO TAKE CORRECTIVE ACTION. C. AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COSTS OF ALL WORK AGAINST THE PROPERTIES OF THE PRIVATE ENTITY RESPONSIBLE FOR MAINTENANCE.
- STORMWATER MANAGEMENT FACILITIES (DETENTION FACILITIES, STORM DRAINAGE PIPES, INLETS AND ENDWALLS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VARIOUS NORTH CORNWALL TOWNSHIP ORDINANCES AND THE LEBANON COUNTY CONSERVATION DISTRICT. ALL STORM SEWER JOINTS SHALL BE WATERTIGHT
- ALL STORM SEWERS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PENNDOT FORM 408 SPECIFICATIONS, PENNDOT PUBLICATION NO. 72, AND AS SHOWN ON THESE DRAWINGS ACCESSORY BUILDINGS, STRUCTURES, FENCES, WALL, HEDGES, AND POOLS SHALL NOT BE LOCATED WITHIN OR OBSTRUCT ANY S.W.M.F. AND ASSOCIATED CONVEYANCE SYSTEMS.

FLOODPLAIN NOTE

HERE ARE NO BODIES OF SURFACE WATER AND NO 100-YEAR FLOODPLAINS ON THE PROPERTY

WETLAND NOTE THERE ARE NO WETLANDS ON THE SITE.

SETTLEMENT AGREEMENT NOTES

- PER SETTLEMENT AGREEMENT SECTION 8 (SUBDIVISION AND LAND DEVELOPMENT PLANS), SUBSECTION J: "AT LEAST FIVE (5) DAYS PRIOR TO SUBMISSION OF AN APPLICATION FOR A BUILDING PERMIT, SPRINGWOOD OR ITS DESIGNEE SHALL SUBMIT TO THE TOWNSHIP WRITTEN EVIDENCE OF PROPOSED ARCHITECTURAL STYLES, DETAILS, PALETTES, CUT-SHEETS AND SAMPLES (COLLECTIVELY THE "ARCHITECTURAL INFORMATION") RELATING TO THE BUILDINGS PROPOSED IN SUCH APPLICATION FOR BUILDING PERMIT. SUCH WRITTEN EVIDENCE SHALL BE PREPARED BY AN ARCHITECT REGISTERED WITHIN THE COMMONWEALTH OF PENNSYLVANIA, WHO SHALL CERTIFY THAT, IN THE ARCHITECT'S PROFESSIONAL OPINION, THE WRITTEN EVIDENCE IS CONSISTENT WITH ARCHITECTURAL REQUIREMENTS FOR BUILDINGS SET FORTH IN APPLICABLE PROVISIONS OF THE DESIGN STANDARDS. SUCH ARCHITECTURAL INFORMATION SHALL BE APPROVED BY THE BOARD OR AN ARCHITECT, CONSULTANT OR EMPLOYEE DESIGNATED BY THE BOARD IF SUCH ARCHITECTURAL INFORMATION
- COMPLIES WITH APPLICABLE DESIGN STANDARDS AND TERMS OF THIS AGREEMENT." ARCHITECTURAL AND AESTHETIC REQUIREMENTS FOR THE PROPOSED BUILDING SHALL COMPLY WITH ARTICLE 3, SUBSECTION 7 OF THE SETTLEMENT AGREEMENT.

CONTRACTOR NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO THE START OF CONSTRUCTION. UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. STECKBECK ENGINEERING & SURVEYING, INC (SESI) DOES NOT MAKE ANY REPRESENTATION. WARRANTY, ASSURANCE OR GUARANTEE THAT ÚNDERGROUND UTILITY LOCATION INFORMATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. SESI ASSUMES NO LIABILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACCURATELY SHOWN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. DAMAGE TO ANY UTILITY SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER, UTILITY COMPANY OR AUTHORITY, AT THE CONTRACTOR'S EXPENSE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY, COUNTY, STATE OR AUTHORITY RELATIVE TO CONSTRUCTION SHOWN ON THIS PLAN
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND RECORD DRAWINGS AS MAY BE REQUIRED BY THE MUNICIPALITY AND/OR THE VARIOUS AUTHORITIES RELATIVE TO THE CONSTRUCTION SHOWN ON THESE PLANS THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING,
- COVERING, SHEETING AND SHORING, AS THE NEED ARISES. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE GRADING PLAN IS IMPLEMENTED CORRECTLY, THAT A MINIMUM COVER IS MAINTAINED OVER ALL UTILITY PIPES, AND THAT PROPER DRAINAGE IS PROVIDED DURING CONSTRUCTION.
- PROVIDE 95% MODIFIED PROCTOR DENSITY PER ASTMD-698 IN AREAS WHERE PROPOSED UTILITIES ARE LOCATED ON FILL ALL TOPS AND INVERTS PROVIDED FOR MANHOLES, INLETS, ETC. ARE FOR THE PURPOSE OF SHOWING GENERAL CONFORMANCE TO DESIGN STANDARDS ONLY. CUT SHEETS SHALL BE
- PREPARED BY A REGISTERED SURVEYOR PRIOR TO THE ORDERING OF ANY STRUCTURES. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO THE START OF WORK. THESE PLANS, PREPARED BY SESI, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR, OF ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF STECKBECK ENGINEERING & SURVEYING, INC. (SESI) REGISTERED PROFESSIONAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS
- WHICH MAY BE REQUIRED BY OSHA. 10. CONTRACTORS SHALL NOT STORE CONSTRUCTION MATERIALS OR LOCATE TRASH RECEPTACLES DUMPSTERS) ON PAVED CARTWAYS OF DEDICATED AND UNDEDICATED STREETS. 11. ÀLL MUD FRÔM CONSTRUCTION ACTIVITIES THAT GETS TRACKED ONTO STREETS, EITHER DEDICATED OR UNDEDICATED, SHALL BE CLEANED BY THE BUILDER/CONTRACTOR AT THE END
- OF EACH WORKDAY. EACH LOT SHALL HAVE A DESIGNATED, STABILIZED CONSTRUCTION ENTRANCE DURING 12. CONSTRUCTION. OTHER AREAS OF THE LOT SHALL BE FLAGGED OFF WITH WARNING TAPE TO
- INDICATE NO TRAFFIC ALLOWED. THE CONTRACTOR SHALL SUBMIT AND OBTAIN APPROVAL OF SHOP DRAWINGS FROM NORTH CORNWALL TOWNSHIP AND THE NORTH CORNWALL TOWNSHIP ENGINEER FOR ALL MATERIALS. ALI MATERIALS ORDERED PRIOR TO SHOP DRAWING APPROVAL ARE ORDERED AT THE CONTRACTORS RISK OF NOT BEING APPROVED OR THE DEVELOPERS RISK OF NOT BEING ACCEPTED FOR DEDICATION
- DIGGING TEST PITS: IN LOCATIONS WHERE NEW UNDERGROUND UTILITIES ARE TO BE CONNECTED TO EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR WILL NOT BE PERMITTED TO PROCEED WITH THE NEW CONSTRUCTION UNTIL HE HAS DUG TEST PITS AND DETERMINED THE EXACT LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS ADVISED THAT NO EXCAVATION IS PERMITTED IN THE UNDERGROUND UTILITY LOCATION WITHOUT THE PRESENCE OR WRITTEN APPROVAL OF AN AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE SUBSURFACE UTILITY. DIG SUCH TEST PITS AT THE LOCATIONS AGREED TO BY THE OWNER OF THE SUBSURFACE UTILITY AND THE ENGINEER, AS SHOWN ON THE UTILITY PLAN SHEETS.

UTILITY NOTES

- SEWAGE DISPOSAL FOR THE LOTS IS TO BE PROVIDED BY EXTENSION OF THE PUBLIC SEWER SYSTEM BY THE SUBDIVIDER OR LAND DEVELOPER, AS SHOWN HEREON. CONNECTION TO THE PUBLIC SEWER SYSTEM SUPPLIED BY THE NORTH CORNWALL TOWNSHIP. ALL WATER SUPPLY FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF
- LEBANON AUTHORITY SPECIFICATIONS. WATER AND SEWER LINES MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 5', OTHERWISE A VERTICAL SEPARATION OF 18" SHALL BE PROVIDED. IF NEITHER IS POSSIBLE, THEN A 6" CONCRETE ENCASEMENT SHALL BE PROVIDED FOR THE SEWER LINE.
- 4. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE, ELECTRIC, GAS, WATER AND SANITARY SEWER. 5. ACCESS TO ALL UTILITY FACILITIES SHALL BE GRANTED TO REPRESENTATIVES OF NORTH CORNWALL TOWNSHIP AND THE CITY OF LEBANON AUTHORITY AT ALL TIMES FOR THE PURPOSES
- OF INSPECTION AND MAINTENANCE. 6. CONSTRUCTION OF SEWER LATERALS SHALL COMPLY WITH THE RULES, REGULATIONS, AND SPECIFICATIONS OF THE NORTH CORNWALL TOWNSHIP. DO NOT BACKFILL SEWER LATERAL TRENCHES UNTIL INSPECTED BY A REPRESENTATIVE OF THE TOWNSHIP.
- CONSTRUCTION OF WATER LATERALS SHALL COMPLY WITH THE RULES, REGULATIONS, AND SPECIFICATIONS OF THE CITY OF LEBANON WATER AUTHORITY. ALL GREASE TRAPS SHALL BE PROVIDED AS REQUIRED IN THE NORTH CORNWALL TOWNSHIF
- GREASE AND OIL CONTROL ORDINANCE (ORDINANCE NO. 307), AS APPLICABLE. SHOP DRAWINGS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL AT THE TIME OF PERMIT APPLICATION. WATER LATERAL PIPE MATERIALS MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF LEBANON AUTHORITY SPECIFICATIONS. THE WATER LATERALS MUST BE DUCTILE IRON OR COPPER
- TO THE METER LOCATION. AFTER THE METER THE PROPERTY OWNER/DEVELOPER MAY UTILIZE THE MATERIAL OF THEIR CHOICE. **BUILDING CODE NOTE**

CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.

- NORTH CORNWALL TOWNSHIP SANITARY SEWER NOTES ANITARY SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARDS AND SEWER DETAIL DRAWINGS OF NORTH CORNWALL
- TOWNSHIP, LEBANON COUNTY, PENNSYLVANIA, AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP'S ENGINEER. THE PERMITEE FOR THIS SEWER EXTENSION IS THE NORTH CORNWALL TOWNSHIP. ALL LOTS WILL BE SERVED WITH GRAVITY BASEMENT DRAINAGE EXCEPT WHERE
- PROVIDE A MINIMUM OF 18-INCHES VERTICAL CLEARANCE BETWEEN SANITARY SEWERS AND DOMESTIC WATER SUPPLY LINES. PROVIDE A MINIMUM CLEARANCE OF 12-INCHES
- BETWEEN SANITARY SEWERS AND OTHER UNDERGROUND UTILITIES. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF TEN FEET BETWEEN SANITARY SEWERS AND OTHER UNDERGROUND UTILITIES. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF FIVE FEET BETWEEN THE SANITARY SEWERS AND EXISTING AND PROPOSED UTILITY STRUCTURES SUCH AS MANHOLES, INLETS, CURBS, ETC ALTERNATIVELY PADEP PERMITS A SANITARY SEWER MAIN TO BE LAID CLOSER THAN TEN (10) FEET TO A WATER MAIN IF: A) THE SANITARY SEWER MAIN AND WATER MAIN ARE LAID IN SEPARATE TRENCHES;
- B) THE SANITARY SEWER MAIN IS LAID IN THE SAME TRENCH, THE WATER MAIN MUST BE LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH; AND IF
- C) IN EITHER CASE THE ELEVATION OF THE TOP OF THE SEWER IS A MINIMUM OF 18-INCHES BELOW THE BOTTOM OF THE WATER MAIN IF USED, THESE APPROACHES MUST BE CLARIFIED ON THE PLANS, AND APPROVED BY NORTH CORNWALL TOWNSHIP AND THE CITY OF LEBANON
- 5. WHEREVER THE REQUIRED CLEARANCES BETWEEN THE SANITARY SEWER AND DOMESTIC WATER SUPPLY LINES, OR THE MINIMUM COVER OVER THE SANITARY SEWER CANNOT | RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR LEBANON BE PROVIDED, THE ENTIRE SANITARY SEWER SHALL BE RUN IN PROTECTO 401 CERAMIC EPOXY LINED DUCTILE IRON PIPE (DIP) AND ENCASED IN CONCRETE EXTENDING A MINIMUM OF TEN FEET EITHER SIDE OF THE AREA OF SUB-STANDARD CLEARANCE, OR MINIMUM COVER DEFICIENCY. WHENEVER CONCRETE ENCASEMENT IF THE SANITARY SEWER IS REQUIRED, THE ENTIRE LENGTH OF SEWER BETWEEN MANHOLES SHALL BE RUN IN DIF
- 6. PROVIDE A MINIMUM COVER OF FIVE (5) FEET FOR SANITARY SEWER, FOUR (4) FEET FOR WATER MEASURED FROM THE FINISHED GRADE ELEVATION TO THE TOP OF THE
- SANITARY SEWER FLOWS FROM THE PROJECT SITE WILL BE CONVEYED THROUGH THE NORTH CORNWALL TOWNSHIP CONVEYANCE SYSTEM TO THE CITY OF LEBANON AUTHORITY WASTEWATER TREATMENT PLANT, WATER QUALITY MANAGEMENT PERMIT NUMBER 3896403
- 8. SDR 35 PIPE IS ACCEPTABLE MATERIAL FOR THE PROPOSED SANITARY SEWER MAIN AND SANITARY LATERALS 9. MANHOLES GREATER THAN 15 FEET DEEP SHALL BE 5 FOOT INSIDE DIAMETER

NORTH CORNWALL TWP. BOARD OF SUPERVISORS

AT A MEETING HELD ON SUPERVISORS OF NORTH CORNWALL TOWNSHIP, LEBANON COUNTY, PENNSYLVANIA APPROVED THE FINAL REVISED LAND DEVELOPMENT PLAN FOR THE PROPERTY AS SHOWN HEREON. NO OTHER PLAN OR PLANS SHALL BE RECOGNIZED. APPROVAL INCLUDES ALL DOCUMENTATION, INCLUDING THE COMMENTS OR REQUIREMENTS OF OFFICIAL REVIEWING INDIVIDUALS OR AGENCIES. APPROVAL IS BASED ON COMPLIANCE WITH APPLICABLE ORDINANCES, RULES AND REGULATIONS, AND SHALL NOT BE CONSTRUED AS A GUARANTEE TO ANY PERSON OR ORGANIZATION THAT THE DESIGN OF ANY PART OF THE PLAN WILL FUNCTION AS ANTICIPATED UNDER ANY OR ALL CONDITIONS OR SITUATIONS. ADDITIONALLY, THAT BY REVIEW AND/OR APPROVAL OF THE PLAN, THE TOWNSHIP EXPRESSLY DECLINES THE ASSUMPTION OF LIABILITY ERRORS, OMISSIONS OR MISTAKES IN JUDGEMENT IN THE DESIGN, ENGINEERING, OR EXPECTED FUNCTION OF THE MATTERS REVIEWED AND/OR APPROVED.

DATE
DATE

REVIEWED & ACCEPTED

THE BOARD O

DATE

REVISED FINAL LAND DEVELOPMENT PLAN (LOT 26) FOR

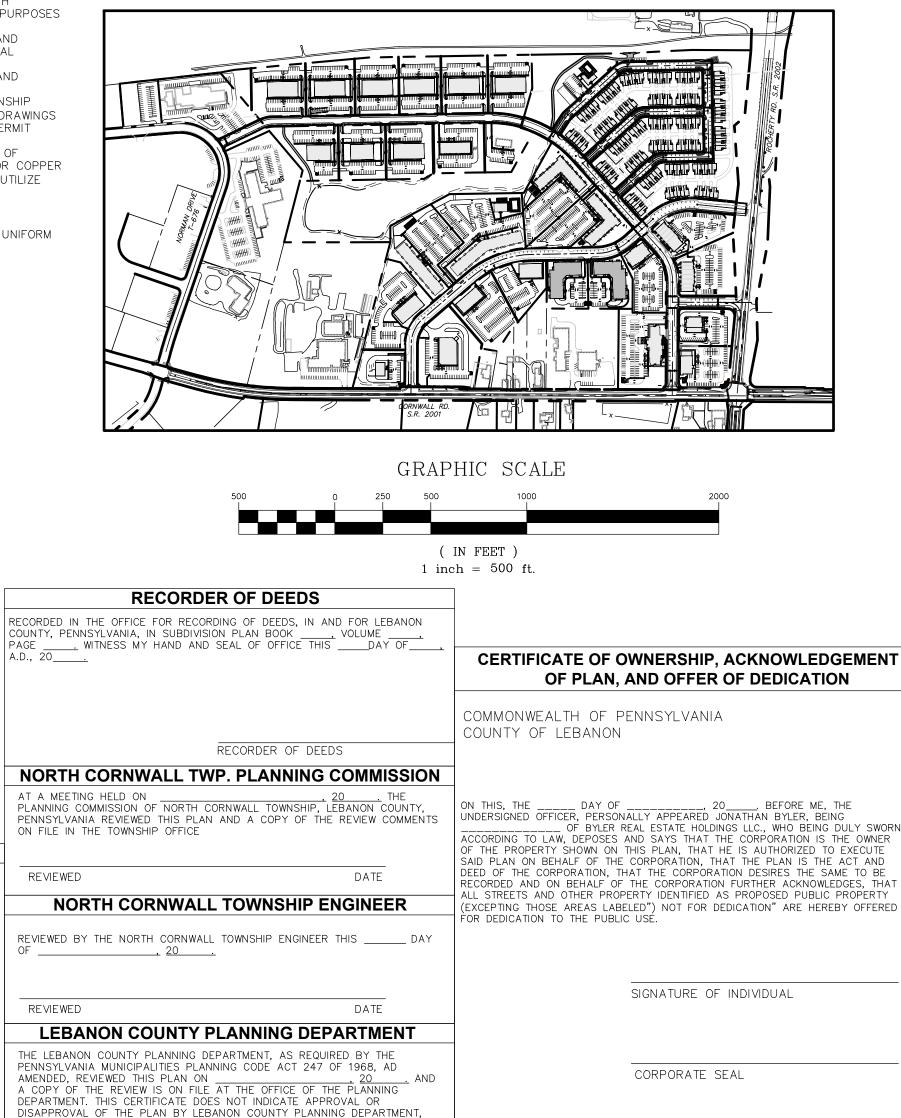
BYLER REAL ESTATE HOLDINGS LLC LOCATED IN NORTH CORNWALL TOWNSHIP LEBANON COUNTY, PENNSYLVANIA

AUGUST 8, 2024

REVISION	DATE	В
REVISION PER LCPD LETTER DATED 9/10/24	9/16/24	тмн
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	тмн
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	тмн
REVISION PER NCT ENGINEER LETTER DATED 9/10/24	9/16/24	тмн
REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	ТМН
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	ТМН



Lebanon, Pennsylvania 17042 Phone: (717) 272-7110 Fax: (717) 272-7348



SIGNATURE AND SEAL OF NOTARY PUBLIC AND LAND DEVELOPMENT ORDINANCES.

REVIEWED

GOVERNMENT

AND THE DEPARTMENT DOES NOT REPRESENT NOR GUARANTEE THAT THIS

PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS OR

LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL

DATE

MY COMMISSION EXPIRES _____,20___.

DATE: _07/24/2024 _____ BY: _JC _____ NOTES: UNDERGROUND UTILITY LINE PROTECTION ACT AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN: 1. PURSUANT TO 73 P.S. §176(2), STECKBECK ENGINEERING & SURVEYING INC HAS REQUESTED LINE AND 2. PURSUANT TO 73 P.S. §176(3), STECKBECK ENGINEERING & SURVEYING INC. HAS SHOWN, UPON REQUEST THESE DRAWINGS, THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, AS DERIVES PURSUANT TO THE REQUEST MADE AS REQUIRED BY 73 P.S. §176(2), THE NAME OF THE FACILITY OWNER AND THE FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER. 4. IF, PURSUANT TO 73 P.S. §176(2), STECKBECK ENGINEERING & SURVEYING INC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, STECKBECK ENGINEERING & SURVEYING INC. HAS INDICATED THAT THE REQUEST IS PRELIMINARY AND THE SERIAL NUMBER OF SAID REQUEST IS SHOWN ON THE DRAWINGS HEREIN. STECKBECK ENGINEERING & SURVEYING INC. DOES NOT REPRESENT, WARRANT, ASSURE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO THE ONE CALL SYSTEM REQUEST AND AS REFLECTED ON THESE DRAWINGS IS ACCURATE OR CORRECT. FURTHERMORE, STECKBECK ENGINEERING & SURVEYING INC. INCLUDES THE INFORMATION ONLY PURSUANT TO THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION ACT, AS AMENDED BY ACT 121 OF 2008. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO

COMCAST CABLE LEBANON C/O USIC LOCATING SERVICES INC 3085 HAMILTON CROSSING BLVD STE 200 CARMEL, IN. 46032 CONTACT: USIC OFFICE PERSONNELL VERIZON PENNSYLVANIA LLC PITTSBURGH, PA. 15221 CONTACT: DEBORAH BARUM EMAIL: DEBORAH.D.DELIA@VERIZON.COM LEBANON AUTHORITY CITY OF 2311 RIDGEVIEW ROAD LEBANON, PA. 17042 CONTACT: BOB SENTZ EMAIL: BSENTZ@LEBANONAUTHORITY.ORG

MODIFICATION/WAIVER REQUESTS (NEW)

THE FOLLOWING MODIFICATIONS/WAIVERS ARE REQUESTED IN ACCORDANCE WITH SECTION 8.H (MODIFICATIONS AND WAIVERS) OF THE COURT-APPROVED SETTLEMENT AGREEMENT BETWEEN THE TOWNSHIP AND SPRINGWOOD DEVELOPMENT PARTNERS, LP, DATED AS OF APRIL 20, 2010: 1. <u>ARTICLE 3.7.7 – BENCHES</u>

3. <u>ARTICLE 3.10.10 - STREET TREES</u> MODIFICATION/WAIVER REQUESTS

(PREVIOUSLY APPROVED) THE FOLLOWING MODIFICATIONS/WAIVERS HAVE BEEN REQUESTED FROM THE NORTH CORNWALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION 2. <u>SECTION 5.07.E.9.a - STORMWATER BASIN MAXIMUM WATER DEPTH</u> ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITH THE FOLLOWING CONDITIONS: THE STORMWATER DETENTION BASIN WILL BE RECREATED AS A NATURAL FEATURE A SPLIT RAIL WOODEN FENCE PROTECTED WITH SMALL GAUGE WIRE FENCING ALONG THE NORTHERLY. EASTERN AND WESTERN SIDES OF THE BASIN. AND ECHO ORGANIC SHAPE BE CREATED AND SHALL INCLUDE A SOFTSCAPE PLAN AND WATER QUALITY PLAN ALL TO BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER.

3. <u>SECTION 4.02.G.13 - TREES PLANTED WITHIN 5 FEET OF BURIED UTILITY LINES</u> ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION

4. SECTION 5.10.C.1.f - CLEAR SIGHT TRIANGLES IN RESIDENTIAL AREA ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION THE FOLLOWING MODIFICATIONS/WAIVERS HAVE BEEN REQUESTED IN ACCORDANCE WITH SECTION 8.H (MODIFICATIONS AND WAIVERS) OF THE COURT-APPROVED SETTLEMENT

DATED AS OF APRIL, 20 2010:

1. ARTICLE 3.9.2 - VEHICULAR ACCESS ACTION: APPROVED BY BOARD OF SUPERVISORS 04/03/2012, WITHOUT CONDITION

2. ARTICLE 3.13.4 & ARTICLE 2.12.6 - REQUIRED MAINTAINED LIGHTING LEVELS IN THE EASTERN DEVELOPMENT ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION . ARTICLE 3.7.13 - DUMPSTER LOCATION ON LOT NO. 1 & LOT NO. 2

ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION

ARTICLE 3.12.8 - FREESTANDING DIRECTIONAL SIGNS ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION ARTICLE 3.12.5 - FREE STANDING COMMERCIAL PARK IDENTIFICATION SIGN ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITH TH FOLLOWING CONDITIONS: THE CLEAR SIGHT TRIANGLE ISSUES WOULD BE REQUIRED

TO BE MET. IN ADDITION TO WHAT WAS PROVIDED THREE FLAG POLES WOULD ALSO BE INCLUDED IN THE DESIGN. ARTICLE 3.8.1 - COVERAGE REQUIREMENTS

ACTION: APPROVED BY BOARD OF SUPERVISORS 11/13/2012, WITHOUT CONDITION HE FOLLOWING MODIFICATIONS/WAIVERS HAVE BEEN REQUESTED FROM THE NORTH CORNWALL COMMONS SETTLEMENT AGREEMENT DATED AS OF APRIL, 20 2010:

ARTICLE 3.14.3 - LANDSCAPE STRIP ALONG CORNWALL ROAD ACTION: APPROVED BY BOARD OF SUPERVISORS 2/16/2021, WITHOUT CONDITION

PLAN CERTIFICATION

HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE NORTH CORNWALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES.

DATE MICHAEL F. LUSAITIS P.E. SURVEYOR'S CERTIFICATION HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE NORTH CORNWALL TOWNSHIP SUBDIVISION

JASON EUGENE CHERNICH P.L.S.



PENNSYLVANIA ACT 121 (2008) REQUIRES NOTIFICATION OF EXCAVATORS DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. _ SERIAL NO: 20242060361

IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 73 P.S. \$176, AS AMENDED BY ACT 121 OF 2008, STECKBECK ENGINEERING & SURVEYING INC. HAS PERFORMED THE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION

FACILITY INFORMATION FROM THE ONE CALL SYSTEM NOT LESS THAN TEN (10) NOR MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED. IF SUCH INFORMATION WAS OBTAINED MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, STECKBECK ENGINEERING & SURVEY INC HAS STATED IN THE REQUEST THAT THE WORK IS PRELIMINARY.

3. PURSUANT TO 73 P.S. §176(5), STECKBECK ENGINEERING & SURVEYING INC. HAS CALLED THE ONE CALL SYSTEM AND SHOWN AS PROOF, THE SERIAL NUMBER OF THE ONE CALL NOTICE AND THE TOLL FREE NUMBER OF THE ONE CALL SYSTEM ON THE DRAWINGS NEAR THE SERIAL NUMBER.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 A MINIMUM OF THREE (3) DAYS PRIOR TO EXCAVATING OR WITH CAREFUL EXPLORATORY WORK, AT THE CONTRACTOR'S RISK, PRIOR TO CONSTRUCTION FOR THOSE PRIVATE LINES WHICH ARE NOT ABLE TO BE LOCATED THROUGH THE ONE CALL PROCESS. IT MAY BECOME NECESSARY IN THE FIELD TO ADJUST THE PROPOSED UTILITY LOCATION TO RESOLVE AND UTILITY CROSSING CONFLICTS WHICH MAY OCCUR. STECKBECK ENGINEERING & SURVING INC. SHALL BE NOTIFIED IMMEDIATELY OF ANY SUCH CONFLICTS ARE ENCOUNTERED. THE INFORMATION CONTAINED IN THIS SECTION AS IT RELATES TO THE DUTIES OF CONTRACTORS DOES NOT CONSTITUTE LEGAL ADVICE AND IN NO WAY REPRESENTS THE EXTENT OF THE CONTRACTOR'S DUTIES UNDER FURSIONA TO THE UNDERGOUND UTILITY LINE PROTECTION ACT. CONTRACTOR'S MITH QUESTIONS REGARDING THE UNDERGROUND UTILITY LINE PROTECTION ACT SHOULD CONSULT WITH AN ATTORNEY IMMEDIATELY.

NORTH CORNWALL TOWNSHIP 320 S 18TH ST LEBANON, PA. 17042 CONTACT: JUSTIN THOMPSON EMAIL: JTHOMPSON@NCTOWN.ORG FIRST ENERGY CORP 76 S MAIN ST AKRON, OH 443081890 CONTACT – OFFICE PERSONNEL <u>UGI_UTILITIES_INC</u> 1301_AIP_DR MIDDLETOWN, PA. 17057

CONTACT STEPHEN BATEMAN EMAIL: SBATEMAN@UGI.COM FIRST ENERGY PENELEC 21 S MAIN ST AKRON, OH. 44308

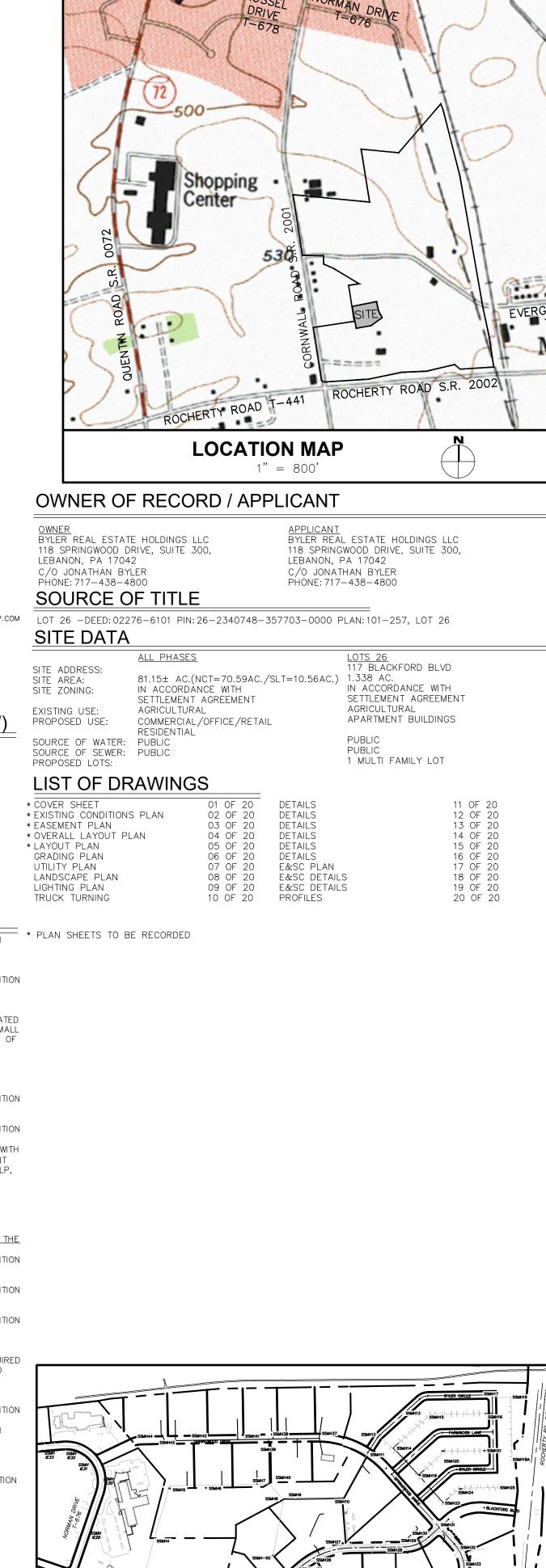
CONTACT: CARA WARREN EMAIL: CARAWARREN@FIRSTENERGYCORP.COM

2. ARTICLE 3.7.12 - TRASH RECEPTACLES ALONG THE STREET SIDEWALK

1. SECTION 5.07.E - STORMWATER CALCULATION METHODOLOGY

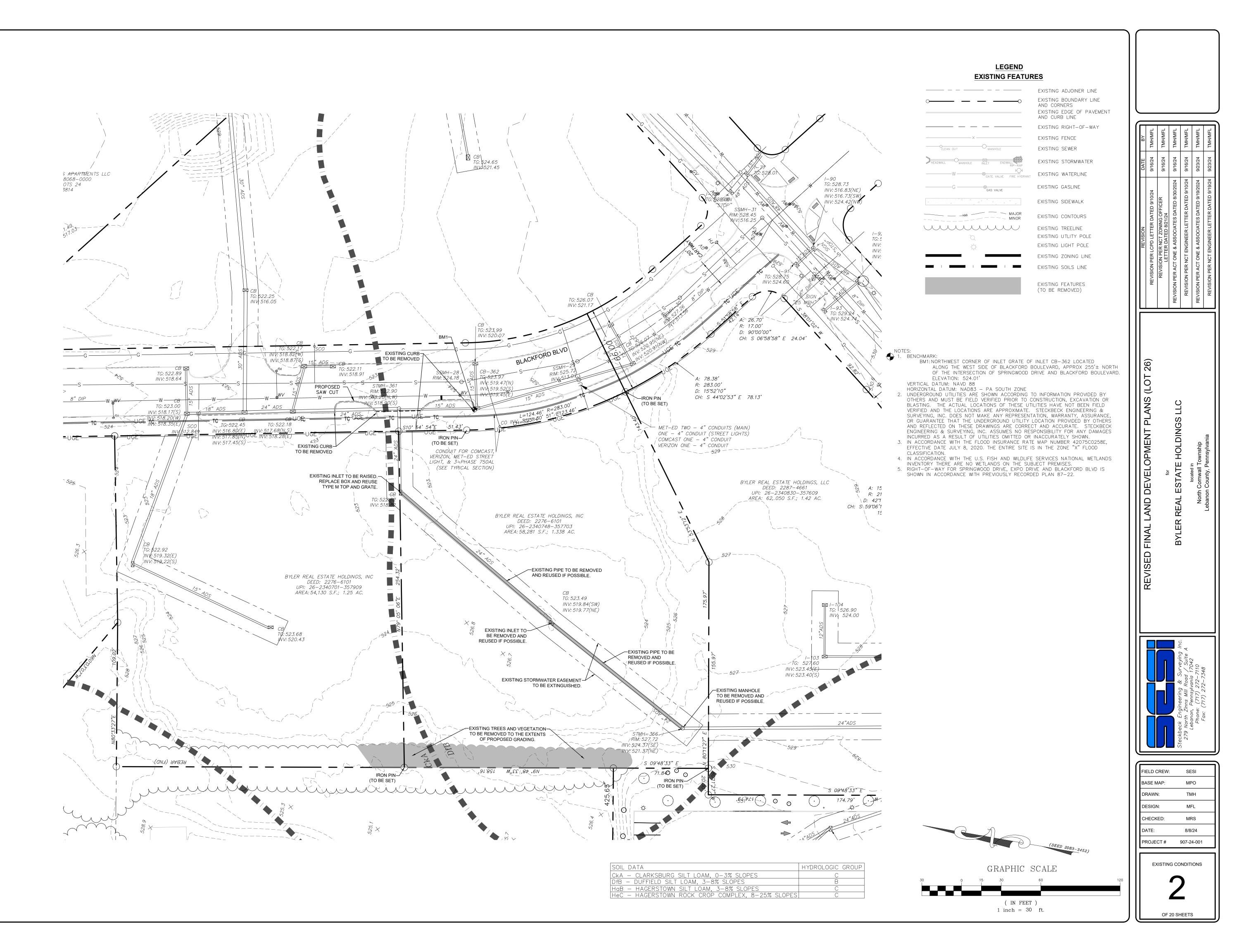
AGREEMENT BETWEEN THE TOWNSHIP AND SPRINGWOOD DEVELOPMENT PARTNERS, LP,

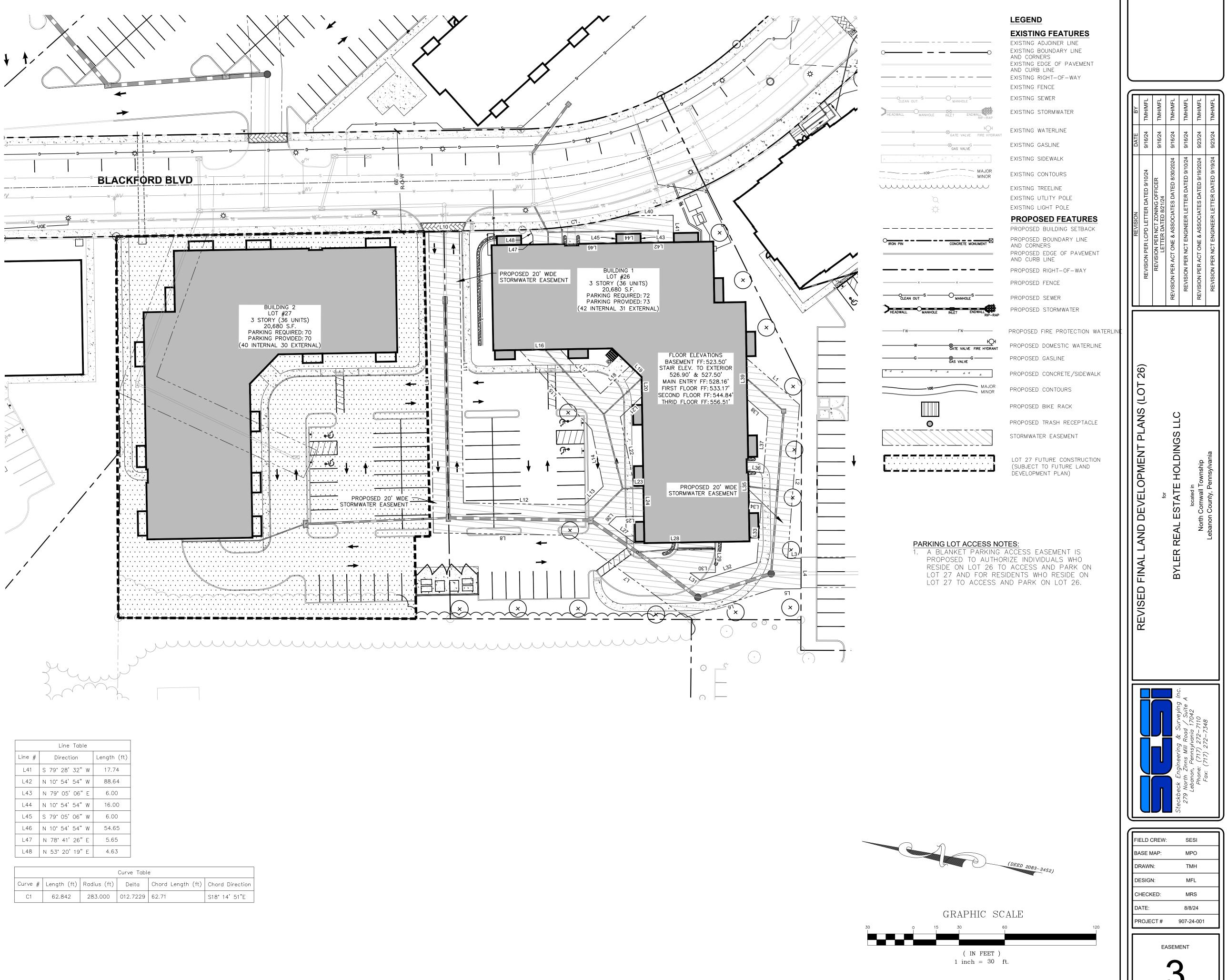




SCALE: 1"=500'

NORTH CORNWALL TOWNSHIP SANITARY SEWER INDEX MAP



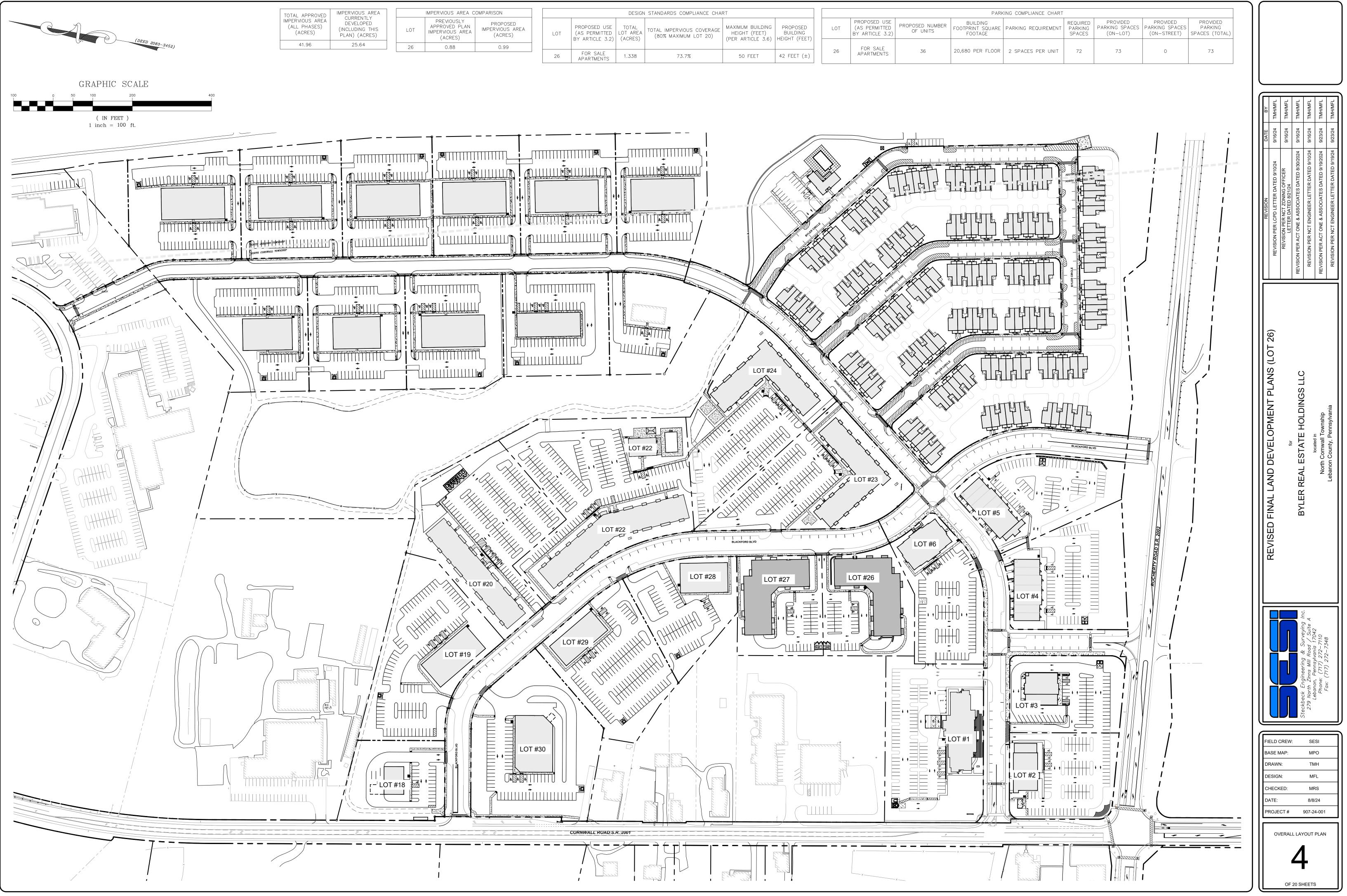


	Line Table	
Line #	Direction	Length (ft)
L1	S 31°20'03"W	46.23
L2	S 84°24'08"W	101.12
L3	S 10° 38' 07" E	8.82
L4	S 80°11'27"W	20.00
L5	N 10° 38' 07" W	18.29
L6	N 27° 55' 30" W	60.25
L7	N 25°48'05"E	92.03
L8	N 08° 59' 44" W	90.92
L9	N 79°08'19"E	197.83
L10	S 10° 54' 54" E	20.00
L11	S 79°08'19"W	178.49
L12	S 08° 59' 44" E	79.50
L13	S 54° 53′ 20" E	17.27
L14	N 68° 38' 09" E	38.10
L15	N 37°44'58"E	70.46
L16	S 10° 54' 54" E	26.64
L17	S 37° 44' 58" W	39.36
L18	S 53°13'43"E	26.70
L19	S 34°05'06"W	10.49
L20	S 79°05'06"W	12.87

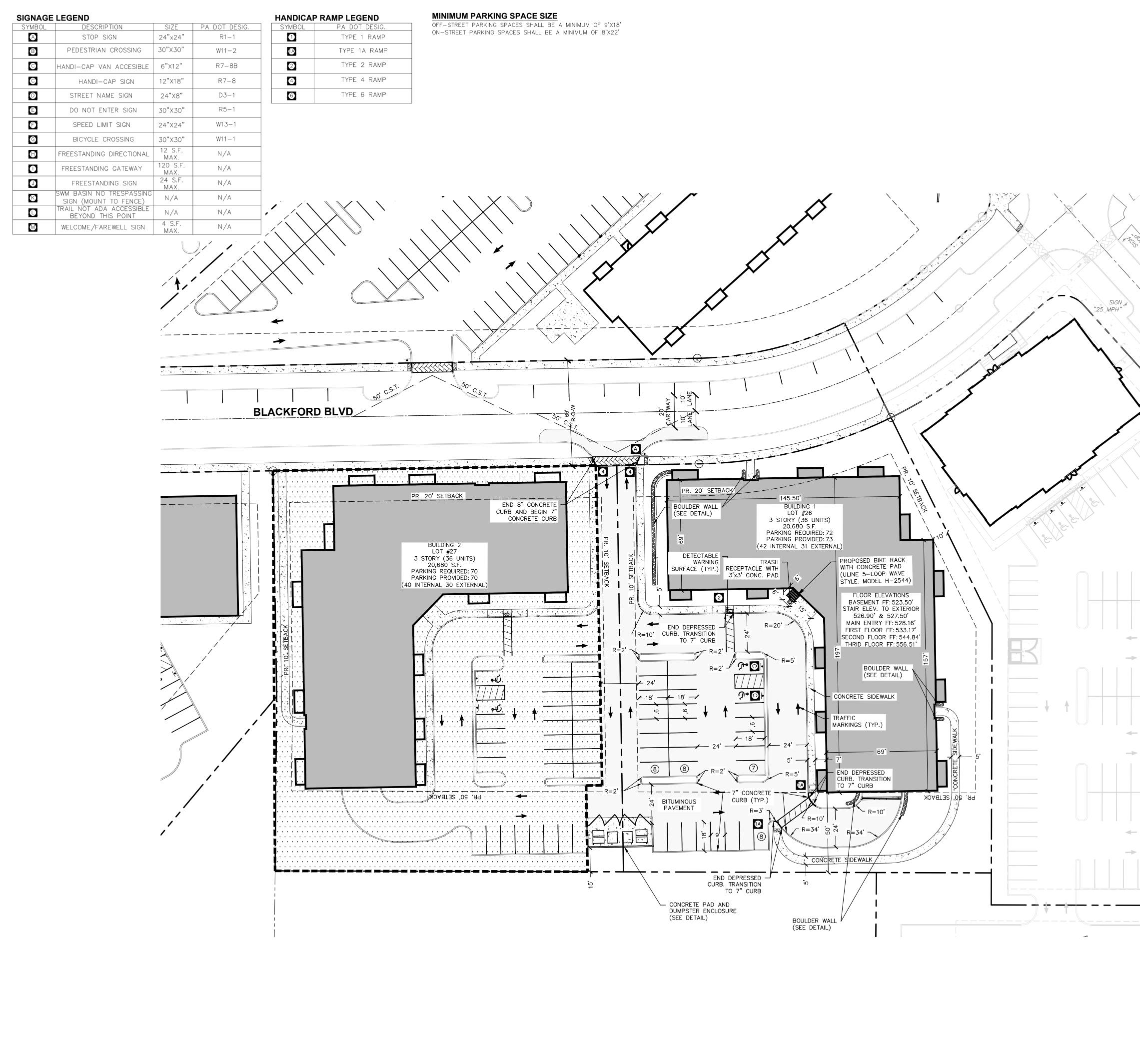
	Line Table	
Line #	Direction	Length (ft)
L21	N 53°13'43"W	19.45
L22	S 68° 38' 09" W	46.22
L23	S 10° 54' 54" E	6.00
L24	S 79°05'06"W	20.00
L25	N 10° 54' 54" W	18.31
L26	N 54°53'20"W	6.82
L27	S 25° 48' 05" W	21.49
L28	S 10° 54' 54" E	52.35
L29	S 79°05'06"W	20.00
L30	N 10° 54' 54" W	16.70
L31	S 25° 48' 05" W	8.54
L32	S 27° 55' 30" E	38.76
L33	N 84°24'08"E	38.66
L34	N 02°20'18"W	8.23
L35	N 79°05'06"E	20.23
L36	S 02°20'18"E	10.11
L37	N 84°24'08"E	36.54
L38	N 31°20'03"E	18.08
L39	N 79°05'06"E	27.02
L40	S 10° 45' 08" E	32.09

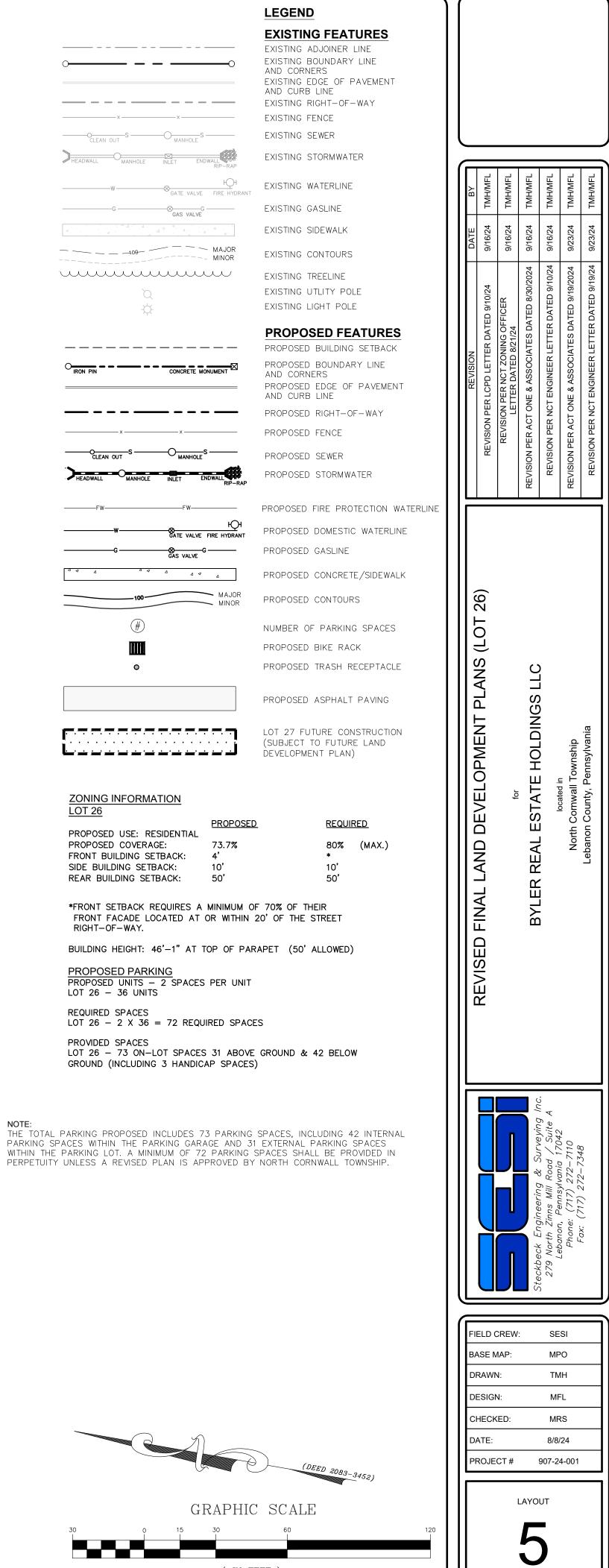
	Line Table	
Line #	Direction	Length (ft)
L41	S 79°28'32"W	17.74
L42	N 10° 54' 54" W	88.64
L43	N 79°05'06"E	6.00
L44	N 10° 54' 54" W	16.00
L45	S 79°05'06"W	6.00
L46	N 10° 54' 54" W	54.65
L47	N 78°41'26"E	5.65
L48	N 53°20'19"E	4.63

Curve Table								
#	Length (ft)	Radius (ft)	Delta	Chord Length (f				
	62.842	283.000	012.7229	62.71				

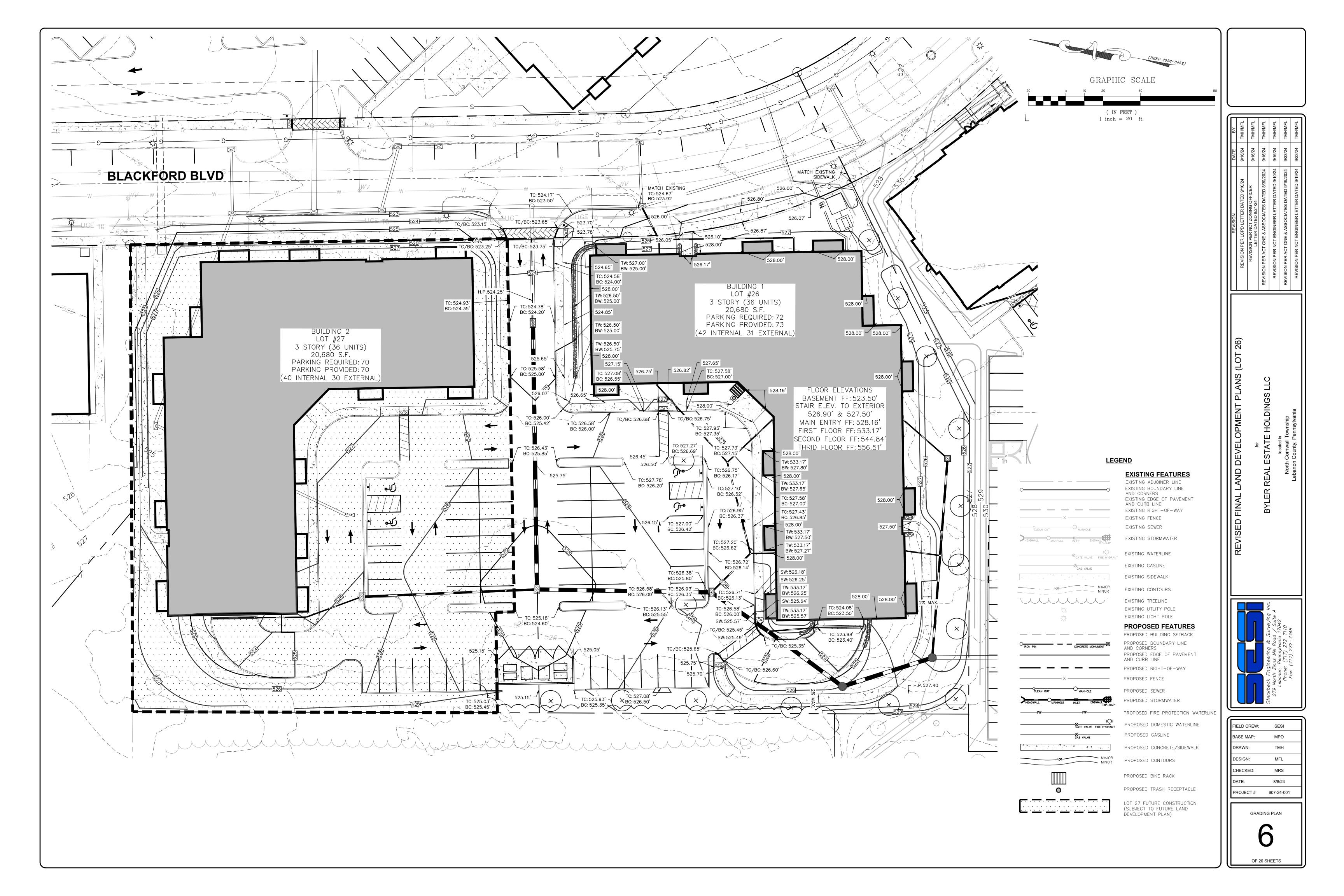


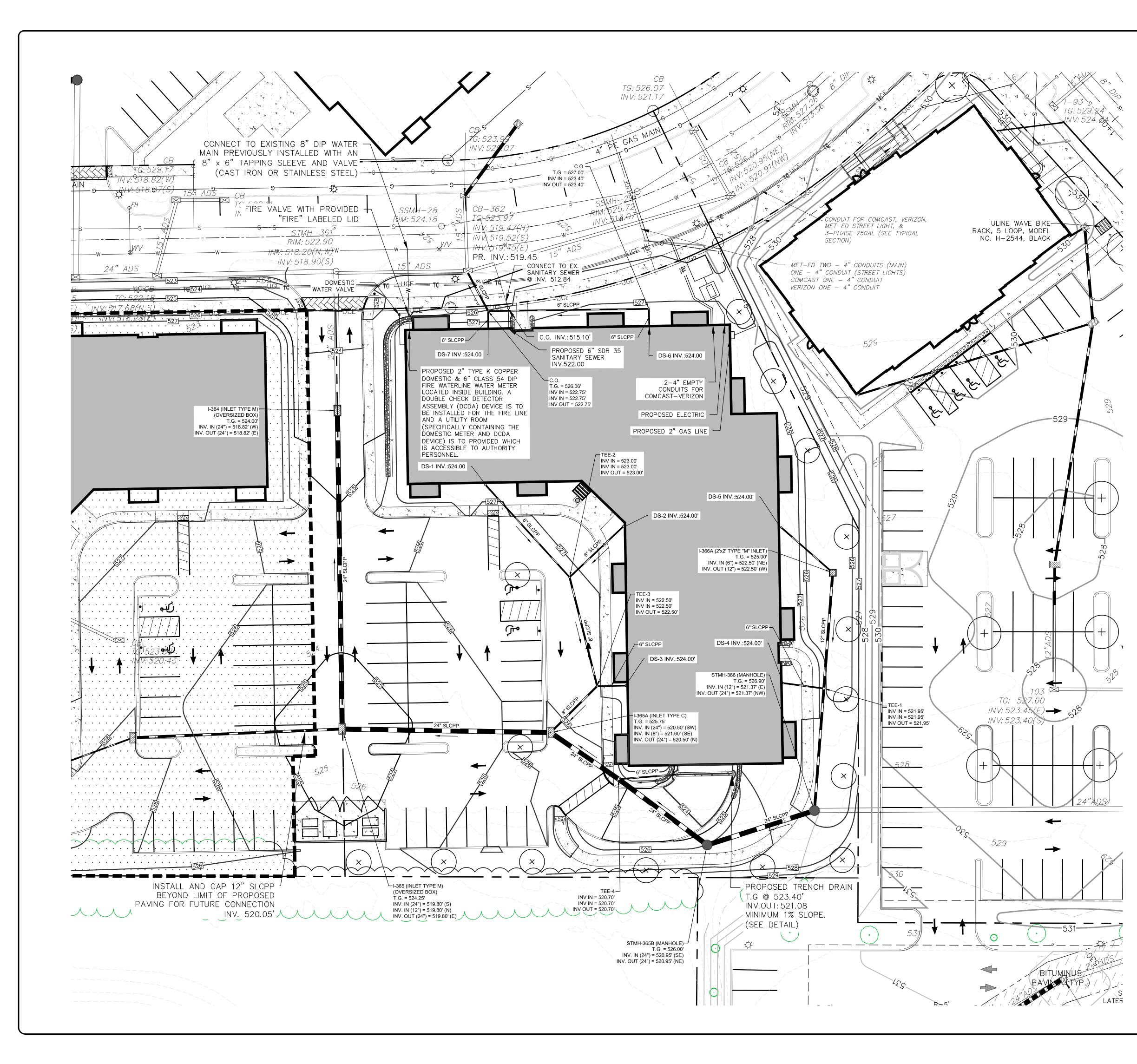
DUS AREA C	OMPARISON	DESIGN STANDARDS COMPLIANCE CHART						PARKING COMPLIANCE CHART								
VIOUSLY DVED PLAN /IOUS AREA ACRES)	PROPOSED IMPERVIOUS AREA (ACRES)	LOT	PROPOSED USE (AS PERMITTED BY ARTICLE 3.2)	TOTAL LOT AREA (ACRES)	(80% MAXIMUM LOT 20)	HEIGHT (FEET)	PROPOSED BUILDING HEIGHT (FEET)	LOT	PROPOSED USE (AS PERMITTED BY ARTICLE 3.2)	PROPOSED NUMBER OF UNITS	BUILDING FOOTPRINT SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING SPACES	PROVIDED PARKING SPACES (ON-LOT)		PROVIDED PARKING SPACES (TOTAL)
0.88	0.99					· · ·			FOR SALE				70			
		26	FOR SALE APARTMENTS	1.338	73.7%	50 FEET	42 FEET (±)	26	APARTMENTS	36	20,680 PER FLOOR	2 SPACES PER UNIT	72	73	0	73





(IN FEET) 1 inch = 30 ft.





		×	
O	AN OUT		_E
HEADWALL	MANHOLE	E INLET	ENDWALL RIP-RAP
		GATE VA	LVE FIRE HYDE
	—G ——	GAS VAL	
4			а а а
			- MAJOR
			- MINOR 人人ノ
	、 、		
	2	Q	
	کر ج	Q ¢f	
	}		
	}	Q \$F	
	} 	Q ¢:	
	} 		
0	} 		
	} 		
0	} 		
0	} 	CONCRET	
			
		- ×	
		- X	
		- X	
		- X	
	L MANHO	- X	
	EAN OUT	- X	
	L MANHO	- X	
	EAN OUT	- X	
	EAN OUT	- X	

LEGE	ND
	EXISTING FEATURES
	EXISTING ADJOINER LINE
- 0	EXISTING BOUNDARY LINE AND CORNERS
	EXISTING EDGE OF PAVEMENT
	AND CURB LINE EXISTING RIGHT-OF-WAY
	EXISTING FENCE
	EXISTING SEWER
-RAP	EXISTING STORMWATER
HOH E HYDRANT	EXISTING WATERLINE
	EXISTING GASLINE
	EXISTING SIDEWALK
JOR NOR	EXISTING CONTOURS
\mathcal{I}	EXISTING TREELINE
	EXISTING UTLITY POLE
	EXISTING LIGHT POLE
	PROPOSED FEATURES
	PROPOSED BUILDING SETBACK
	PROPOSED BOUNDARY LINE AND CORNERS
	PROPOSED EDGE OF PAVEMENT
	AND CURB LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED FENCE
	PROPOSED SEWER
RIP-RAP	PROPOSED STORMWATER
	PROPOSED FIRE PROTECTION WATERLINE
	PROPOSED DOMESTIC WATERLINE
	PROPOSED GASLINE
	PROPOSED CONCRETE/SIDEWALK
IAJOR IINOR	PROPOSED CONTOURS
ار : • الله :	LOT 27 FUTURE CONSTRUCTION (SUBJECT TO FUTURE LAND DEVELOPMENT PLAN)

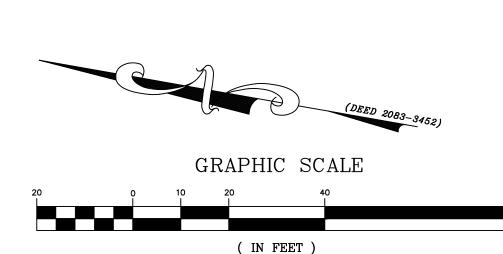
UGI NOTES:

GAS MAIN SHALL BE LOCATED A MINIMUM OF 5' FROM WATER AND SEWER MAINS. ELECTRIC AND GAS MAY SHARE A COMMON TRENCH, IF

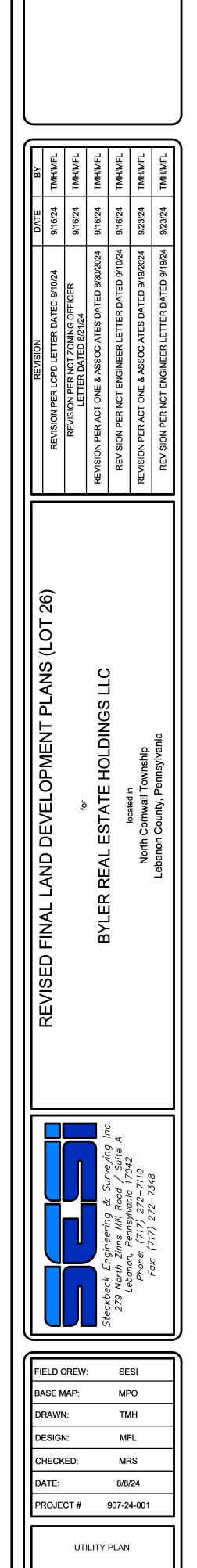
- APPROVED BY ELECTRIC COMPANY. GAS METER MUST BE 10' AWAY FROM THE ELECTRIC METER,
- OUTSIDE CONDENSING UNITS, WINDOWS, AND DOORS.
- GAS LINE SHALL BE INSTALLED BETWEEN CURB AND SIDEWALK IN COMMERCIAL AREAS.

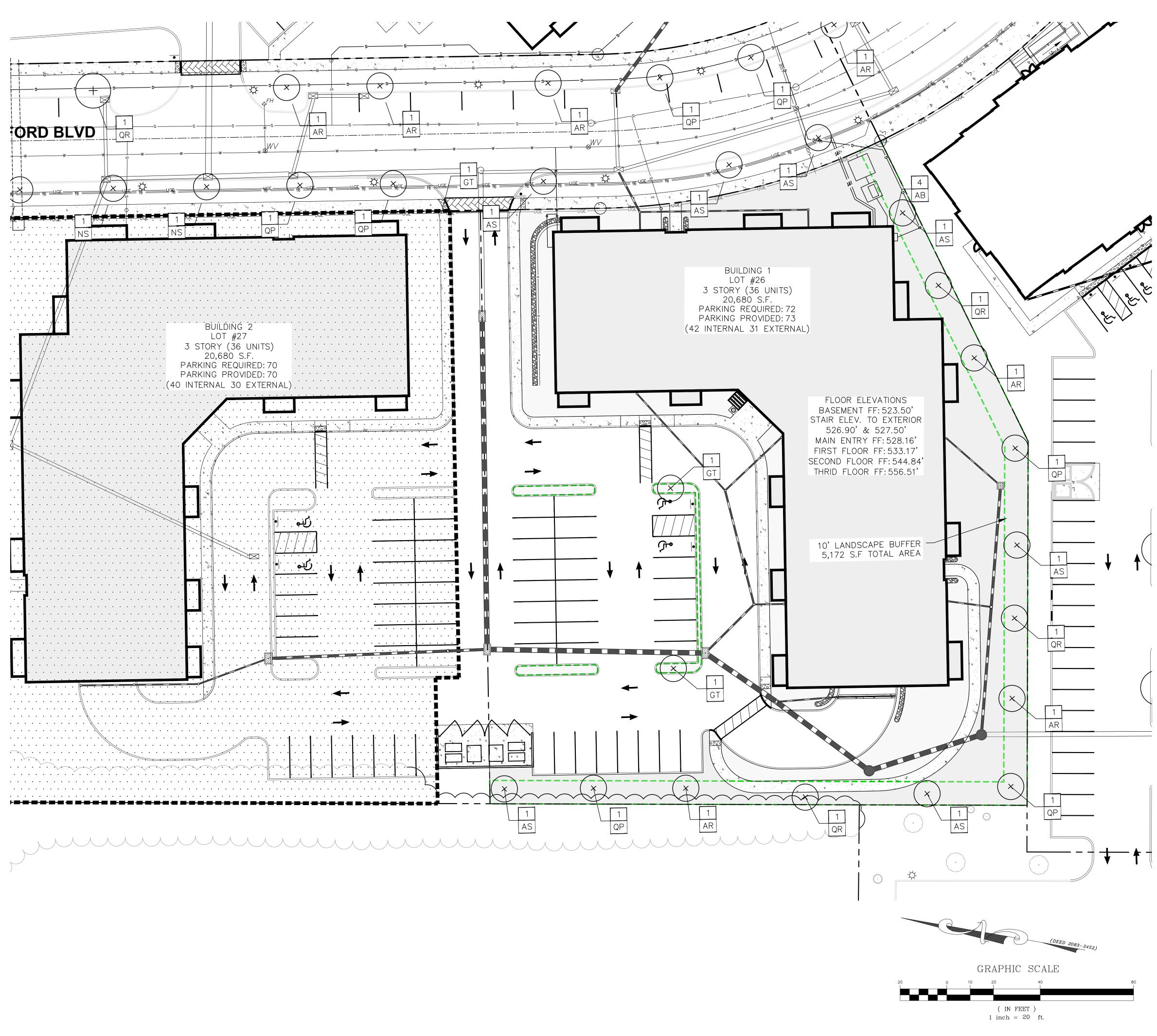
UTILITY NOTES

- IF REQUIRED, A GREASE INTERCEPTOR SHALL BE PROVIDED IN ACCORDANCE WITH THE NORTH CORNWALL TOWNSHIP FOG ORDINANCE #307 OF 2018.
- SANITARY SEWER MAINS SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE ELEVATION. BUILDING SEWER AND LATERALS SHALL HAVE A MINIMUM OF FOUR FEET OF COVER FROM FINISHED GRADE ELEVATION.
- WATER MAINS AND WATER LATERALS SHALL HAVE A MINIMUM OF FOUR FEET OF COVER AND ARE TO MAINTAIN A MINIMUM 18" SEPARATION FROM STORM SEWER PIPING (MAINS SHALL BE INSULATED IF 18" SEPARATION IS NOT ACHIEVED.
- ALL BUILDING DOWNSPOUTS SHALL CONNECT TO THE STORM SEWER PIPE SYSTEM
- THRUST BLOCKS TO BE INSTALLED AT ALL BENDS OF WATER SERVICE CONNECTIONS.
- THE ENGINEER SHALL BE GIVEN AT LEAST 5 BUSINESS DAYS NOTIFICATION PRIOR TO CONSTRUCTION TO SCHEDULE INSPECTION
- WITHIN SEVEN DAYS BEFORE THE SANITARY SEWER WORK IS COMMENCED, THE CONTRACTOR SHALL SUBMIT THREE COPIES, OR ONE DIGITAL COPY, OF A PRACTICABLE AND FEASIBLE PROGRESS SCHEDULE SHOWING THE ORDER IN WHICH THE WORK IS TO BE CARRIED OUT, THE DATES ON WHICH SALIENT FEATURES WILL START (INCLUDING PROCUREMENT OF MATERIALS AND EQUIPMENT), AND THE CONTEMPLATED DATES FOR COMPLETING SUCH WORK.
- SHOP DRAWINGS OF MANHOLE BASES, MANHOLE RISERS, MANHOLE FRAMES AND COVERS, PIPE AND ANY OTHER NECESSARY CONSTRUCTION MATERIALS FOR THE SANITARY SEWER IMPROVEMENTS MUST BE SUBMITTED TO AND APPROVED BY THE TOWNSHIP ENGINEER.
- SANITARY SEWER CLEANOUTS SHALL BE PROVIDED FOR THE PROPOSED SEWER LATERAL AT A MINIMUM OF EVERY 50 FEET. 0. MATERIALS UTILIZED FOR DOMESTIC WATER AND FIRE SERVICE FROM THE BUILDING TO THE METER SHALL BE AT THE
- DISCRETION OF THE OWNER / CONTRACTOR. . A CLEANOUT PROTECTION CASTING SHALL BE PROVIDED FOR
- ALL OBSERVATION TEES IN PAVED AREAS, INCLUDING SIDEWALKS & WALKWAYS.



1 inch = 20 ft.





		LEG	END										
	0	O	EXISTI EXISTI AND (EXISTI AND (EXISTI	NG ADJOIN NG BOUNE CORNERS NG EDGE CURB LINE NG RIGHT-	NER LINE DARY LINE OF PAVEMENT -OF-WAY								
		WALL BAD						MFL	MFL	MFL	MFL	MFL	MFL
		н О н	EXISTI	NG WATER	LINE		B	TMH/	TMH/	TMH/	TMH/	TMH/	TMH/
	GGGG		EXISTI	NG GASLIN	١E		DATE	1/16/24	1/16/24	1/16/24	/16/24	//23/24	1/23/24
		MAJOR						6	6				
	à		EXISTI	NG TREEL	NE				FFICER	ATED 8/30/20	R DATED 9/10	ATED 9/19/20	DATED
			PROPO PROPO AND C PROPO PROPO PROPO	POSED DSED BUIL DSED BUIL DSED BOUL CORNERS DSED EDGE CURB LINE DSED RIGH DSED FENC	FEATURES DING SETBACK NDARY LINE E OF PAVEMENT T-OF-WAY CE ER		REVISION	VISION PER LCPD LETTER	REVISION PER NCT ZONING LETTER DATED 8/21/2	<u> </u>		PER ACT ONE & ASSOCIATES	PER NCT ENGINEER LETT
Image: Note and one-half inches (2-1/2") Measured six inches (6") above the root ball. PLANT KEY Shade Trees Shall have a minimum caliper of two and one-half inches (2-1/2") Measured six inches (6") above the root ball. Shrubs note Shade the root ball. Shrubs Note Shade the root ball. Shrubs Species to be selected by owner at the time of construction. Image: Shrubs species to be selected by owner at the time of construction. E TREE FOR EACH 400 SF of required Landscape strip (400 S.F.=13 Shade trees) PLANTING SCHEDULE Image: Species to be selected by a landscape strip (400 S.F.=13 Shade trees) PROPosed buffer yard trees, Landscaper may alternate between trees. PLANTING SCHEDULE Image: Species to the selected by the root trees trees the selected by the selec	FWFW		PROPO PROPO PROPO PROPO LOT 2 (SUB	DSED FIRE DSED DOM DSED GAS DSED CON DSED CON 27 FUTURE JECT TO F	PROTECTION W. ESTIC WATERLIN LINE CRETE/SIDEWAL TOURS CONSTRUCTION UTURE LAND	E		(LUI		Ċ)		
AREA E TREE FOR EACH 400 SF OF REQUIRED LANDSCAPE STRIP (400 S.F.=13 SHADE TREES PROPOSED BUFFER YARD TREES. LANDSCAPER MAY ALTERNATE BETWEEN TREES. PLANTING SCHEDULE EEDITSIA TRIACANTHOS INERMIS 2 1/2" CAL./ B&B 2 *	SHADE TREES SHALL I AND ONE-HALF INCHE	ES (2-1/2"			DIDUOUS TREE RGREEN TREE DING			FINAL LAND	for			Cornwal	County,
E TREE FOR EACH 400 SF OF REQUIRED LANDSCAPE STRIP /400 S.F.=13 SHADE TREES PROPOSED BUFFER YARD TREES. LANDSCAPER MAY ALTERNATE BETWEEN TREES. PLANTING SCHEDULE IEDITSIA TRIACANTHOS INERMIS 2 1/2" CAL./ B&B 2	SHRUBS NOTE SHRUB SPECIES TO BE	E SELECTEI		WNER AT	THE			KEVIVE					
LOT 26 BUFFER AREA SLEDITSIA TRIACANTHOS INERMIS HALKA/HONEY LOCUST 2 1/2" CAL./ 8' HEIGHT B&B 2 * QUERCUS PALUSTRIS/PIN OAK 2 1/2" CAL./ 8' HEIGHT B&B 0 * ACER RUBRUM/RED MAPLE 2 1/2" CAL./ 8' HEIGHT B&B 0 * CER SACCHARUM/SUGAR MAPLE 2 1/2" CAL./ 8' HEIGHT B+B 0 *	TREE FOR EACH 400 SF OF REQUIRI 400 S.F.=13 SHADE TREES	APER MAY /									/ Suite /	uniu 17042 72-7110 2-7.348	
QUERCUS PALUSTRIS/PIN OAK 2 1/2" CAL./ 8' HEIGHT B&B 0 * ACER RUBRUM/RED MAPLE 2 1/2" CAL./ 8' HEIGHT B&B 0 * CER SACCHARUM/SUGAR MAPLE 2 1/2" CAL./ 8' HEIGHT B+B 0 *	PLANTING SCH				AREA						s Mill F	717) 2, 77) 275	1
ACER RUBRUM/RED MAPLE 2 1/2" CAL./ 8' HEIGHT B&B 0 * CER SACCHARUM/SUGAR MAPLE 2 1/2" CAL./ 8' HEIGHT B+B 0 *	EDITSIA TRIACANTHOS INERMIS 2 1/		B&B	2	1 1		1			(, v) (いいて	
CER SACCHARUM/SUGAR MAPLE 2 1/2 UAL./ B+B 0 *	EDITSIA TRIACANTHOS INERMIS 2 1/ HALKA/HONEY LOCUST 8' QUERCUS PALUSTRIS/PIN OAK 2 1/ 8'	HEIGHT 2"CAL./ HEIGHT						J			aniyn- n Zinn a ac	7 (1) 2016: 1.x. (7)	
QUERCUS RUBRA/RED OAK 2 1/2 CALL/ B+B 0 * U U U U GALL/ B+B 0 *	EDITSIA TRIACANTHOS INERMIS 2 1/ HALKA/HONEY LOCUST 8' QUERCUS PALUSTRIS/PIN OAK 2 1/ 8' ACER RUBRUM/RED MAPLE 2 1/ 8'	HEIGHT 2" CAL./ HEIGHT 2" CAL./ HEIGHT	B&B	0	*						North Zinn	Phone: Fax: ()	

	(LOT 26 PER ARTICLE 3.14.2)										
LOT	PROPOSED USE	PROVIDED PARKING SPACES (ABOVE GROUND)	REQUIRED INTERNAL GREEN: 300 SF PER 20 PARKING SPACES	PROVIDED INTERNAL GREEN (SF)	REQUIRED PARKING LOT TREES:1 TREE PER 20 PARKING SPACES	PROVIDED PARKING LOT TREES					
26	FOR SALE APARTMENTS	31	465	500	2	2					

FIELD CREW: SESI BASE MAP: MPO тмн DRAWN. DESIGN: MFL CHECKED: MRS DATE: 8/8/24 PROJECT # 907-24-001 LANDSCAPING PLAN \mathbf{O}

OF 20 SHEETS

BUFFEF One shae 5,172 s.f

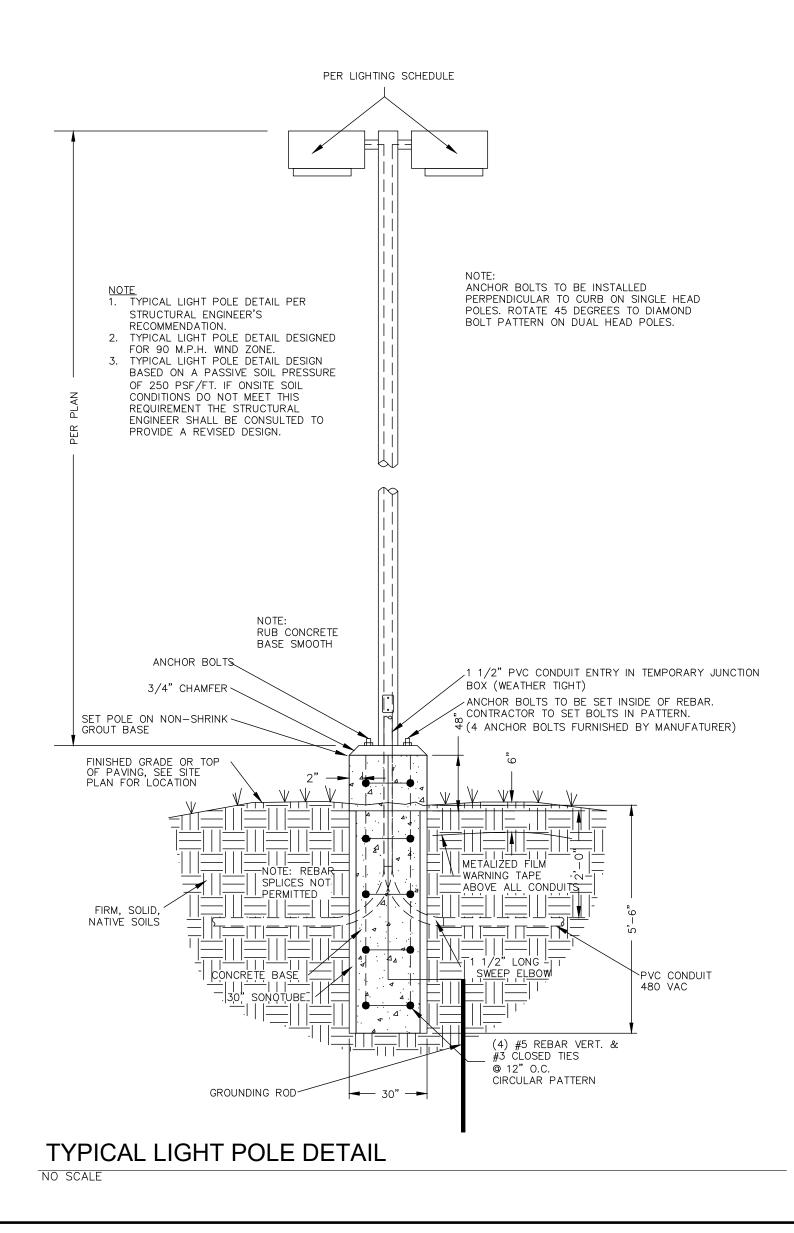
* 13 TOTAL

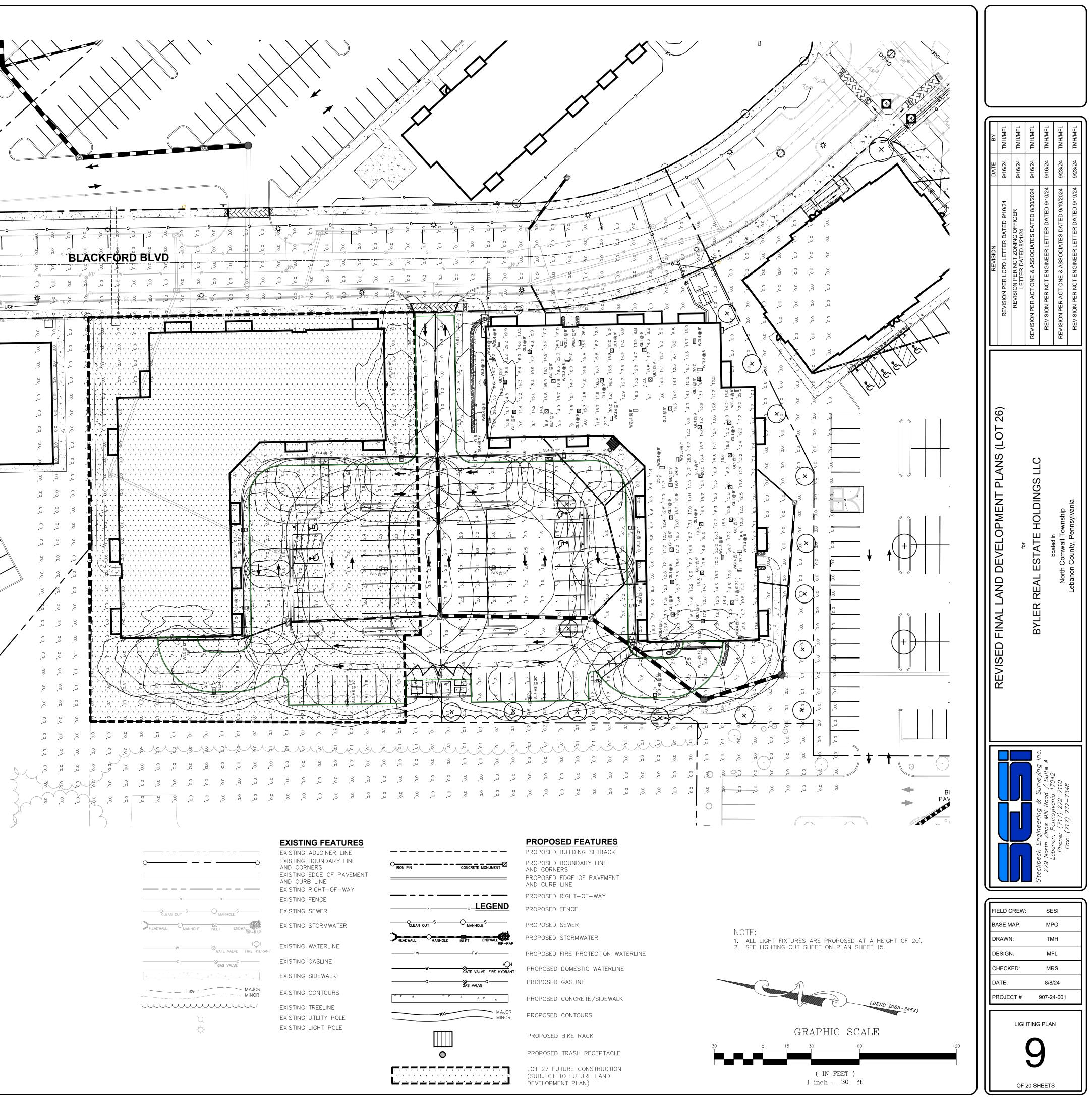
	PLANTING	SCHEDULE			
				LOT 26	BUFFEF AREA
GT	GLEDITSIA TRIACANTHOS INERMIS HALKA/HONEY LOCUST	AIS 2 1/2" CAL./ 8' HEIGHT B&B		2	*
QP	QUERCUS PALUSTRIS/PIN OAK	2 1/2" CAL./ 8' HEIGHT	B&B	0	*
AR	ACER RUBRUM/RED MAPLE	2 1/2" CAL./ 8' HEIGHT	B&B	0	*
AS	ACER SACCHARUM/SUGAR MAPLE	2 1/2" CAL./ 8' HEIGHT	B+B	0	*
QR	QUERCUS RUBRA/RED OAK	2 1/2" CAL./	B+B	0	*

Schedule							
Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Lamp	Light Loss Factor	Wattage
	GL1	27	eLuminaire	CIPS2-G-80-50K7-MV-BZ-L2	8573	0.95	67.1
^ E	SL3-HS	4	Lithonia Lighting	DSXO LED P2 50K T3M MVOLT SPA DDBXD HS / SSS 20 4C DM19AS DDBXD	4788	0.95	49
^ 且	SL4	8	Lithonia Lighting	DSXO LED P1 50K BLC4 MVOLT SPA DDBXD / SSS 12 4C DM19AS DDBXD	3319	0.95	33.21
^ ∎.	SL5	2	Lithonia Lighting	DSXO LED P6 50K T5M MVOLT SPA DDBXD / SSS 20 4C DM19AS DDBXD	16785	0.95	134
^ 8. 8 V	SL6	0	Lithonia Lighting	DSXO LED P4 50K T3M MVOLT SPA DDBXD / SSS 20 4C DM28AS DDBXD	10386	0.95	184
	WL3	4	Lithonia Lighting	DSXW1 LED 20C 530 50K T3M MVOLT DDBXD	4314	0.95	35
	WL4	0	Lithonia Lighting	DSXW1 LED 20C 530 50K TFTM MVOLT DDBXD	4393	0.95	35
	WGL3	4	eLUMINAIRE	TWP-40-50K-C-T4-BZ	4865	0.95	40.25
	WGL4	14	eluminaire	TWP-60-50K-C-T4-BZ	7389	0.95	61.59

Statistics

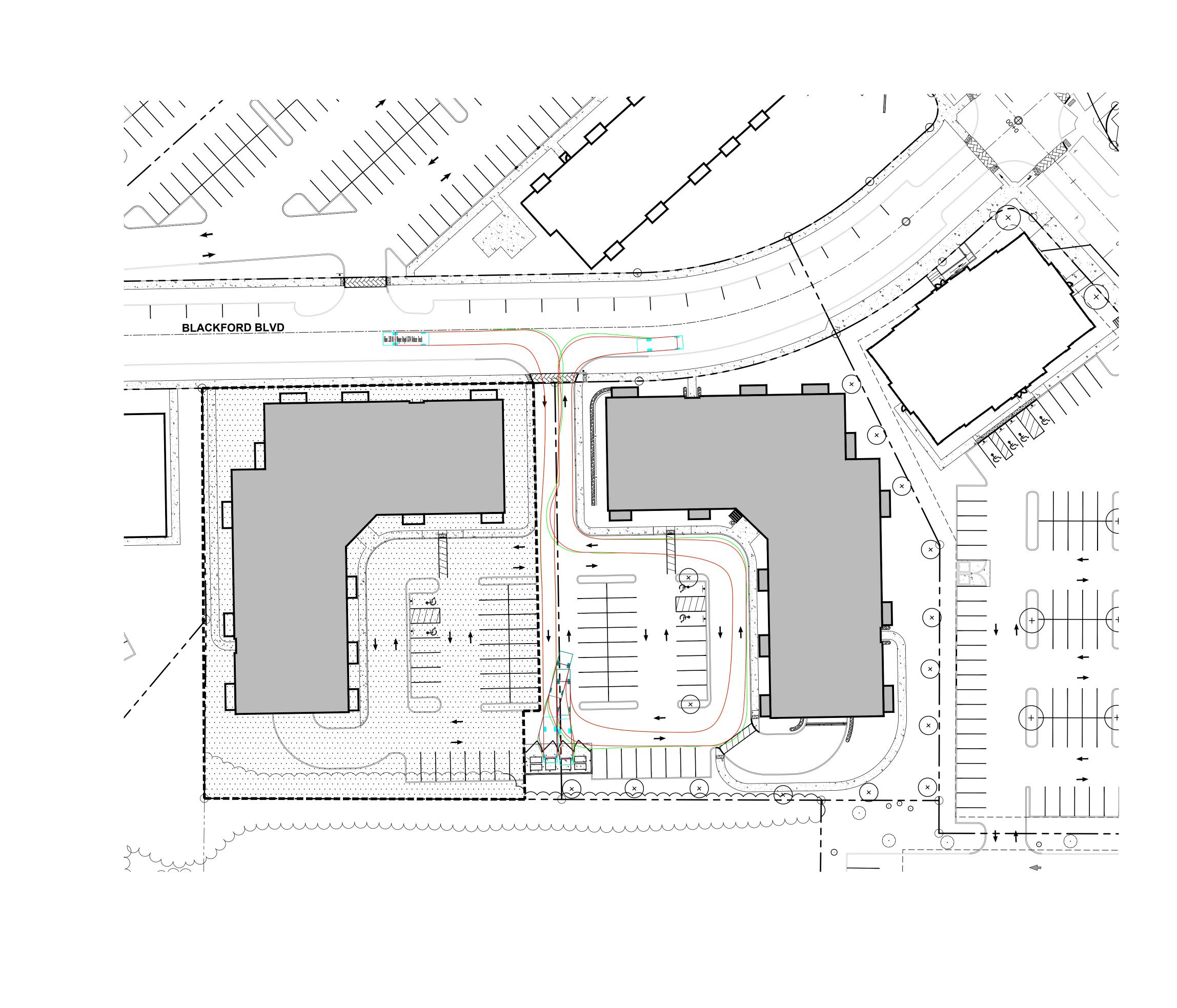
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Garage Lighting At Grade	+	14.6 fc	37.7 fo	5.4 fc	7.0:1	2.7:1
Parking Lot	Ж	1.9 fc	4.0 fc	0.7 fc	5.7:1	2.7:1

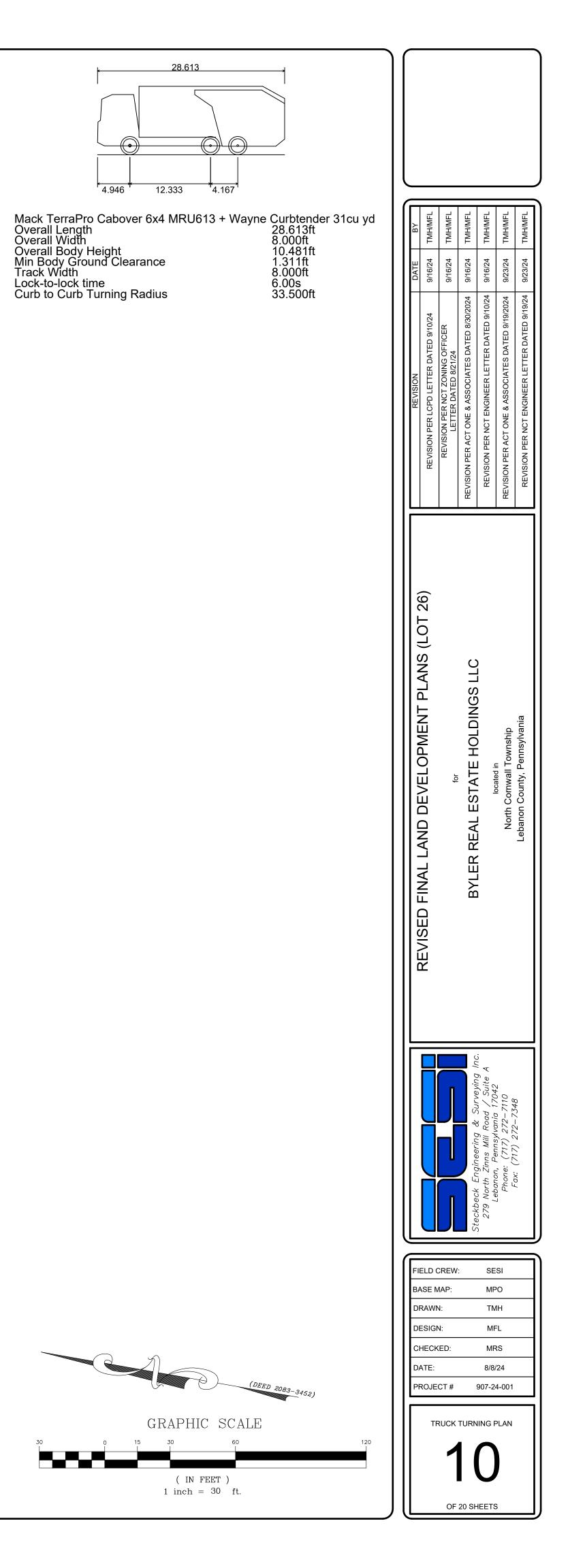


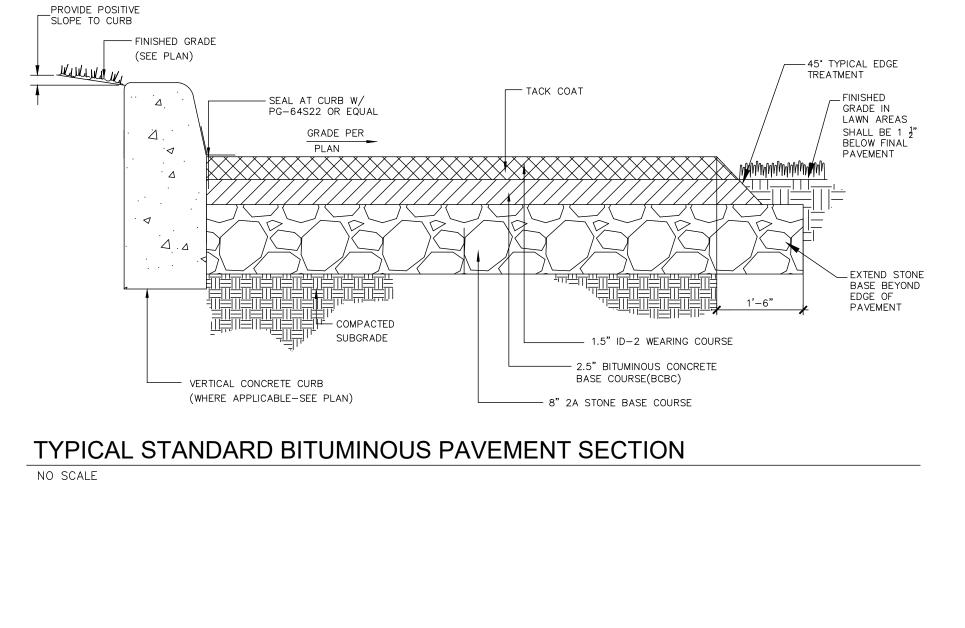


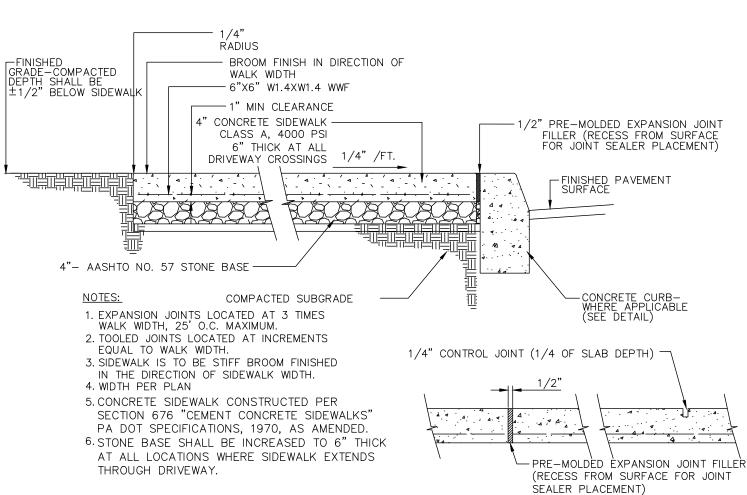
	X	X	
0- CL	EAN OUT	MANHOLE S	
HEADWAL	L MANHOLE	INLET END	WALL RIP-RA
	W	GATE VALVE	FIRE H
	G	GAS VALVE	
4			⊲ 4
	— — — 100 — -		- MAJOI MINOF

		CONCRETE MONUMENT
	- x	× LLGL N
CLEAN OL	S	-O-manholes
HEADWALL		INLET ENDWALL
EW		FW-FW-
F W		
	w	GATE VALVE FIRE HY
	G ————	GAS VALVE
	4	<u>م م م</u>
	100	MA MI

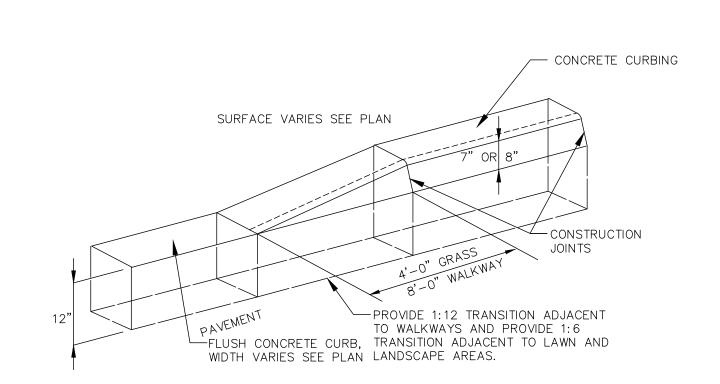




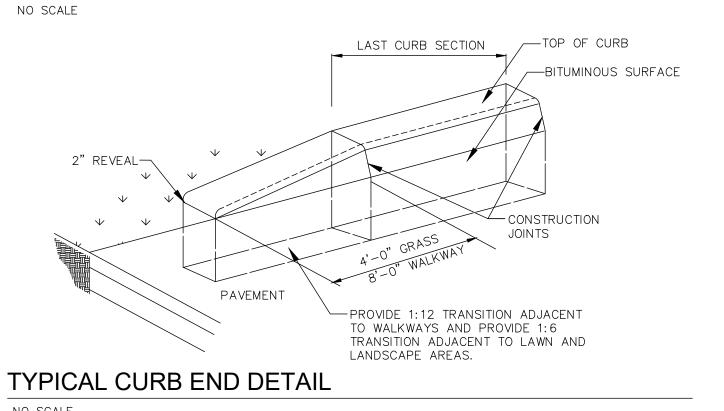






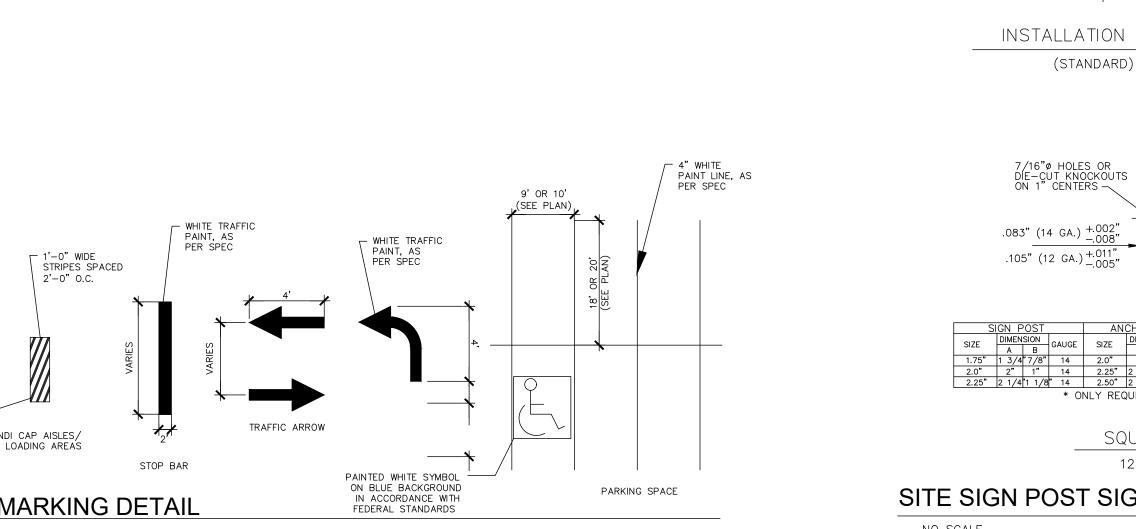


FLUSH CURB DETAIL



☐ 1'-0" WIDE ☐ STRIPES SPACED 2'-0" O.C. WHITE TRAFFIC -PAINT, AS PER SPEC HANDI CAP AISLES/

PAVEMENT MARKING DETAIL NO SCALE



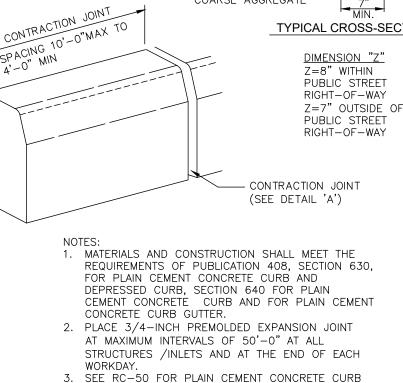


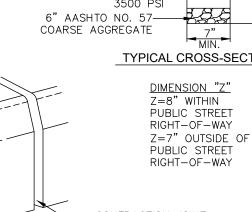
SPECIIFICATON, 1970, AS AMENDED.

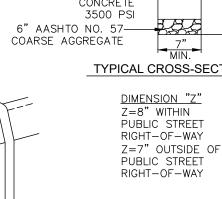
SLOPED TOP TREATMENT AT END OF STRUCTURES.

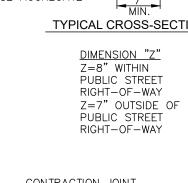
"PLAIN CEMENT CONCRETE CURB GUTTER" PA DOT

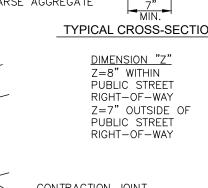
4. CONCRETE CURB CONSTRUCTED PER SECTION 641

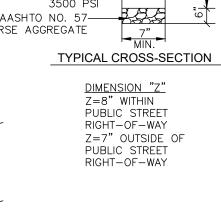


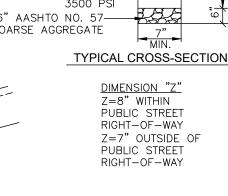


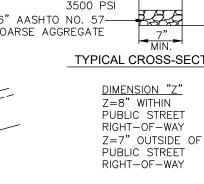


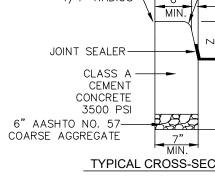












COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)

NOTE: INSTALL PER REQM'TS OR PADOT TITLE67, CHAPTER 211-OFFICIAL TRAFFIC CONTROL

DIMENSIONS SER BOR BLANK

 A
 B
 C
 IES
 DER
 STD

 24
 8
 10
 C
 §
 B1-24

10 12<u>1</u>

* REDUCE SPACING 40%

BACKGROUND

SIGN

NO SCALE

WIDE

- SAW CUT

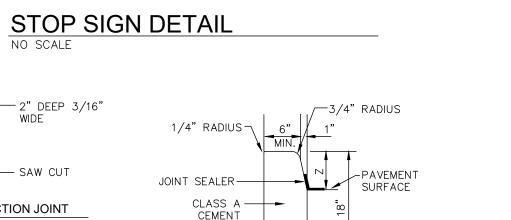
DETAIL 'A' CONTRACTION JOINT

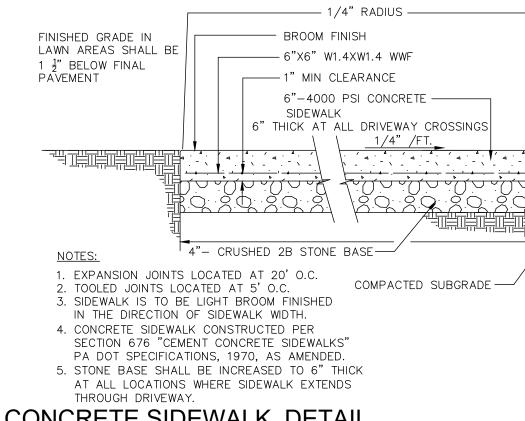
2" DEEP 3/16"

48 X 48 48

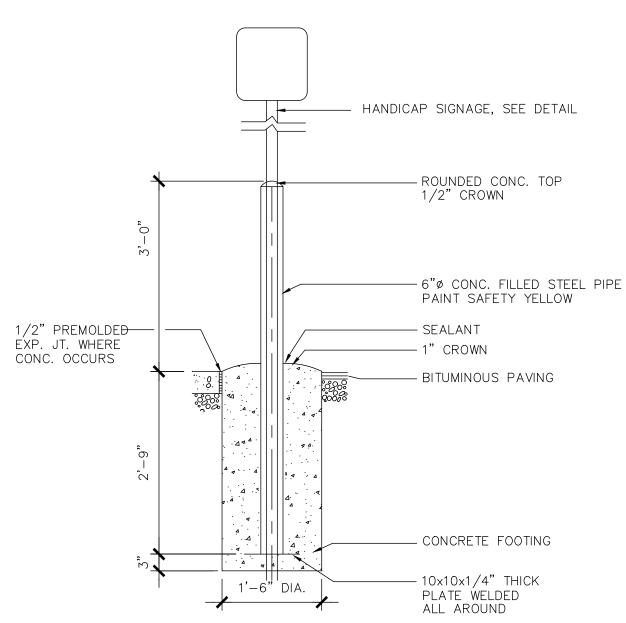
DEVICES.

RED (REFLECTORIZED)

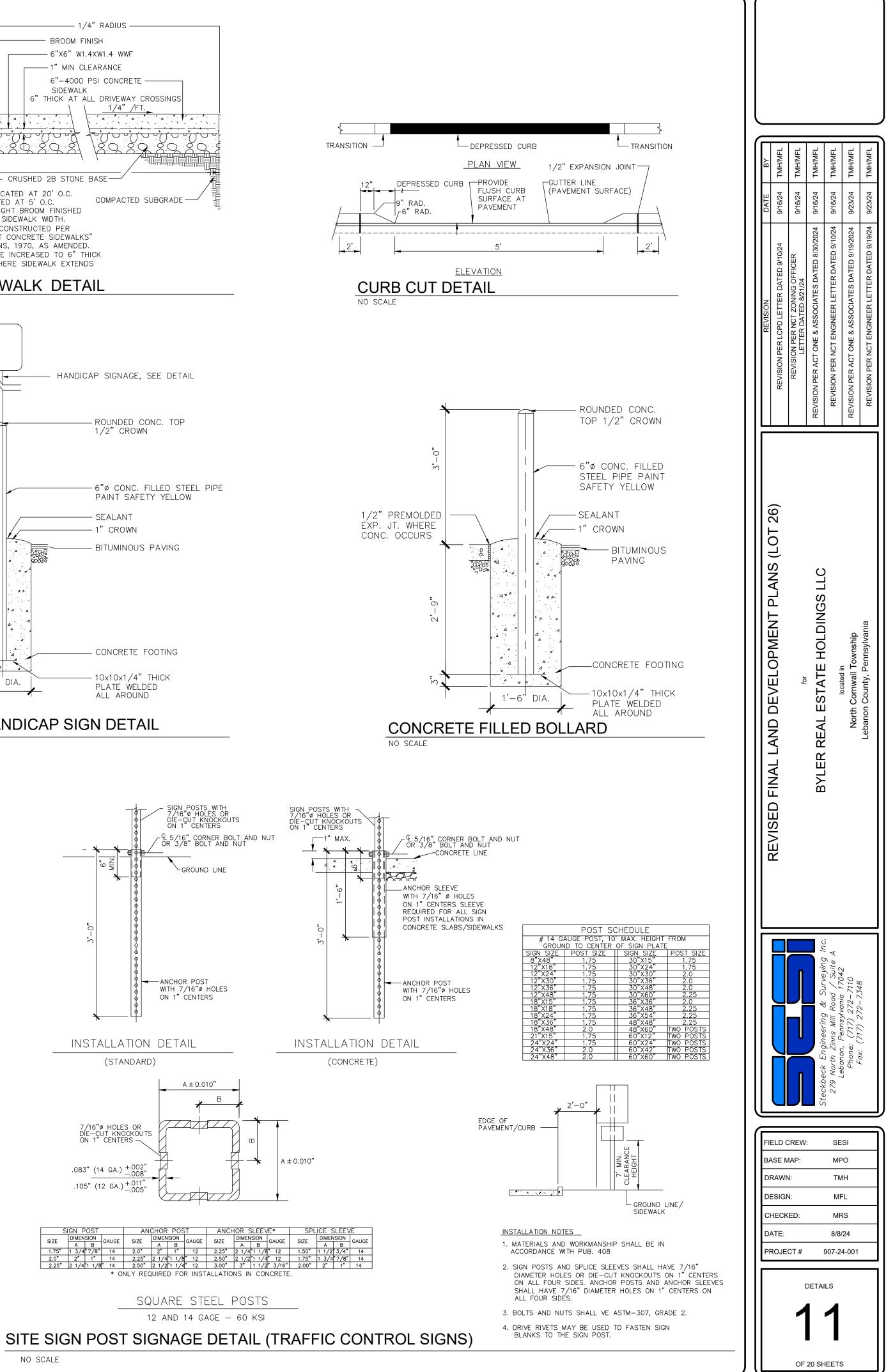


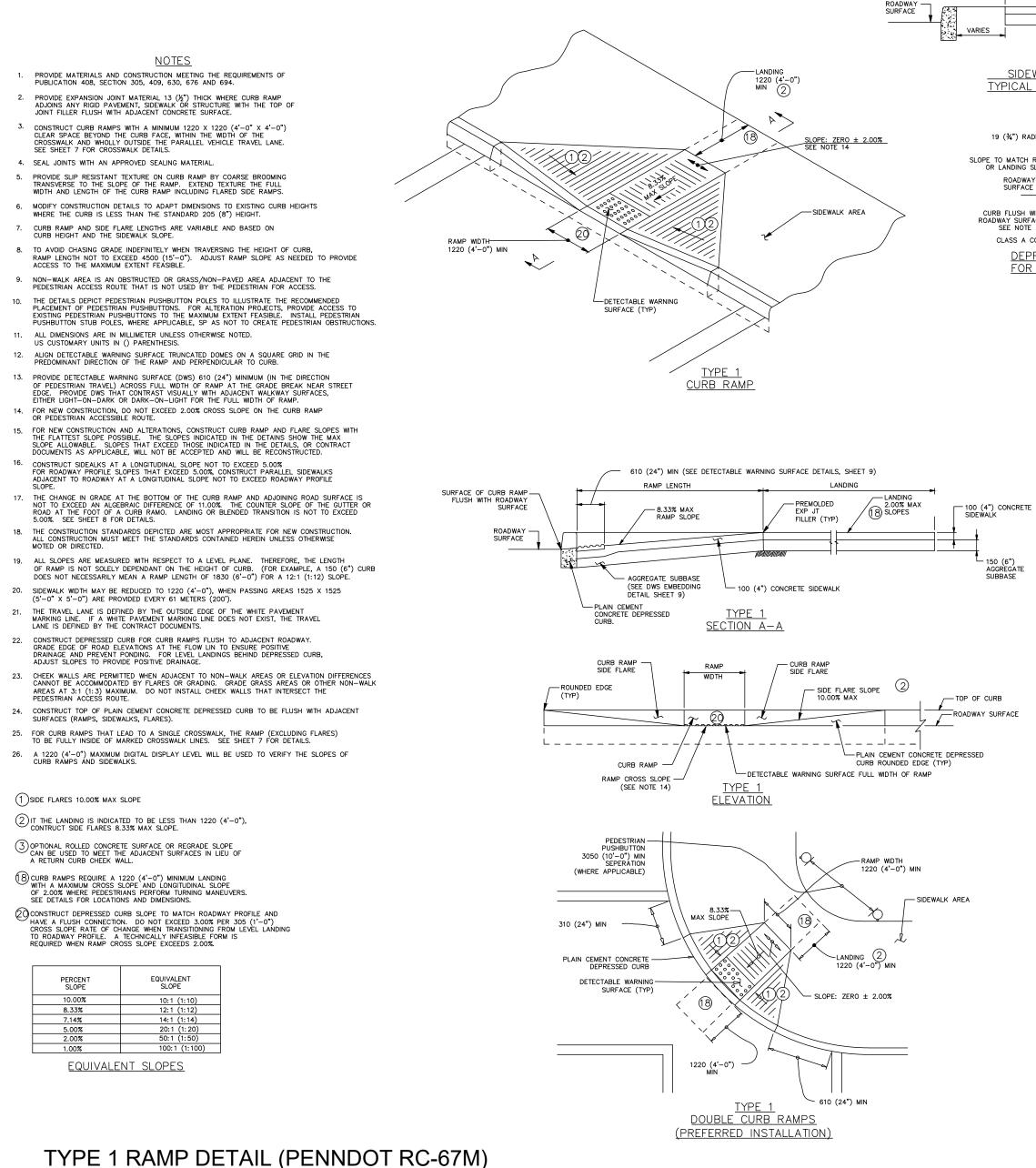


CONCRETE SIDEWALK DETAIL NO SCALE



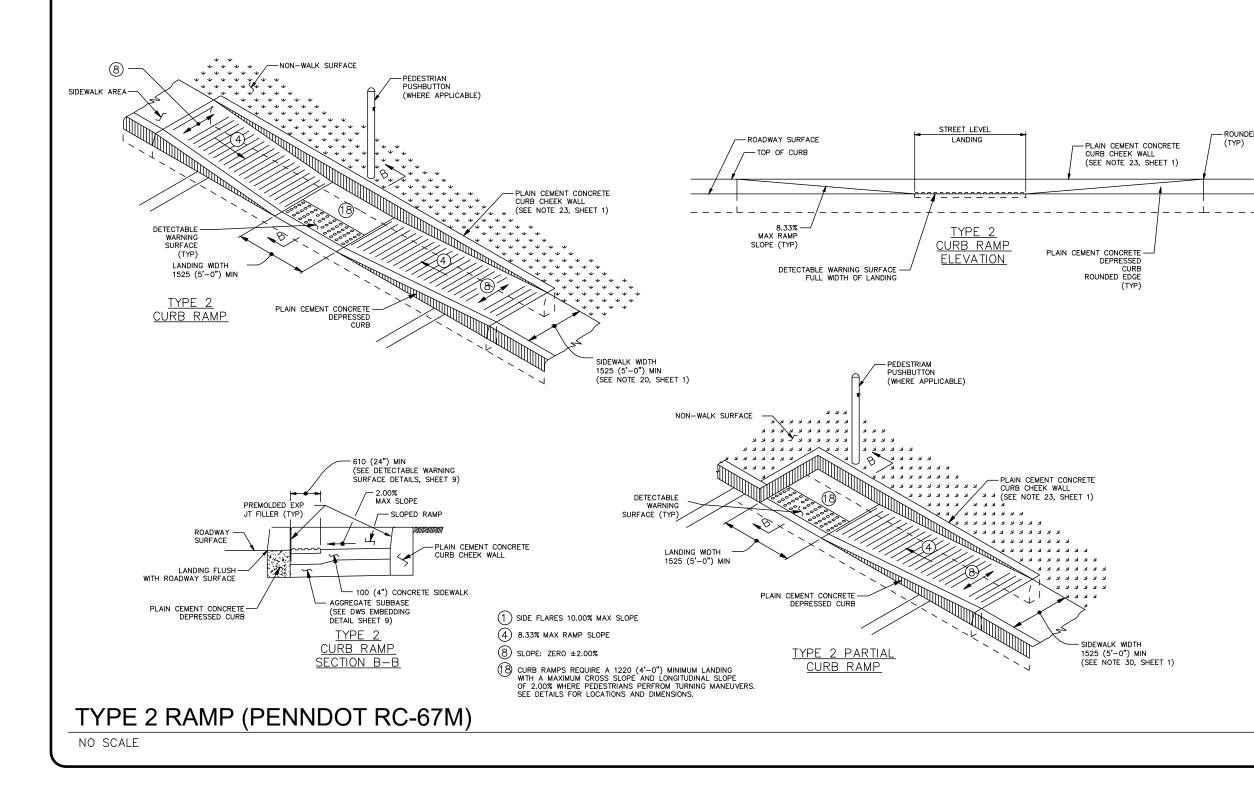
BOLLARD WITH HANDICAP SIGN DETAIL NO SCALE

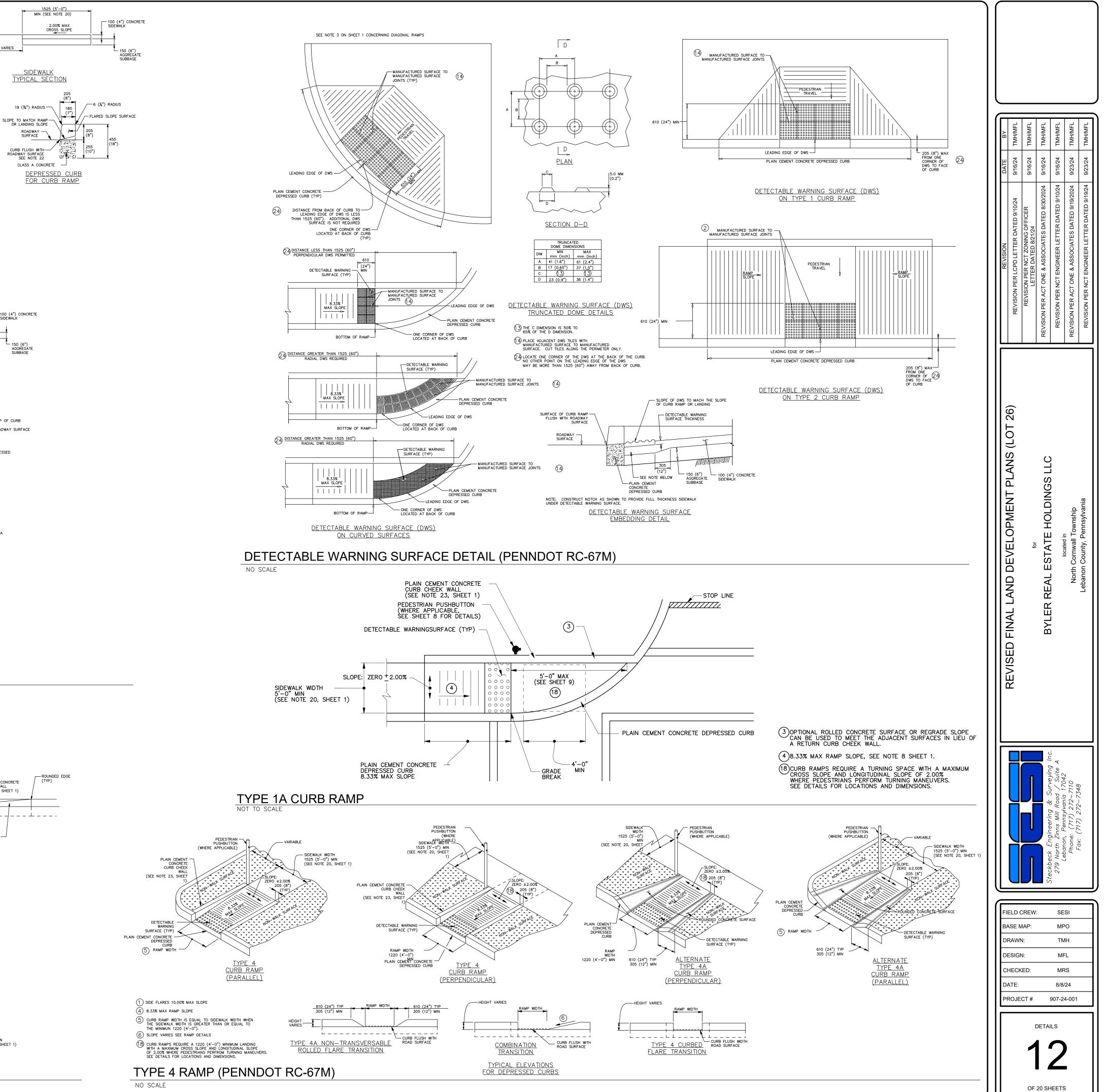


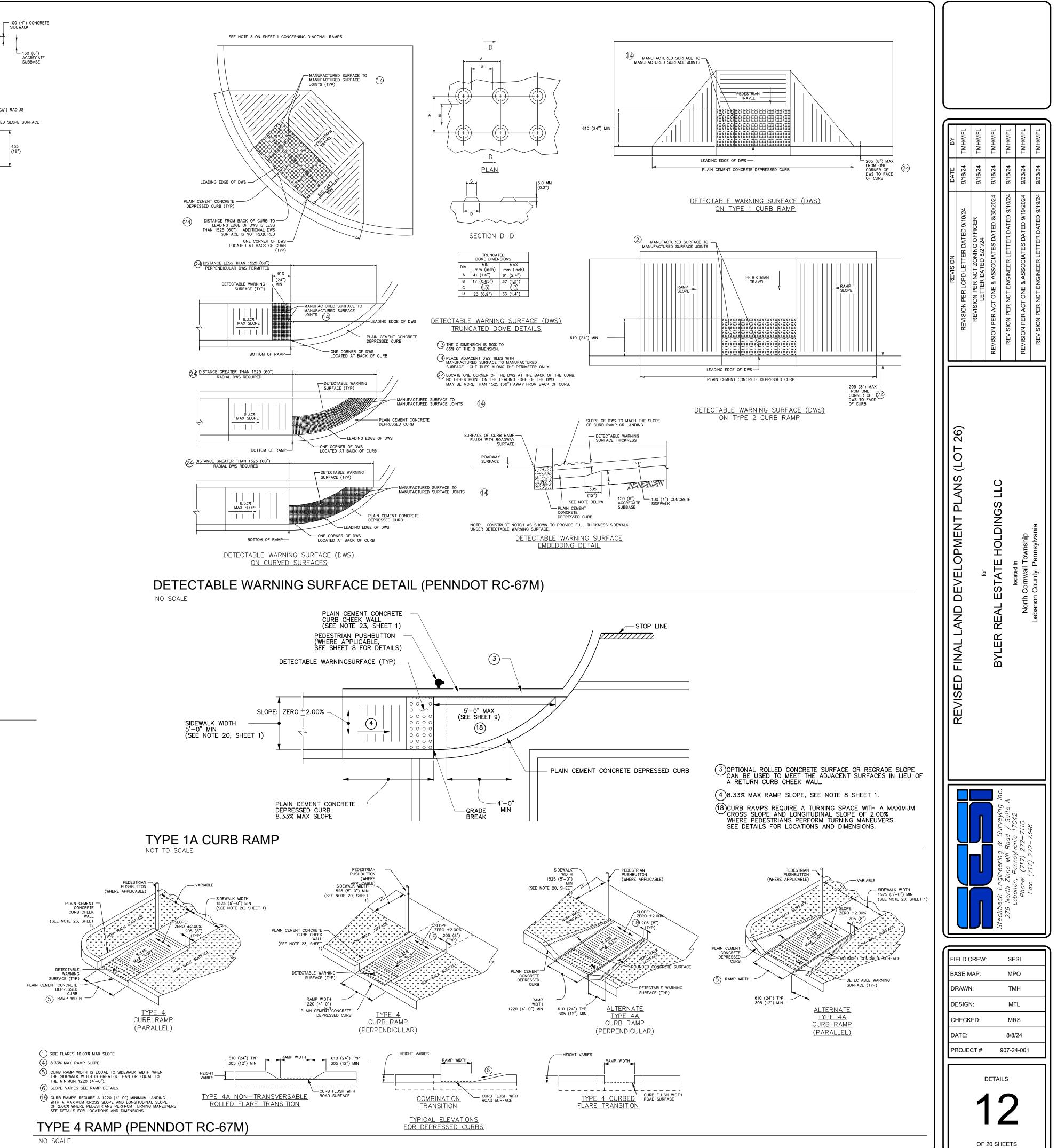


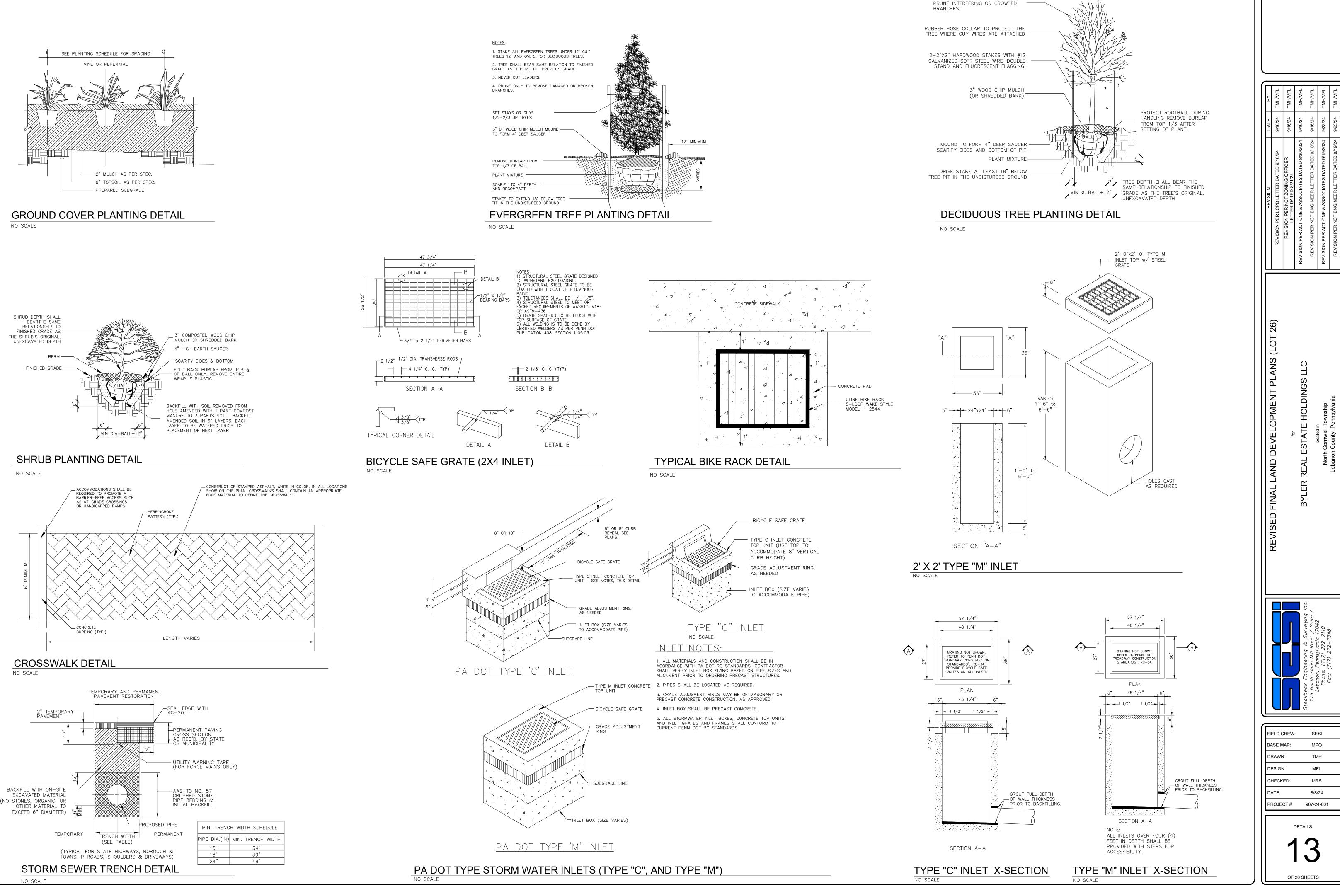
150 (6") AGGREGAT SUBBASE

TYPE 1 RAMP DETAIL (PENNDOT RC-67M) NO SCALE









SEEDING SCHEDULE & NOTES NO SCALE

3. ALL DIVERSIONS, CHANNELS, SED TRAPS AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.

1.	FERTILIZER AND LIME SH	ALL BE APPLIED IN	I ACCORDANCE WITH	SOIL TESTS.	
2.	ALL SEEDED AREAS SHA	LL BE MULCHED WI	TH HAY OR STRAW	APPLIED AT A RA	ATE OF 3 TONS/ACRE.
	MULCH TO BE ANCHORED) WITH WOOD CELL	ULOSE FIBER @ 750	LBS/AC.	

					_		
APPLICATION	SPECIES	%	APPLICATION RATE	FINAL SEEDING DATE		FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE	98%	40 LBS/AC	OCT. 15		10-10-10 AC	1 TON/AC AG GRADE
	ANNUAL RYE		P.L.S. IN LBS/AC				
	GRASS		10				
PERMANENT	PLUS TALL FESCUE		30	MARCH 15 AND OCT. 15		10–10–20 N–P205–K20 /ACRE	6 TON/AC AG GRADE*

CUBIC YARDS OF TO	OPSOIL REQUIRED FOR APPLICATION	TO VARIOUS DEPTHS
DEPTH (IN.)	PER 1,000 SQUARE FEET	PER ACRE
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

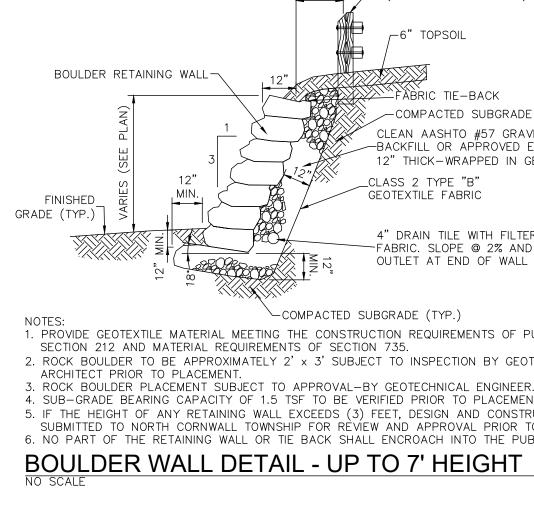
	TABLE	11.1	
CUBIC YARDS OF	TOPSOIL REQUIRED FO	R APPLICATION TO	VARIOUS DEPTHS

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.

INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE. TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4

TOPSOIL APPLICATION GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5



TRENCH NOTES:

-APPROVED

BACKFILL-

1'-0" PIPE 0.D.1'-

V//ACDNY//ACDNY

EXISTING GRADE

** 4" IN EARTH, SEE NOTE 1

8" IN ROCK

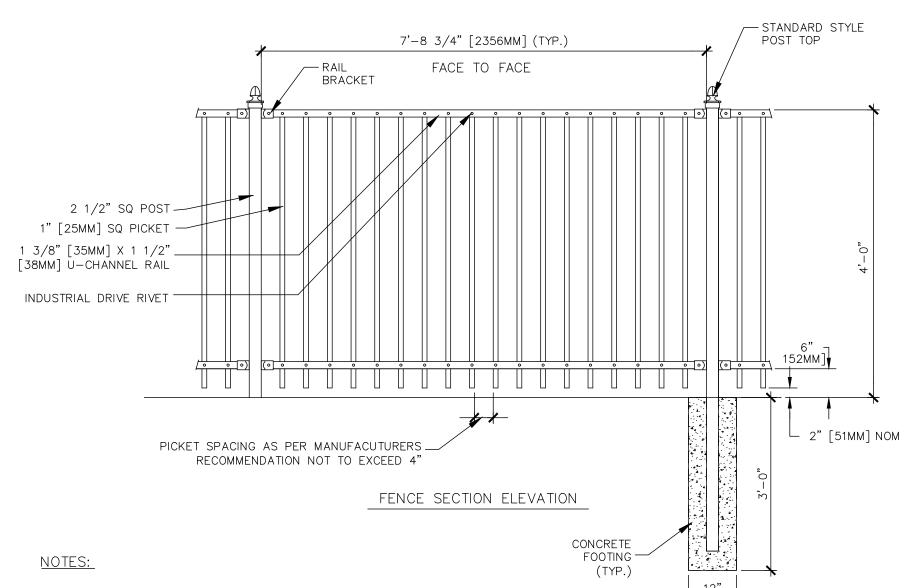
NO SCALE

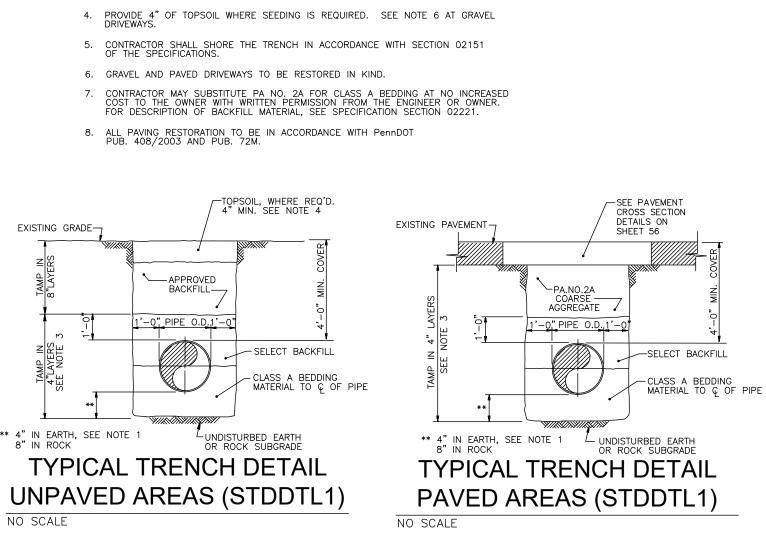


ORNAMENTAL FENCE DETAIL (FENCE BEHIND RETAINING WALL)

2. CONTRACTOR TO SUBMIT SHOP DRAWING FOR ALL PROPOSED FENCE SECTIONS, GATES AND HARDWARE.

1. CONTRACTOR TO SUBMIT SHOP DRAWING FOR PROPOSED FENCING LAYOUT PRIOR $\frac{1}{2}$ TO INSTALLATION SHOW LOCATION OF ALL POSTS AND GATES.





6. GRAVEL AND PAVED DRIVEWAYS TO BE RESTORED IN KIND. 7. CONTRACTOR MAY SUBSTITUTE PA NO. 2A FOR CLASS A BEDDING AT NO INCREASED COST TO THE OWNER WITH WRITTEN PERMISSION FROM THE ENGINEER OR OWNER. FOR DESCRIPTION OF BACKFILL MATERIAL, SEE SPECIFICATION SECTION 02221.

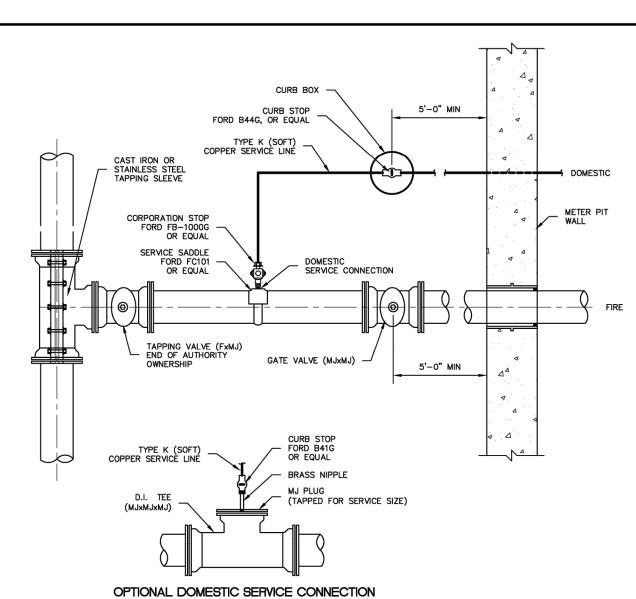
 IF UNSUITABLE SUBSOIL IS ENCOUNTERED AT THE NORMAL TRENCH SUBGRADE, THE CONTRACTOR SHALL REMOVE IT TO THE DEPTH DIRECTED BY THE ENGINEER IN THE FIELD, AND BACKFILL w/ CLASS A BEDDING IN 4" LAYERS. 2. BOTTOM OF TRENCH SHALL BE FREE OF WATER PRIOR TO WATER MAIN INSTALLATION. 3. IF VIBRATORY COMPACTION EQUIPMENT IS USED BACKFILL MAY BE IN 8" LAYERS.

2. ROCK BOULDER TO BE APPROXIMATELY 2' x 3' SUBJECT TO INSPECTION BY GEOTECHNICAL ENGINEER/LANDSCAPE 4. SUB-GRADE BEARING CAPACITY OF 1.5 TSF TO BE VERIFIED PRIOR TO PLACEMENT OF BOULDERS. 5. IF THE HEIGHT OF ANY RETAINING WALL EXCEEDS (3) FEET, DESIGN AND CONSTRUCTION DETAILS OF SUCH MUST BE SUBMITTED TO NORTH CORNWALL TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. 6. NO PART OF THE RETAINING WALL OR TIE BACK SHALL ENCROACH INTO THE PUBLIC ROAD RIGHT-OF-WAY.

└─COMPACTED SUBGRADE (TYP.) 1. PROVIDE GEOTEXTILE MATERIAL MEETING THE CONSTRUCTION REQUIREMENTS OF PUBLICATION 408 SPECIFICATION

______ —BACKFILL OR APPROVED EQUAL 12" THICK-WRAPPED IN GEOTEXTILE CLASS 2 TYPE "B" GEOTEXTILE FABRIC 4" DRAIN TILE WITH FILTER FABRIC. SLOPE @ 2% AND OUTLET AT END OF WALL

ORNAMENTAL FENCE (SEE DETAIL SHEET 62) TOPSOIL ÈÀBRIC TIE-BACK



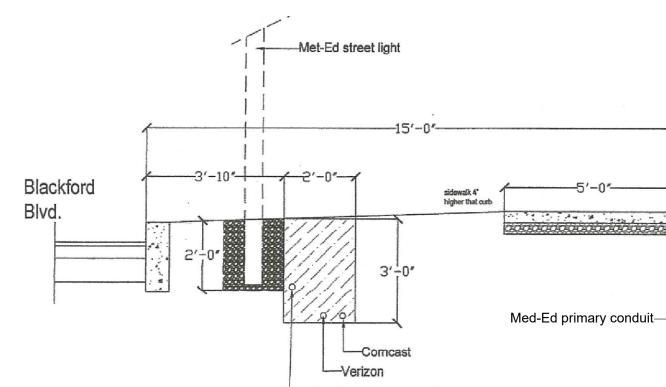
PLAN VIEW

FIRE LINE WITH DOME

N. T. S.

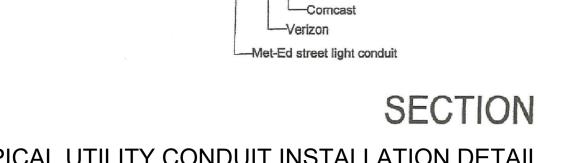
WATER NOTES - CITY OF LEBANON AUTHORITY (REVISED 1/14/22)

- 1. CONTACT INFORMATION FOR THE CITY OF LEBANON AUTHORITY CITY OF LEBANON AUTHORITY, 2311 RIDGEVIEW ROAD, LEBANON, PA 17042 BOB SENTZ, bsentz@lebanonauthority.org, 717-272-2841
- 2. WATER SYSTEMS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CURRENT CITY OF
- LEBANON AUTHORITY "GENERAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION".
- 3. THE CONSTRUCTION OF WATER MAINS REQUIRES A WATER MAIN EXTENSION AGREEMENT BETWEEN THE DEVELOPER AND THE AUTHORITY.
- 4. EXISTING WATER MAINS ARE SHOWN AT AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL EXCAVATE TEST PITS TO DETERMINE ACTUAL LOCATIONS AND VERIFY WATER MAIN SIZES AND DEPTHS AT UTILITY CROSSINGS, EXCAVATED AREAS, AND TIE-IN LOCATIONS.
- 5. WATER SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE WATER TAPS.
- 6. FIRE SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE FIRE LINE TAP. FIRE LINE AGREEMENT ALSO REQUIRED.
- 7. ANY WORK WITHIN PENNDOT RIGHT-OF-WAY REQUIRES A PENNDOT HIGHWAY OCCUPANCY PERMIT (HOP). THE PERMIT TYPICALLY IS REQUIRED TO BE IN THE AUTHORITY'S NAME AND THE AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE A FINANCIAL GUARANTEE UNTIL PENNDOT SIGNS OFF ON THE PERMIT AFTER CONSTRUCTION IS COMPLETE.
- 8. ANY WORK WITHIN MUNICIPAL RIGHT-OF-WAYS MIGHT REQUIRE A MUNICIPAL PERMIT. THE PERMIT SHALL BE ACQUIRED IN THE CONTRACTOR'S NAME.
- 9. THE AUTHORITY SHALL APPROVE ALL MATERIAL PRIOR TO CONSTRUCTION.
- 10. A MANDATORY PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE AUTHORITY AND WATERLINE CONSTRUCTION CONTRACTOR.
- 11. THE CITY OF LEBANON AUTHORITY WILL INSPECT THE WATER MAIN INSTALLATION AND ASSIST IN COORDINATING TESTING. THERE ARE FEES CHARGED TO THE DEVELOPER / CONTRACTOR FOR INSPECTION SERVICES. WATER MAIN CONSTRUCTION AND FEES SHALL BE COORDINATED WITH THE AUTHORITY

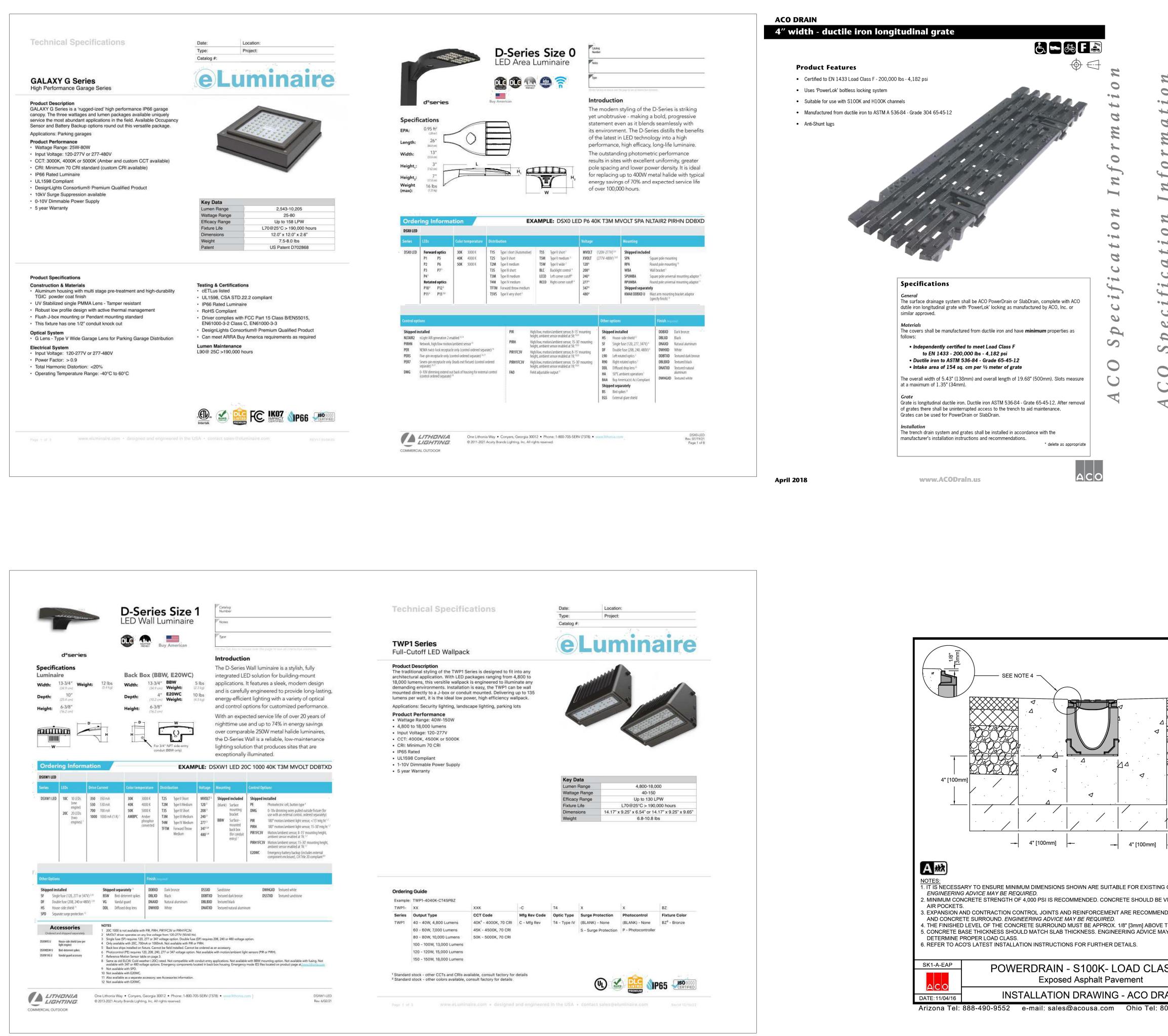




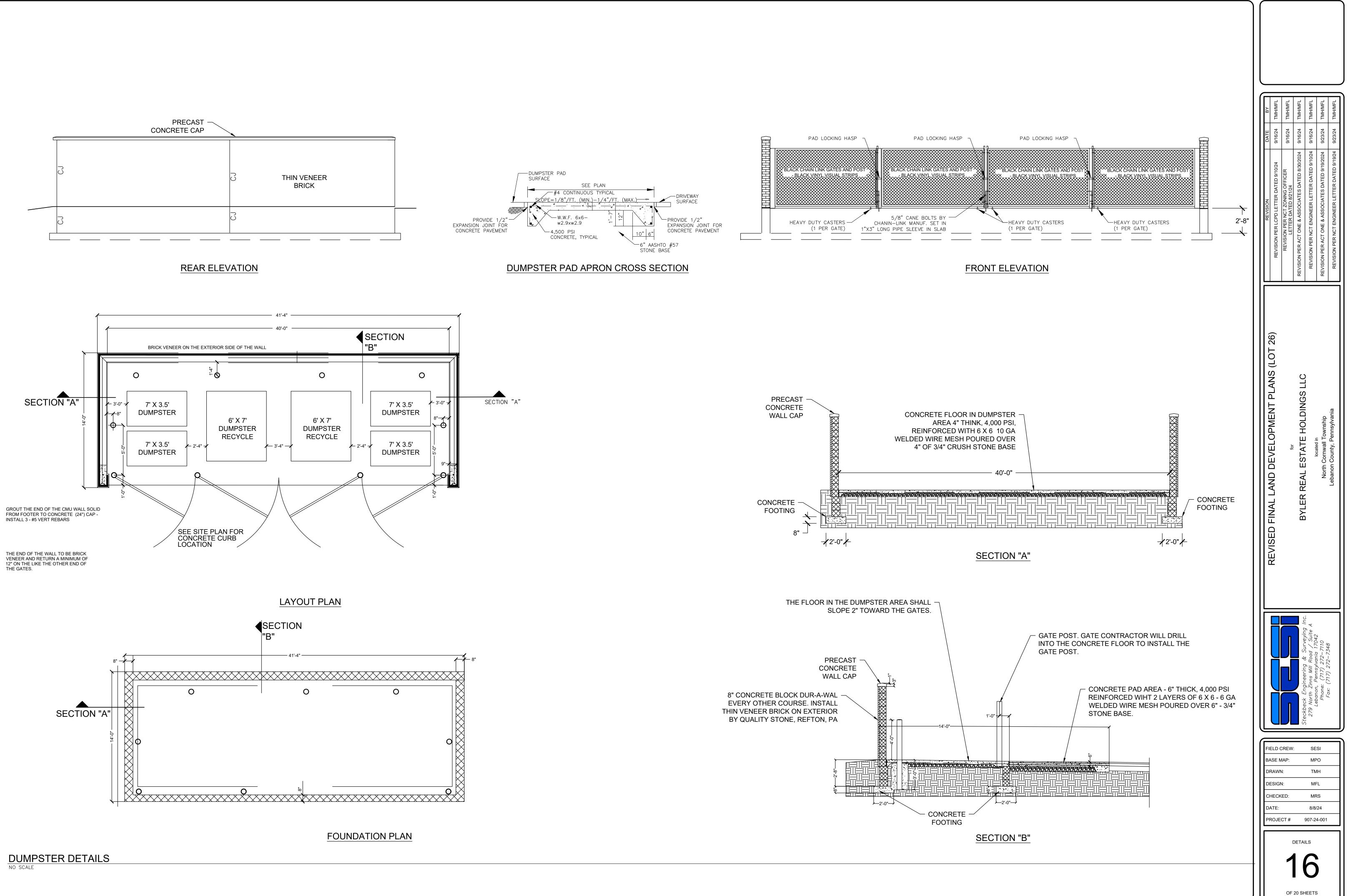
NO SCALE

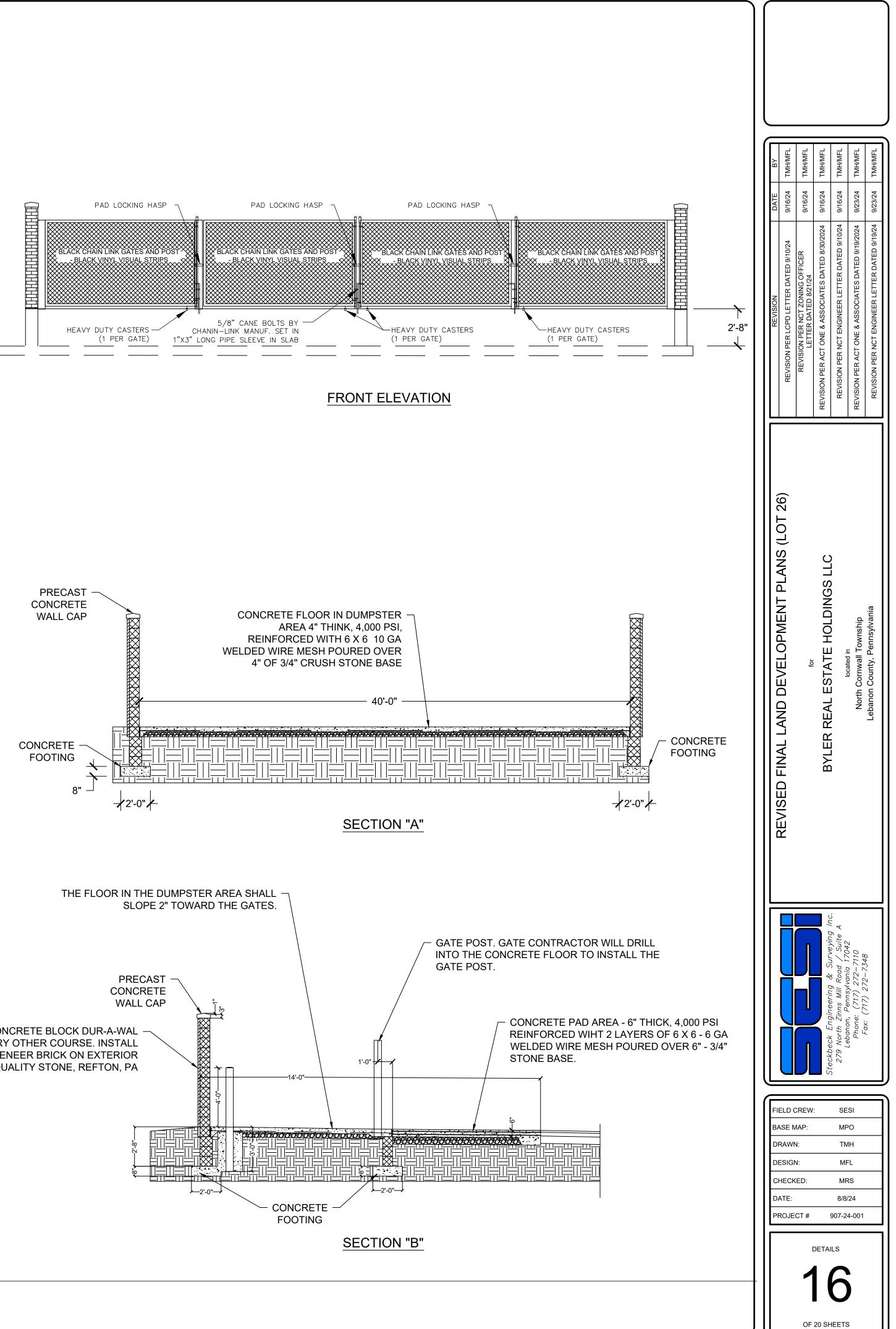


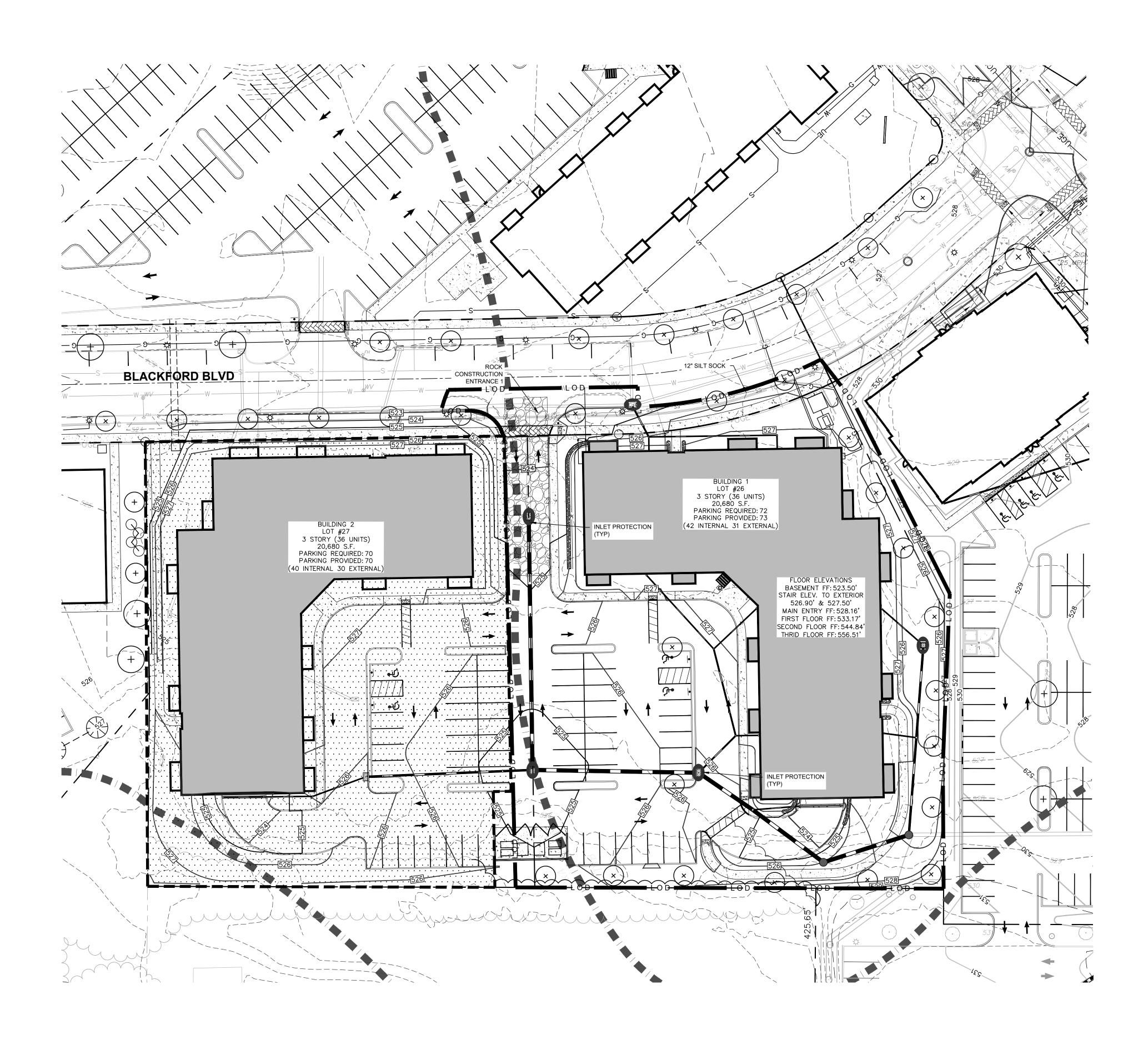
TCATIONS			REVISION DATE BY REVISION PER LCPD LETTER DATED 9/10/24 9/16/24 TMH/MFL REVISION PER NCT ZONING OFFICER 9/16/24 TMH/MFL		ON PER NCT ENGINEER LETTER DATED 9/19/24 9/23/24
NOTES: 1. PROTECT TIE RODS, CLAMPS AND OTHER COMP BY HAND APPLICATION OF 2 COATS OF BTIUM 2. DOMESTIC SERVICE CONNECTION CAN BE MADE 3. SEE SPECIFICATIONS FOR METAL REQUIREMENTS 4. ALL COPPER FITTINGS MUST BE COMPRESSION FITTINGS WILL BE ACCEPTED. 5. ALL MECHANICAL JOINTS TO HAVE WEDGE ACTION SETTIC SERVICE	USING SERVICE SADDLE OR TEE. S. TYPE, NO FLARED OR SOLDERED		REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)	for BYLER REAL ESTATE HOLDINGS LLC located in North Cornwall Township	Lebanon County, Pennsylvania
CURB STOP UNDER THE INSPECTION OF RESPONSIBLE FOR THE WATER SERVICE WILL INSTALL THE WATER METER WITHIN CONTACT THE CITY OF LEBANON AUTHO WEST CHESTNUT STREET, 717-273-250 13. METER PIT INSTALLATIONS ARE MANDATO DISCRETION OF THE CITY OF LEBANON A THE CURB STOP. METER PITS SHALL B INSTALLATION. 14. SEWER AND WATER MAINS SHALL HAVE MAIN SHALL BE CONCRETE ENCASED IN MAINTAINED. 15. WATER MAINS AND LATERALS THAT ARE SHALL BE INSULATED WITH A FOAM WRA 16. AT THE CONCLUSION OF THE INSTALLATI SUCCESSFUL TESTING THEREOF, THE WA OF LEBANON AUTHORITY. 17. ALL EXISTING WATER SERVICE INSTALLAT CORPORATION STOP AT THE MAIN AND THE CORPORATION STOP. ALL WORK, IN	Phone (717) 272–2841 Fax (717) 675–2121 www.Lebanonauthority.org GENERAL SPECIFICATIONS PRECAST CONCRETE METER PIT FIRE LINE and DOMESTIC SERVICE SHEET 2 May 2022 May 20	WNER IS ORITY UCTED. 200 AT THE EET OF /ER BE JLVERT E CITY THE DT OF ATION,	FIELD CRE BASE MAP DRAWN: DESIGN: CHECKED: DATE: PROJECT :	: MPO TMH MFL MRS 8/8/24	



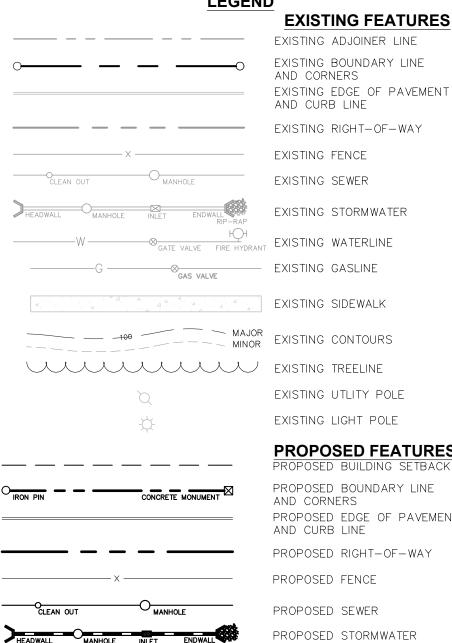
	19.68" (500 mm)									
		0.5° (13 mm)					MFL	MFL	MFL	MFL
Side elevatio	n	5.4	0.79° (20 mm) 43° (138 mm) 1.38° (35 mm)			▮┠┼╴	4 TMH/MFL 4 TMH/MFL	4 TMH/MFL		4 TMH/MFL 4 TMH/MFL
						DATE	9/16/24 9/16/24	4 9/16/24		4 9/23/24 24 9/23/24
Description	1	Part No.	3	dth Weigh s <i>(mm</i>) Ibs.	ht		9/10/24 CER	ED 8/30/2024	ATED 9/10/24	ТЕD 9/19/2024 DATED 9/19/24
PowerLok gr a SK1 ductile iro	ite n longitudinal grate - Cl F	96096		s (mm) Ibs. (138) 13.6			LCPD LETTER DATED 9/10/24 ER NCT ZONING OFFICER FED DATED 8/0/124	ASSOCIATES DATED	LETTER DATED	ATES DATI LETTER D/
O, Inc. rtheast Sales Of 70 Pinecone Drive ntor, Ohio 44060	fice West Sales Office	PowerLok Grat Lug PowerLok Devi unlocked' positi PowerLok Rail PowerLok Devi focked' position Recess in Grate PowerLok Rail PowerLok Rail PowerLok Rail PowerLok Rail	patented boltless locking system. Grates are removed and replaced wi ion minimum time and effort for ease of maintenance. Lugs on the rail opposite the PowerLok device slo into recesses in the grate The PowerLok device is used to engage the lug of the rail at two locations p grate to 'lock' the grate t the channel.	ith ots e. n per	CZ	(I OT 26)		C REVISION PER ACT ONE &	REVISION PER NCT ENGINEER	REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024 REVISION PER NCT ENGINEER LETTER DATED 9/19/24
free: (800) 543-47 (440) 639-7235 oril 2018, ACO, Inc. This inf e conditions of use are bey rives the right to change the	Casa Grande, AZ & Tel: (520) 421-998 64 Toll Free: (888) 49 Fax: (520) 421-98 ormation is believed to be accurate but i	5122 Fort Mill, SC 29708 3 Toll free: (800) 543-47 9-9552 Fax: (803) 802-1063 9 is not guaranteed to be so. We cannot assume lia istome's responsibility to evaluate suitability and	info@ACODrain.us www.ACODrain.us ability for results that buyer obtains with our product safety of product for his own use. ACO, Inc.	AC	00	AL LAND DEVELOPMENT PLANS		ER REAL ESTATE HOLDINGS LL		North Cornwall Township Lebanon County, Pennsylvania
e conditions of use are beyy rves the right to change the pril 2018	Casa Grande, AZ & Tel: (520) 421-996 Fax: (520) 421-98 Fax: (520) 421-98 ormation is believed to be accurate but i nd the control of the company. It is the product and specifications without notic specifications without notic MENT PER SN JMENTS	5122 Fort Mill, SC 29708 3 Toll free: (800) 543.47 99552 Fax: (803) 802-1063 9 is not guaranteed to be so. We cannot assume lia istomer's responsibility to evaluate suitability and the summer's response summer's response summer's response summer's response summer's response summer's response summer's respo	764 Electronic Contact: info@ACODrain.us www.ACODrain.us ability for results that buyer obtains with our product safety of product for his own use. ACO, Inc. Drain.us	AC		DEVELOPMENT				Cornwall County,
free: (800) 543-47 :: (440) 639-7235 ril 2018, ACO, Inc. This inf conditions of use are beyen rves the right to change the pril 2018 PAVE DESIG	Casa Grande, AZ & Tel: (520) 421-96 Fax: (520) 421-98 rmation is believed to be accurate but i nd the control of the company. It is the or product and specifications without notice MENT PER MENT PER MENTS MENTS	5122 Fort Mill, SC 29708 3 Toll free: (800) 543.42 29552 Fax: (803) 802-1063 9 sont guaranteed to be so. We cannot assume lia Istomer's responsibility to evaluate suitability and istomer's responsibility to evaluate suitability and istomer's responsibility to evaluate suitability and its sont guaranteed to be so. We cannot assume lia ECIFICATION CLAN WERDRAIN S100K WERDRAIN S100K WERDRAIN S100K VIER CONCRETE S100P TILE IRON RAILS AS MA YMER PRODUCTS, INC. VERIAL DE MANU YESTER RESIN POLYME GRAILY CAST-IN DUCTI IMUM PROPERTIES OF FOLLOWS: MPRESSIVE STRENGTH: XURAL STRENGTH: </th <th>764 Electronic Contact: info@ACODrain.us www.ACODrain.us ability for results that buyer obtains with our product safety of product for his own use. ACO, Inc. Drain.us USE L LOAD CLASS A YSTEM SHALL BE K CHANNEL SYSTEM WITH JUFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WITH JUFACTURED BY ACO JFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WITH JUFACTURED SYSTEM WITH JUFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL JFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL JFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL J14,000 PSI 4,000 PSI 1,500 PSI 0.07% YES ESISTANT YES MPLIANT YES 100mm) NOMINAL 29" (160mm) OVERALL PE OF 0.5%. CHANNEL .OPED "V" SHAPE. ALL</th> <th></th> <th></th> <th>EINAL LAND DEVELOPMENT</th> <th></th> <th>Fnaineerina & Surveving Inc.</th> <th>th Zinns Mill Road / Suite A non, Pennsylvania 17042</th> <th>:: (717) 272-7110 North Cornwall (717) 272-7348 Lebanon County,</th>	764 Electronic Contact: info@ACODrain.us www.ACODrain.us ability for results that buyer obtains with our product safety of product for his own use. ACO, Inc. Drain.us USE L LOAD CLASS A YSTEM SHALL BE K CHANNEL SYSTEM WITH JUFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WITH JUFACTURED BY ACO JFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WITH JUFACTURED SYSTEM WITH JUFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL JFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL JFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL J14,000 PSI 4,000 PSI 1,500 PSI 0.07% YES ESISTANT YES MPLIANT YES 100mm) NOMINAL 29" (160mm) OVERALL PE OF 0.5%. CHANNEL .OPED "V" SHAPE. ALL			EINAL LAND DEVELOPMENT		Fnaineerina & Surveving Inc.	th Zinns Mill Road / Suite A non, Pennsylvania 17042	:: (717) 272-7110 North Cornwall (717) 272-7348 Lebanon County,
free: (800) 543-47 : (1440) 639-7235 ril 2018, ACO, Inc. This inf conditions of use are bey ves the right to change the pril 2018	Casa Grande, AZ S Tel: (520) 421-96 Fax: (520) 421-98 ormation is believed to be accurate but i and the control of the company. It is the of product and specifications without notice MENT PER MENTS S MENTS S SF MENTS S MENTS S SF MENTS S SF SF SF SF SF SF SF SF SF SF SF SF SF	5122 Fort Mill, SC 29708 3 Toll free: (800) 543.4; 29552 Fax: (803) 802-1063 9 is not guaranteed to be so. We cannot assume lia is not guaranteed to be so. We cannot assume lia istomer's responsibility to evaluate suitability and WEENTRE CONCRETE SUFFACE DRAINAGE S' YMER CONCRETE S1000 YMER CONCRETE S1000 YTILE IRON RAILS AS MA YMER PRODUCTS, INC. YMER CONCRETE S1000 YTILE IRON RAILS AS MA YMER PRODUCTS, INC. YMER PRODUCTS, INC. YERIALS SURFACE DRAINAGE S' YMER CONCRETE S1000 YMER YMER PRODUCTS, INC. YMER PRODUCTS, INC. YERALLY CAST-IN DUCTI IMUM PROPERTIES OF P FOLLOWS: MPRESSIVE STRENGTH: YURAL STRENGTH: SURE ACID AND ALKALI RE YALL STRENGTH: SURE TRENGTH: ISILE STRENGTH: SURT PROOF JTE ACID AND ALKALI RE Y YALL STRENGTH: SURT SHALL BE 4" (1 SYSTEM SHALL BE 4" (1 SURT SHALL BE 4" (1 YMER PROOT SURT SHALL BE 4" (1 YMER PROOT SURT SHALL BE 4" (1 YMER PROOT SURT SH	764 Electronic Contact: info@ACODrain.us www.ACODrain.us ability for results that byper obtains with our product safety of product for his own use. ACO, Inc. Drain.us USE L LOAD CLASS A YSTEM SHALL BE K CHANNEL SYSTEM WITH NUFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL If A,000 PSI 1,500 PSI 1,500 PSI 1,500 PSI 1,500 PSI 2,007% YES ESISTANT IOMM) NOMINAL 29" (160mm) OVERALL PE OF 0.5%. CHANNEL 20 CKING WITH A SYSTEM SHALL BE BY INC. ANY DEVIATION OR ND/OR IMPROPER NY AND ALL WARRANTIES			EINAL LAND DEVELOPMENT		Fnaineerina & Surveving Inc.	Times Mill Road / Suite A , Pennsylvania 17042	Cornwall County,
free: (800) 543-47 : (140) 639-7235 ril 2018, ACO, Inc. This inf conditions of use are bey vestion right to change the Deril 2018 PAVE DESIG DOCU	Casa Grande, AZ S Tel: (520) 421-96 Fax: (520) 421-98 Fax: (520) 4	5122 Fort Mill, SC 29708 3 Toll free: (800) 543.42 29552 Fax: (803) 802-1063 9 is not guaranteed to be so. We cannot assume lia istome's responsibility to evaluate suitability and WERDRAIN STOOK CLAN VIMER CONCRETE STOOK CONCRETE STOOK CLAN VIMER CONCRETE STOOK VI	764 Electronic Contact: info@ACODrain.us www.ACODrain.us ability for results that buyer obtains with our product safety of product for his own use. ACO, Inc. Drain.us USE A LOAD CLASS A YSTEM SHALL BE K CHANNEL SYSTEM WITH NUFACTURED FROM ER CONCRETE WITH AN ILE IRON RAIL. POLYMER CONCRETE WILL 14,000 PSI 4,000 PSI 1,500 PSI 0.07% YES ESISTANT YES MPLIANT YES 100mm) NOMINAL 29" (160mm) OVERALL PE OF 0.5%. CHANNEL OPED "V" SHAPE. ALL RLOCKING WITH A SYSTEM SHALL BE BY INC. ANY DEVIATION OR ND/OR IMPROPER NY AND ALL WARRANTIES ER PRODUCTS, INC. ND LOADING TO PROPER BY EN 1433. GRATE TYPE O MEET THE SYSTEM LOAD ENDED APPLICATION. ND LOADING TO PROPER BY EN 1433. GRATE TYPE O MEET THE SYSTEM LOAD ENDED APPLICATION. ND LOADING TO PROPER BY EN 1433. GRATE TYPE O MEET THE SYSTEM LOAD ENDED APPLICATION. ND LOADING TO PROPER BY EN 1433. GRATE TYPE O MEET THE SYSTEM LOAD ENDED APPLICATION. ND LOADING TO PROPER BY EN 1433. GRATE TYPE O MEET THE SYSTEM LOAD ENDED APPLICATION. ND LOADING TO PROPER BY EN 1433. GRATE TYPE O MEET THE SYSTEM LOAD ENDED APPLICATION. DE SING SYSTEM, OR THE 4 ANNEACTURER'S					Steckheck Fnaineering & Surveying Inc.	th Zinns Mill Road / Suite A non, Pennsylvania 17042	Description Phone: (717) 272-7110 North Cornwall Fax: (717) 272-7348 Lebanon County,

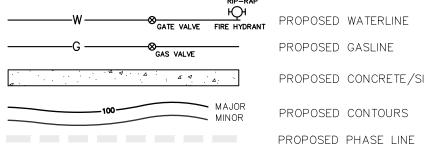


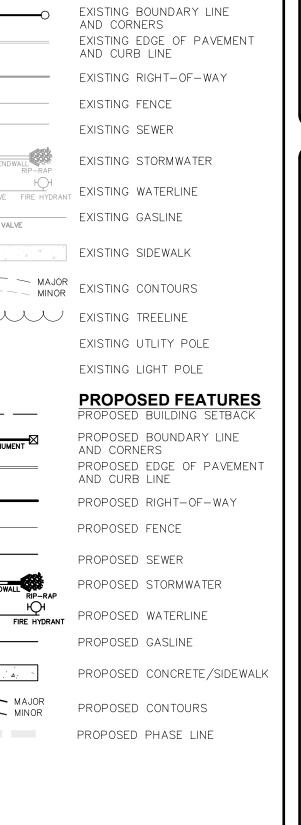


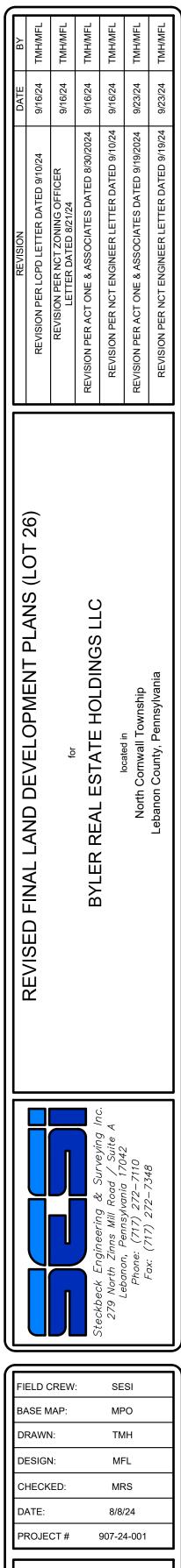






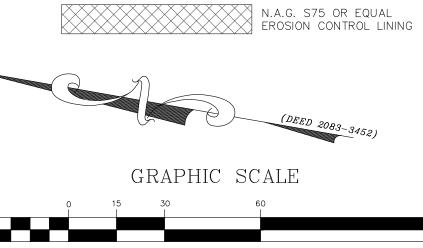






E&SPC PLAN

OF 20 SHEETS



_____SS_____SS_____SS____

E&S LEGEND

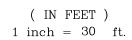
SILT SOXX OR EQUAL

LIMIT OF DISTURBANCE

INLET PROTECTION

TOPSOIL STOCKPILE

ROCK CONST. ENTRANCE



SUBDIVISION AND LAND DEVELOPMENT PHASE 3 EROSION AND SEDIMENT POLLUTION CONTROL NARRATIVE

PRINGWOOD DEVELOPMENT PARTNERS, L.P.

THIS NARRATIVE IS INTENDED TO ACCOMPANY THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR THE PROPOSED SPRINGWOOD DEVELOPMENT PARTNERS, L.P. SUBDIVISION AND LAND DEVELOPMENT PHASE 3 (NORTH CORNWALL COMMONS - PHASE 3) PROJECT LOCATED IN NORTH CORNWALL TOWNSHIP AND SOUTH LEBANON TOWNSHIP, LEBANON COUNTY, PA. THIS NARRATIVE SHALL BE CONSIDERED A PART OF THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN. PROJECT DESCRIPTION

THE PROJECT IS LOCATED NORTH OF ROCHERTY ROAD AND EAST OF CORNWALL ROAD. THE PROJECT SITE IS APPROXIMATELY 98.5 +/- ACRES IN SIZE. PHASE 3 OF THE PROJECT INCLUDES THE CONSTRUCTION OF SEVERAL COMMERCIAL STRUCTURES, DRIVEWAYS, ROADS, UTILITIES, AND ASSOCIATED STORMWATER MANAGEMENT FACILITIES. PHASE 3 WILL CREATE A 24.5 ACRE INCREASE IN THE DISTURBED AREA, HOWEVER THE ADDITIONAL DISTURBED AREA WILL REMAIN WITHIN THE EXISTING PERMIT BOUNDARY. BETWEEN PHASE 1, PHASE 1A, PHASE 2, AND PHASE 3 APPROXIMATELY 98.5 TOTAL ACRES WILL BE DISTURBED TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE SITE HAS BEEN AN AGRICULTURAL FIELD AND FARMSTEAD FOR THE PAST 50 YEARS. THE SITE WILL BE CONVERTED FROM A PRE-DEVELOPMENT AGRICULTURAL FIELD TO A POST-DEVELOPMENT COMMERCIAL AND RESIDENTIAL DEVELOPMENT.

STORMWATER RUNOFF FROM THE PROPOSED DEVELOPMENT AREA DISCHARGES FROM THE ONSITE STORMWATER MANAGEMENT FACILITY TO AN EXISTING GRASS SWALE LOCATED AT THE REAR OF THE OAK STREET ASSOCIATES AND K&D INVESTMENT GROUP PROPERTIES STORMWATER RUNDEE FLOWS THROUGH THIS SWALE TO A STORMWATER CULVERT PIPE AT THE INTERSECTION OF CORNWALL ROAD AND NORMAN DRIVE. STORMWATER RUNOFF ENTERS THIS CULVERT AND FLOWS WEST THROUGH THE STORM SEWER CONVEYANCE SYSTEM LOCATED UNDER ISABEL DRIVE. AFTER THIS STORM SEWER CONVEYANCE SYSTEM PASSES UNDER S.R. 72 THE CULVERTS OUTLETS AT THE FREDERICK CHEVROLET PROPERTY. STORMWATER RUNOFF THEN FLOWS OVERLAND ACROSS THIS PROPERTY AND ACROSS AN ADJACENT AGRICULTURAL FIELD TO THE SNITZ CREEK. ALL STORMWATER RUNOFF FLOWS FROM THE PROJECT SITE REACH THE SNITZ CREEK (CH. 93 CLASSIFICATION – TSF). CALCULATIONS HAVE BEEN PERFORMED TO ENSURE THAT THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL REDUCE THE RATE OF STORMWATER RUNOFF IN ACCORDANCE WITH THE REQUIREMENTS OF NORTH CORNWALL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

THE PROPOSED STORMWATER MANAGEMENT FACILITY HAS BEEN DESIGNED TO ACCOMMODATE THE PROPOSED PERVIOUS AND IMPERVIOUS AREA FROM THE SITE AND THEREFORE RUNOFF FROM THE SITE WILL NOT ADD TO OR CAUSE DOWNSTREAM DEGRADATION. THE PROPOSED STORMWATER MANAGEMENT FACILITY DISCHARGES RUNOFF TO AN ENERGY DISSIPATING RIP RAP APRON AND PLUNGE POOL AND THEN OVER AN EARTHEN BERM LEVEL SPREADER BEFORE REACHING THE EXISTING GRASS SWALE. THERE WERE NO INFILTRATION TESTS COMPLETED BECAUSE OF THE KNOWN CARBONATE GEOLOGY AND HIGH POTENTIAL FOR SINKHOLES. THIS WAS DISCUSSED WITH THE LEBANON COUNTY CONSERVATION DISTRICT AND IT WAS AGREED THAT INFILTRATION OF POST-CONSTRUCTION STORMWATER RUNOFF SHOULD NOT BE ENCOURAGED.

THERMAL IMPACTS ANALYSIS

THERMAL IMPACTS TO THE SNITZ CREEK WILL BE MINIMIZED THROUGH THE USE OF A DETENTION/RETENTION BASIN, WATER QUALITY/BIO-RETENTION AREAS, AND VEGETATION. TREES, WHICH WILL BE PLANTED ADJACENT TO THE PROPOSED STREETS AND SIDEWALKS, WILL HELP SHADE THESE SURFACES AND REDUCE THEIR TEMPERATURE. WATER QUALITY/BIO-RETENTION AREAS WILL BE CONSTRUCTED THROUGHOUT THE SITE IN ORDER TO DETAIN RUNOFF AND ENCOURAGE INFILTRATION OF SOME RUNOFF. THE RUNOFF REACHING THE WATER QUALITY/BIO-RETENTION AREAS AS WELL AS THE VEGETATED SWALE TRAVERSING THE SITE WILL AID IN TREATING THE RUNOFF AND REDUCING ITS TEMPERATURE. RUNOFF WHICH REACHES THE BASIN WILL EITHER BE RETAINED OR DETAINED. THE DEPTH OF WATER IN THE RETENTION BASIN WILL AID IN MAINTAINING A COOLER TEMPERATURE OF THIS WATER. SOIL INFORMATION AND GEOLOGY

THE FOLLOWING SOIL IS FOUND WITHIN OR ADJACENT TO THE AREA DISTURBED BY EARTH MOVING ACTIVITIES.

MAP	SYMBOL	SOIL NAME		SLOPE	HYDROLOGIC G	ROUP
CKA		CLARKSBURG SILT LOAM	(0-3%	С	
DFB		DUFFIELD SILT LOAM		3-8%	В	
HAB		HAGERSTOWN SILT LOAM		3-8%	С	
HEB		HAGERSTOWN-ROCK OUTCROP CO	OMPLEX .	3-8%	С	
		LINGEDOTOWNI DOOK OUTODOD OK			0	

HAGERSTOWN-ROCK OUTCROP COMPLEX 8-25% SOIL LIMITATIONS AND RESOLUTIONS

SOIL LIMITATIONS

CLARKSBURG SILT LOAM (CKA) - THIS SOIL IS MODERATELY WELL DRAINED AND HAS SLOW SURFACE RUNOFF. THE PERMEABILITY OF THIS SOIL IS SLOW AND THE AVAILABLE WATER CAPACITY IS MODERATE. THIS SOIL IS FORMED IN MATERIAL WEATHERED FROM LIMESTONE ON BROAD, LOWER SLOPES, IN DRAINAGEWAYS, AND IN DEPRESSIONS. THIS SOIL RANGES FROM STRONGLY ACIDIC TO SLIGHTLY ACIDIC. RESOLUTIONS INCLUDE ADJUSTING SOIL PH BY APPLYING LIME IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS (TO BE PERFORMED PRIOR TO EARTH DISTURBANCE ACTIVITIES) AND USING VEGETATIVE SPECIES TOLERANT TO ACIDIC CONDITIONS. THE DEPTH TO THE SEASONAL HIGH WATER TABLE RISES TO WITHIN 11/2 TO 3 FEET OF THE SURFACE DURING WET PERIODS. DRAINAGEWAYS AND CLOSED DEPRESSIONS MAY EXPERIENCE BRIEF PERIODS OF PONDING DURING WET SEASONS. BEDROCK IS FOUND AT A DEPTH OF GREATER THAN 5 FEET. THE SEASONAL HIGH WATER TABLE AND SLOW PERMEABILITY ARE THE MAIN LIMITATIONS FOR MANY USES. WHEN CONSTRUCTING BUILDINGS WITH BASEMENTS A FOUNDATION UNDERDRAIN WITH A PROPER OUTLET SHOULD BE INSTALLED TO ENSURE WATER DOES NOT SEEP INTO THE BASEMENT.

DUFFIELD SILT LOAM (DFB) - THIS SOIL IS DEEP, MODERATELY WELL DRAINED, AND HAS MEDIUM SURFACE RUNOFF. THE PERMEABILITY OF THIS SOIL IS MODERATE AND THE AVAILABLE WATER CAPACITY IS HIGH. THIS SOIL IS FORMED IN MATERIAL WEATHERED FROM LIMESTONE. THIS SOIL RANGES FROM STRONGLY ACIDIC TO NEUTRAL. RESOLUTIONS INCLUDE ADJUSTING SOIL PH BY APPLYING LIME IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS (TO BE PERFORMED PRIOR TO EARTH DISTURBANCE ACTIVITIES) AND USING VEGETATIVE SPECIES TOLERANT TO ACIDIC CONDITIONS. THE DEPTH TO THE SEASONAL HIGH WATER TÁBLE RISES TO WITHIN 5-6 FEET OF THE SURFACE DURING WET PERIODS. BEDROCK IS FOUND AT A DEPTH OF GREATER THAN 4 FEET. THE DEPTH TO BEDROCK AND SOLUTION CHANNELS ARE THE MAIN LIMITATIONS FOR MANY USES.

HAGERSTOWN SILT LOAM (HAB) — THIS SOIL IS DEEP, WELL DRAINED, AND HAS MEDIUM SURFACE RUNOFF. THE PERMEABILITY OF THIS SOIL IS MODERATE AND THE AVAILABLE WATER CAPACITY IS HIGH. THIS SOIL RANGES FROM VERY STRONGLY ACIDIC TO NEUTRAL. RESOLUTIONS INCLUDE ADJUSTING SOIL PH BY APPLYING LIME IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS (TO BE PERFORMED PRIOR TO EARTH DISTURBANCE ACTIVITIES) AND USING VEGETATIVE SPECIES TOLERANT TO ACIDIC CONDITIONS. THE SEASONAL HIGH WATER TABLE IS FOUND AT A DEPTH OF GREATER THAN 6 FEFT DURING WET PERIODS. HARD BEDROCK IS FOUND AT A DEPTH OF GREATER THAN 3.33 FEFT. THE DEPTH TO BEDROCK AND SOLUTION CHANNELS ARE THE MAIN LIMITATIONS FOR MANY USES.

HAGERSTOWN-ROCK OUTCROP COMPLEX (HEB) - THIS SOIL HAS MEDIUM TO RAPID SURFACE RUNOFF. THE PERMEABILITY OF THIS SOIL IS MODERATE AND THE AVAILABLE WATER CAPACITY IS HIGH. THE ROCK OUTCROP CONSISTS OF EXPOSURE OF LIMESTONE BEDROCK. THIS SOIL RANGES FROM VERY STRONGLY ACIDIC TO NEUTRAL. RESOLUTIONS INCLUDE ADJUSTING SOIL PH BY APPLYING LIME IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS (TO BE PERFORMED PRIOR TO EARTH DISTURBANCE ACTIVITIES) AND USING VEGETATIVE SPECIES TOLERANT TO ACIDIC CONDITIONS. THE SEASONAL HIGH WATER TABLE IS FOUND AT A DEPTH OF GREATER THAN 6 FEET DURING WET PERIODS. HARD BEDROCK IS FOUND AT A DEPTH OF GREATER THAN 3.33 FEET. THE DEPTH TO BEDROCK AND ROCK OUTCROPS ARE THE MAIN LIMITATIONS FOR MANY USES.

HAGERSTOWN-ROCK OUTCROP COMPLEX (HEC) - THIS SOIL HAS MEDIUM TO RAPID SURFACE RUNOFF. THE PERMEABILITY OF THIS SOIL IS MODERATE AND THE AVAILABLE WATER CAPACITY IS HIGH. THE ROCK OUTCROP CONSISTS OF EXPOSURE OF LIMESTONE BEDROCK. THIS SOIL RANGES FROM VERY STRONGLY ACIDIC TO NEUTRAL. RESOLUTIONS INCLUDE ADJUSTING SOIL PH BY APPLYING LIME IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS (TO BE PERFORMED PRIOR TO EARTH DISTURBANCE ACTIVITIES) AND USING VEGETATIVE SPECIES TOLERANT TO ACIDIC CONDITIONS. THE SEASONAL HIGH WATER TABLE IS FOUND AT A DEPTH OF GREATER THAN 6 FEET DURING WET PERIODS. HARD BEDROCK IS FOUND AT A DEPTH OF GREATER THAN 3.33 FEET. THE DEPTH TO BEDROCK AND ROCK OUTCROPS ARE THE MAIN LIMITATIONS FOR MANY USES.

SOIL RESOLUTIONS

- CUT-BANK CAVING: ALL APPLICABLE OSHA STANDARDS AND REGULATIONS SHALL BE IMPLEMENTED AT ALL TIMES DURING TRENCHING AND EXCAVATION OPERATIONS.
- CORROSION OF STEEL AND CONCRETE: ALL UNDERGROUND FOUNDATIONS AND STRUCTURES SHALL BE PROPERLY PROTECTED AGAINST CORROSION.
- SINKHOLE FORMATION: A CLAY LINER IS PROVIDED IN THE STORMWATER IMPOUNDMENTS IN ORDER TO INHIBIT SINKHOLE FORMATION. SHOULD SINKHOLES BE ENCOUNTERED DURING EXCAVATION, THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY. A SOLUTION WILL BE DETERMINED ON A CASE-BY-CASE BASIS.

CALCULATIONS

TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES WERE DESIGNED IN ACCORDANCE WITH THE STANDARDS ESTABLISHED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (PA DEP BUREAU OF WATERWAYS ENGINEERING AND WETLANDS, MARCH 2012).

CONSERVATION DISTRICT GENERAL E&S NOTES

- 1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE COUNTY CONSERVATION DISTRICT.
- 3. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- 4. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUM.
- 5. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 6. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
- 7. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM

- AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
- TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
- APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".

TEMPORARY CONTROL MEASURES

- 1. TOPSOIL STOCKPILE
- DISTURBANCE TO A MINIMUM.
- CONTAINED HEREON. C.STOCKPILES SHALL BE LOCATED SO THAT ALL SWALES CAN FUNCTION AS DESIGNED. d.STOCKPILE HEIGHTS MUST NOT EXCEED 35' IN HEIGHT. SIDE SLOPES SHALL BE 2:1 OR FLATTER.

2. SILT FENCE/SILT SOCK

- UNDERCUT DUE TO EXCESSIVE FLOWS, ROCK FILTERS SHALL BE INSTALLED (SEE TEMPORARY CONTROL MEASURES, ITEM 3).
- 3. ROCK FILTER OUTLETS (SILT FENCE/SOCK LOCATIONS) FLOWS.
- DIMENSIONS ON THE DETAIL.
- SEDIMENT OR NEW STONE SHALL BE USED TO REBUILD THE FILTER.

4. INTERIM STABILIZATION

- EXPOSED AREAS.
- b. TEMPORARY SEEDING/MULCHING SHALL BE AS APPLIED AS SPECIFIED ON THE SEEDING SCHEDULE CONTAINED ON
- THE E&SPC PLAN.

5. ROCK CONSTRUCTION ENTRANCE

- FLOWING OF SEDIMENT ONTO THE EXISTING ROADWAY. 6. SEDIMENT BASIN/TRAP
- THE CLEAN OUT ELEVATION SPECIFIED ON THE PLAN AND DETAILS.
- C.A SKIMMER WILL BE USED TO CONTROL FLOWS AND ALLOW FOR "SETTLING TIME" IN THE BASIN/TRAP DURING CONSTRUCTION.
- REMOVAL SHALL BE IMMEDIATELY STABILIZED WITH A TEMPORARY SEED MIXTURE AS SPECIFIED.
- e.SEDIMENT BASIN/TRAP SHALL BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES AND MUST BE STRUCTURALLY SOUND.

PERMANENT CONTROL MEASURES

1. PERMANENT GRASS / LEGUME COVER SPECIFICATION SHOWN ON THE ATTACHED E&SPC PLAN. NOTES CONTAINED ON THE ATTACHED E&SPC PLAN.

PREVENT EROSION ON ALL AREAS PERMANENTLY STABILIZED WITH SEED. CELLULOSE FIBER AT 750 LBS/ACRE

3. SOD

b.SOD MATERIALS AND INSTALLATION SHALL MEET THE APPROVAL OF THE COUNTY CONSERVATION DISTRICT.

4. CHANNELS / SWALES / SEDIMENT BASINS

- STABILIZED PER THE CHANNEL CROSS SECTION DETAIL.
- SHALL BE INITIALLY OVER-EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.
- BOTTOM AND PROPERLY DISPOSED OF.
- PATENT, PATENT RIGHTS, AND/OR PATENT LAWS. e.SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
- COUNTY CONSERVATION DISTRICT AND THE OWNER OF THE DAMAGED PROPERTY.
- 5. RIP RAP OUTLET PROTECTION POTENTIAL AT THE OUTLET PIPE.
- PLAN.

STABILIZATION SPECIFICATIONS

- EARTH DISTURBANCE ACTIVITIES.
- 3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON

CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE

8. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL

9. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO; VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH

a.A STOCKPILE SHALL BE USED TO CONTAIN ALL STRIPPED TOPSOIL IN A LIMITED AREA IN ORDER TO KEEP b.STOCKPILES SHALL BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE TEMPORARY SEEDING SPECIFICATION

a.SILT FENCE/SILT SOCK SHALL BE USED TO INTERCEPT SEDIMENT-LADEN RUNOFF FROM SMALL WATERSHEDS. b.SILT FENCE/SILT SOCK MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF THE SILT FENCE/SILT SOCK SHALL

EXTEND UP-SLOPE AT A 45-DEGREE ANGLE TO THE MAIN FENCE/SOCK ALIGNMENT. C. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH ½ THE ABOVE GROUND HEIGHT OF FENCE/SOCK. d. ALL AREAS OF CONCENTRATED FLOW AND AT ALL AREAS WHERE THE SILT FENCE/SILT SOCK HAS COLLAPSED OR 1. THE APPLICANT/OR HIS DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING ALL FACILITATES SHOWN ON THIS PLAN.

G.A GRAVEL BERM SHALL BE PROVIDED WHERE SHOWN ON THE PLAN AND AT ALL LOCATIONS OF CONCENTRATED FLOWS OR WHERE FAILURES IN THE SILT FENCE OCCUR DUE TO EXCESSIVE SEDIMENTATION OR CONCENTRATED b.ROCK FILTERS SHALL BE CONSTRUCTED OF AASHTO #67 AND R-4 STONE IN ACCORDANCE WITH THE SPECIFIED C.ROCK FILTERS WILL BE REMOVED WHEN CLOGGED WITH SEDIMENT. THE STONE SHALL BE WASHED FREE OF ALL

a. TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED WHERE INDICATED TO PROVIDE INTERIM STABILIZATION TO

C.ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WILL BE RE-DISTURBED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY SEEDING SPECIFICATION CONTAINED HEREON. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS CONTAINED HEREON.

a.A STABILIZED PAD OF CRUSHED STONE (AASHTO #1) SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC WILL BE ENTERING AND LEAVING THE SITE. THE ROCK CONSTRUCTION ENTRANCE IS USED TO ELIMINATE THE TRACKING OR

a. THE BASIN/TRAP SHALL BE STABILIZED IMMEDIATELY. THE INTERIORS OF THE BASIN/TRAP SHALL BE SEEDED TO b.CONSTRUCTION OF THE SEDIMENT BASIN/TRAP SHALL CONFORM TO THE DIMENSIONS AND SPECIFICATIONS LISTED

d.SEDIMENT SHALL BE REMOVED FROM THE BASIN/TRAP WHEN ACCUMULATION HAS REACHED THE CLEAN-OUT ELEVATION. CLEAN OUT STAKES SHALL BE PLACED AT ONE-HALF DISTANCE FROM POINTS OF CONCENTRATED INFLOW TO THE OUTLET. WHEN SEDIMENT HAS ACCUMULATED TO CLEAN OUT ELEVATIONS ON ANY STAKE, IT MUST BE REMOVED TO RESTORE BASINS & TRAPS CAPACITY. ALL DISTURBED AREAS CREATED DURING SEDIMENT

a. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL BE PERMANENTLY STABILIZED WITH GRASS TO MINIMIZE EROSION. ALL SWALES SHALL BE PERMANENTLY SEEDED AS REQUIRED IN ACCORDANCE WITH THE SEEDING b.PERMANENT GRASS COVER SHALL BE APPLIED AS SPECIFIED IN ACCORDANCE WITH THE SEEDING SCHEDULE AND

a.MULCH SHALL BE APPLIED TO ALL SEEDED AREAS TO HELP ESTABLISH A PERMANENT GRASS COVER AND TO b.MULCH SHALL BE APPLIED AT A RATE OF 3 TONS PER ACRE. MULCH SHALL BE ANCHORED WITH WOOD

a.SOD SHALL BE INSTALLED IN AREAS WHERE PERMANENT STABILIZATION WITH SEED ALONE IS DIFFICULT.

C.ALL PERMANENT AND TEMPORARY SPILLWAYS ARE TO BE SODDED TO PROVIDE IMMEDIATE EROSION PROTECTION. SOD SHALL EXTEND FROM THE SPILLWAY TO THE TOP OF THE SLOPE OF THE TRAP EMBANKMENT.

a. ALL CHANNELS MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN LEAVES & WOODY DEBRIS, ACCUMULATED SEDIMENT, AND CONSTRUCTION MATERIALS/WASTES. CHANNELS SHOULD BE KEPT MOWED AND/OR FREE OF ALL WEEDY, BRUSHY, OR WOODY GROWTH. ANY UNDERGROUND UTILITIES RUNNING ACROSS/THROUGH THE CHANNEL(S) SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL(S) REPAIRED AND b.VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS, OR OTHER PROJECTIONS THAT WILL IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT. THE CHANNEL c.SEDIMENT BASINS/TRAPS SHALL BE KEPT FREE OF ALL TRASH, CONCRETE WASH WATER AND OTHER DEBRIS THAT POSE THE POTENTIAL FOR CLOGGING THE BASIN/TRAP OUTLET STRUCTURES AND/OR POSE THE POTENTIAL FOR POLLUTION TO WATERS OF THE COMMONWEALTH. WHEN SEDIMENT HAS ACCUMULATED TO THE CLEAN OUT ELEVATION ON ANY STAKE, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE ENTIRE TRAP/BASIN

d.APPROVAL OF THE USE OF SKIMMER(S) DOES NOT APPROVE USE OF ANY SKIMMER(S) IN VIOLATION OF ANY

f. ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, g. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, COUNTY CONSERVATION DISTRICT, OR DEP.

a.RIP-RAP SHALL BE USED AT ALL PIPE OUTLETS TO REDUCE THE OUTFLOW VELOCITY AND MINIMIZE EROSION b.RIP-RAP SHALL BE INSTALLED IN ACCORDANCE WITH THE DIMENSIONS AND MATERIALS SHOWN ON THE ATTACHED

1. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE

2. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

THE PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE 4. AREAS WHICH ARE TO BE TOP-SOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 10. UPON STABILIZATION OF THE AREA IN PHASE 1/1A THE SEDIMENT BASIN CAN BE REMOVED. BEGIN BY REMOVING INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUT-SLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.

PLAN DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR

- 5. LIME AND FERTILIZER SHOULD BE APPLIED IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AT LEAST 6 TONS OF AGRICULTURAL GRADE LIMESTONE AND 1000 POUNDS OF 10-20-20 FERTILIZER PER ACRE.
- 6. APPLY SEED AT REQUIRED RATES. IF LEGUMES ARE PLANTED, BE SURE TO INOCULATE THE SEED WITH THE CORRECT LEGUME INOCULANT. SEED MAY BE BROADCAST ON THE SURFACE AND A LAYER OF MULCH APPLIED AT THE NECESSARY RATES. HYDROSEEDING IS ANOTHER METHOD OF SEEDING. WHERE THE SEED, FERTILIZER, AND MULCH ARE MIXED WITH WATER TO FORM AN EMULSION. THIS METHOD SHOULD ONLY BE DONE WITH THE CORRECT EQUIPMENT OR BY PROFESSIONALS.
- 7. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE PRIOR TO SEEDING.
- 8. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- 9. AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES STEEPER THAN 3:1, ALL AREAS OF CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF A SURFACE WATER.
- MAINTENANCE

FLATTER.

- 2. DIVERSIONS, CHANNELS, AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.
- 3. ANY PERMANENTLY SEEDED AREA THAT BECOMES ERODED OR DISTURBED SHALL HAVE THE TOPSOIL REPLACED, THE GRASS RE-SOWN AND MULCH REAPPLIED, OR, AT THE DISCRETION OF THE OWNER, SOD INSTALLED.
- 4. SILT SOCK MUST BE INSTALLED AT LEVEL GRADE ALONG THE CONTOURS. BOTH ENDS OF EACH SILT SOCK SECTION MUST EXTEND AT LEAST 8 FEET UP-SLOPE AT 45-DEGREE ANGLES TO THE MAIN ALIGNMENT. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH $\frac{1}{2}$ THE ABOVE GROUND HEIGHT OF THE SILT SOCK.
- 5. ANY SILT SOCK SECTION THAT HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEE ROCK FILTER OUTLET DETAIL.
- 6. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- 7. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE (1) YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN ONE (1) YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
- 8. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IN ALL AREAS TRIBUTARY TO THE CONTROLS), TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY.
- 9. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 10. ANY SEDIMENT REMOVED FROM BMPS DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING IN A MANNER THAT WILL NOT CAUSE EROSION OR SEDIMENTATION. ALL AREAS DISTURBED DURING THIS PROCESS WILL BE MULCHED AND PERMANENTLY STABILIZED WITH SEED.
- 11. E&S BMPS SHALL BE INSPECTED FOLLOWING EACH MEASURABLE RAINFALL THROUGH THE DURATION OF THE PROJECT. A LOG SHOWING THE DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION

STAGING OF EARTHMOVING

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED.

CONSTRUCTION OF THE SITE IMPROVEMENTS IS EXPECTED TO BEGIN SUMMER OF 2019. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. CONSTRUCTION WILL PROCEED IN A TIMELY MANNER IN ORDER TO LIMIT THE POTENTIAL FOR ACCELERATED FROSION AND SEDIMENTATION IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO FUMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. ALL PUMPING OF SEDIMENT ADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP. SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. THE CONSTRUCTION SEQUENCE FOR DEVELOPMENT OF THE PROJECT SHALL BE AS FOLLOWS:

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE LEBANON COUNTY CONSERVATION DISTRICT (PHONE: 717-277-5275) TO AN ONSITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 TO LOCATE BURIED UTILITIES.

PHASE 3

- . INSTALL FILTREXX SILTSOXX ON THE SITE AS INDICATED ON THE ATTACHED PLAN. FILTREXX SILTSOXX IS TO BE INSTALLED ALONG THE CONTOUR, WHERE POSSIBLE, AT A LEVEL GRADE.
- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCES AT THE TWO LOCATIONS ALONG BLACKFORD DRIVE AS SHOWN ON THE ATTACHED PLAN. THE BASE COURSE SHALL BE AASHTO #1 INSTALLED AT A MINIMUM OF 20-FT WIDE AND 50-FT LONG.
- 3. IF SOIL IS TAKEN TO OR BORROWED FROM ANOTHER CONSTRUCTION SITE, SAID SITE MUST HAVE AN APPROVED E&SPC PLAN. PROOF OF SAID APPROVAL MUST BE PROVIDED TO A REPRESENTATIVE OF THE LEBANON COUNTY CONSERVATION DISTRICT PRIOR TO INITIATING THIS STAGE OF CONSTRUCTION.
- 4. CLEAR AND STRIP TOPSOIL IN THE AREAS TO CONSTRUCT THE PROPOSED STREETS AND PAD SITES TO THE LIMITS OF PHASE 3 AS SHOWN ON THE ATTACHED PLAN AND IN ACCORDANCE WITH PLAN DETAILS.
- 5. ROUGH GRADE AREAS TO CONSTRUCT THE STREETS AND BUILDING PAD SITES IN PHASE 3 EXCEPT FOR THE AREAS OF TEMPORARY SEDIMENT BASIN 1 AND THE CHANNEL DOWNSTREAM OF FES-128.
- 6. INSTALL WATER, SANITARY SEWER, AND OTHER UTILITIES IN PHASE 3 AT THIS TIME. DURING AND FOLLOWING STORM EVENTS PROVIDE A MEANS TO DEWATER PITS AND UTILITY TRENCHES. SPOIL MATERIAL FROM EXCAVATION OF THE TRENCHES SHALL BE PLACED ON THE UP-SLOPE SIDE OF THE TRENCH, THE LENGTH OF OPEN TRENCH SHALL BE LIMITED TO THAT WHICH WILL BE BACKFILLED THE SAME DAY, AND ANY AFFECTED BMP'S SHALL BE IMMEDIATELY STABILIZED AND REPAIRED. THE TOPSOIL EXCAVATED FROM THE TRENCH SHALL BE CAREFULLY REMOVED AND STOCKPILED SEPARATELY FROM THE SUBSOIL. THE TOPSOIL SHALL BE RESTORED TO THE GRADED AREAS TO PRE-CONSTRUCTION CONDITIONS. WATER PUMPED FROM PITS AND TRENCHES SHALL BE FILTERED BY MEANS OF A FILTER BAG. IMMEDIATELY AFTER TRENCHES HAVE BEEN BACKFILLED, FINE-GRADE STREETS AND INSTALL STONE BASE.
- 7. INSTALL THE STORM SEWER SYSTEM IN PHASE 3 AT THIS TIME. INSTALL INLET PROTECTION AT ALL INLETS AS SHOWN ON THE ATTACHED PLAN. NOTE THAT THE PIPES CONNECTING TO FES-300, 301, 302, AND 303 WERE INSTALLED IN PHASE 1 AND ARE TO BE CONNECTED TO PHASE 3 STORM SEWER SYSTEMS AT THE MANHOLES INDICATED ON THE PLANS. WHEN CONSTRUCTING THE STORM SEWER SYSTEM DISCHARGING AT FES-303, ENSURE PROPER DRAINAGE FROM FES-128 TO DOWNSTREAM INLETS BY GRADING AS NECESSARY. GRADE THE DOWNSTREAM CHANNEL OF FES-128 TO THE PROPOSED GRADE AS THE SYSTEM IS INSTALLED.
- 8. INSTALL THE PAVEMENT BASE COURSE FOR THE STREETS TO THE LIMITS OF PHASE 3.
- INSTALLING SERVICE CONNECTIONS FOR THE LOTS WITHIN PHASE 3. CONSTRUCT THE PROPOSED STRUCTURES, PARKING

AREAS, AND ACCESS DRIVES ON THESE LOTS. IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE ACTIVITIES IN EACH LOT, FINAL GRADE AND STABILIZE EACH INDIVIDUAL LOT.

FES-130 AND ITS DISCHARGE PIPE BACK TO INLET I-8. SEAL OPENING IN INLET BOX WHERE PIPE WAS REMOVED.

11. REMOVE SKIMMER FROM TEMPORARY SEDIMENT BASIN 1 AND CAP THE END OF THE PIPE DISCHARGING TO FES-199. 12. REMOVE TEMPORARY SEDIMENT BASIN 1 BY DEWATERING AS NECESSARY AND ROUGH GRADING TO CONSTRUCT THE

13. FINE GRADE ANY REMAINING AREAS IN PHASE 3 AS SHOWN ON THE GRADING PLAN. SPREAD 6-IN OF TOPSOIL ON FRESHLY GRADED AREAS. FINAL PASSES DURING FINE GRADING SHALL BE MADE AT RIGHT ANGLES TO THE SLOPES. PREPARE THE REMAINDER OF THE DISTURBED AREA FOR PERMANENT STABILIZATION. SEEDBED SHALL BE PREPARED IN ACCORDANCE WITH ACCEPTED PRACTICES. SEED MIXTURE SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RATES AND INSTRUCTIONS.

14. MULCH ALL DISTURBED AREAS AND SEEDED AREAS WITH HAY OR STRAW AT A MINIMUM RATE OF THREE (3) TONS PER ACRE (OR MULCH AS A PART OF HYDROSEEDING).

15. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

16. PAVE STREETS TO THE LIMITS OF PHASE 3. DO NOT INSTALL SURFACE (WEARING) COURSE UNTIL THE AREA IS STABILIZED (DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IN ALL AREAS TRIBUTARY TO THE CONTROLS).

17. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE LEBANON COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO THE REMOVAL OF THE BMP'S.

18. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS ONCE THE SITE IS COMPLETELY STABILIZED (DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IN ALL AREAS TRIBUTARY TO THE CONTROLS). REMOVE THE TEMPORARY CONVEYANCE STRUCTURES AND OTHER TEMPORARY EROSION CONTROL STRUCTURES. ALL AREAS DISTURBED DURING THIS PROCESS SHALL BE STABILIZED IMMEDIATELY THROUGH SEEDING AND MULCHING.

19. ALL SEDIMENT DEPOSITED WITHIN STORM SEWER CONVEYANCE PIPES SHALL BE REMOVED.

20. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES ON OR OFF THE SITE.

PHASE 3 - LOTS 20-22 STAGING OF EARTHMOVING

BUILDING PAD AND PROPOSED PARKING AREAS.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED.

CONSTRUCTION OF THE SITE IMPROVEMENTS IS EXPECTED TO BEGIN IN THE SPRING OF 2022. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. CONSTRUCTION WILL PROCEED IN A TIMELY MANNER IN ORDER TO LIMIT THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. THE CONSTRUCTION SEQUENCE FOR DEVELOPMENT OF THE PROJECT SHALL BE AS FOLLOWS:

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER. AND A REPRESENTATIVE OF THE LEBANON COUNTY CONSERVATION DISTRICT (PHONE: 717-277-5275) TO AN ONSITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIÈS SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPÓRATED AT 1-800-242-1776 TO LOCATE BURIED UTILITIES.

PHASE 3 - LOTS 20-22 1. INSTALL FILTREXX SILTSOXX ON THE SITE AS INDICATED ON THE ATTACHED PLAN. FILTREXX SILTSOXX IS TO BE INSTALLED ALONG THE CONTOUR, WHERE POSSIBLE, AT A LEVEL GRADE.

2. INSTALL STABILIZED CONSTRUCTION ENTRANCE 1 AT THE LOCATION ALONG BLACKFORD BLVD AS SHOWN ON THE ATTACHED PLAN. THE BASE COURSE SHALL BE AASHTO #1 INSTALLED AT A MINIMUM OF 20-FT WIDE AND 50-FT

3. IF SOIL IS TAKEN TO OR BORROWED FROM ANOTHER CONSTRUCTION SITE, SAID SITE MUST HAVE AN APPROVED E&SPC PLAN. PROOF OF SAID APPROVAL MUST BE PROVIDED TO A REPRESENTATIVE OF THE LEBANON COUNTY CONSERVATION DISTRICT PRIOR TO INITIATING THIS STAGE OF CONSTRUCTION.

4. CLEAR AND STRIP TOPSOIL IN THE AREAS TO CONSTRUCT THE PROPOSED PARKING LOTS AND PAD SITES TO THE LIMITS OF LOTS 20-22 AS SHOWN ON THE ATTACHED PLAN AND IN ACCORDANCE WITH PLAN DETAILS.

5. INSTALL WATER, SANITARY SEWER, AND OTHER UTILITIES IN LOTS 20–22 AT THIS TIME. DURING AND FOLLOWING STORM EVENTS PROVIDE A MEANS TO DEWATER PITS AND UTILITY TRENCHES. SPOIL MATERIAL FROM EXCAVATION OF THE TRENCHES SHALL BE PLACED ON THE UP-SLOPE SIDE OF THE TRENCH, THE LENGTH OF OPEN TRENCH SHALL BE LIMITED TO THAT WHICH WILL BE BACKFILLED THE SAME DAY, AND ANY AFFECTED BMP'S SHALL BE IMMEDIATELY STABILIZED AND REPAIRED. THE TOPSOIL EXCAVATED FROM THE TRENCH SHALL BE CAREFULLY REMOVED AND STOCKPILED SEPARATELY FROM THE SUBSOIL. THE TOPSOIL SHALL BE RESTORED TO THE GRADED AREAS TO PRE-CONSTRUCTION CONDITIONS. WATER PUMPED FROM PITS AND TRENCHES SHALL BE FILTERED BY MEANS OF A FILTER BAG. IMMEDIATELY AFTER TRENCHES HAVE BEEN BACKFILLED, FINE-GRADE STREETS AND INSTALL STONE

6. INSTALL THE STORM SEWER SYSTEM IN LOTS 20-22 AT THIS TIME. INSTALL INLET PROTECTION AT ALL INLETS AS SHOWN ON THE ATTACHED PLAN. NOTE THAT THE UPSTREAM END OF THE STORM SEWER SYSTEM FOR LOT 20 WILL TIE-IN TO THE EXISTING INLET ALONG BLACKFORD BLVD. ADDITIONALLY, BOTH STORM SEWER SYSTEMS WILL TERMINATE AND TIE-IN TO THE EXISTING STORM MANHOLES AS SHOWN ON THE UTILITY PLAN.

7. INSTALL THE PAVEMENT BASE COURSE FOR ANY WORK WITHIN THE STREETS INCLUDED WITH LOTS 20-22.

8. CONSTRUCT THE PROPOSED STRUCTURES, PARKING AREAS, AND ACCESS DRIVES ON THESE LOTS. IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE ACTIVITIES IN EACH LOT, FINAL GRADE AND STABILIZE EACH INDIVIDUAL LOT.

9. FINE GRADE ANY REMAINING AREAS IN LOTS 20-22 AS SHOWN ON THE GRADING PLAN. SPREAD 6-IN OF TOPSOIL ON FRESHLY GRADED AREAS. FINAL PASSES DURING FINE GRADING SHALL BE MADE AT RIGHT ANGLES TO THE SLOPES. PREPARE THE REMAINDER OF THE DISTURBED AREA FOR PERMANENT STABILIZATION. SEEDBED SHALL BE PREPARED IN ACCORDANCE WITH ACCEPTED PRACTICES. SEED MIXTURE SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RATES AND INSTRUCTIONS.

10. MULCH ALL DISTURBED AREAS AND SEEDED AREAS WITH HAY OR STRAW AT A MINIMUM RATE OF THREE (3) TONS PER ACRE (OR MULCH AS A PART OF HYDROSEEDING).

11. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

12. PAVE STREETS, ACCESS DRIVES AND PARKING LOTS WITHIN THE LIMITS OF LOTS 20-22. DO NOT INSTALL SURFACE (WEARING) COURSE UNTIL THE AREA IS STABILIZED (DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IN ALL AREAS TRIBUTARY TO THE CONTROLS).

13. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE LEBANON COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO THE REMOVAL OF THE BMP'S.

14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS ONCE THE SITE IS COMPLETELY STABILIZED (DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IN ALL AREAS TRIBUTARY TO THE CONTROLS). REMOVE THE TEMPORARY CONVEYANCE STRUCTURES AND OTHER TEMPORARY EROSION CONTROL STRUCTURES. ALL AREAS DISTURBED DURING THIS PROCESS SHALL BE STABILIZED IMMEDIATELY THROUGH SEEDING AND MULCHING.

9. BEGIN LOT EARTH DISTURBANCE ACTIVITIES SUCH AS EXCAVATING FOR BASEMENTS AND FOUNDATIONS. AND 15. ALL SEDIMENT DEPOSITED WITHIN STORM SEWER CONVEYANCE PIPES SHALL BE REMOVED.

16. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES ON OR OFF THE SITE.

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26) REVISION PER LCPD LETTER DATED 9/10/24 for REVISION PER LCPD LETTER DATED 9/10/24 for REVISION PER LCPD LETTER DATED 9/10/24 Decated in North Comwall Township Lebanon County, Pennsylvania REVISION PER NCT ENGINEER LETTER DATED 9/10/24 REVISION PER NCT ENGINEER LETTER DATED 9/10/24 North Comwall Township Lebanon County, Pennsylvania	TE BY /24 TMH/MFL	/24 TMH/MFL	/24 TMH/MFL	/24 TMH/MFL	/24 TMH/MFL	/24 TMH/MFL
REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26) for BYLER REAL ESTATE HOLDINGS LLC located in North Comwall Township Lebanon County, Pennsylvania	DATE 9/16/24	9/16/24	2024 9/16/24	0/24 9/16/24	2024 9/23/24	9/24 9/23/24
REVISED FI	REVISION REVISION PER LCPD LETTER DATED 9/10/24	REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2	REVISION PER NCT ENGINEER LETTER DATED 9/1	REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2	REVISION PER NCT ENGINEER LETTER DATED 9/1
Steckbeck Engineering & Surveying Inc. 279 North Zims Mill Road / Suite A Lebanon, Pennsyvania 17042 Phone: (717) 272–7110 Fax: (717) 272–7348	REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26	for	8			
	BASE N	1AP:		MP	0	
FIELD CREW: SESI BASE MAP: MPO	DESIGI	N:		MF	Ľ	
	DATE:	U.		8/8/		

EROSION AND SEDIMENT CONTROL LIABILITY NOTE

violation

NO SCALE

Failure to correctly install sediment control facilities or failure to prevent sediment laden runoff from leaving the construction site or failure to take corrective actions to immediately resolve failures of sediment control facilities may result in administrative, civil and/or criminal penalties being instituted by the Pennsylvania Department of Environmental Protection as defined in Section 602 of the Clean Streams Law of Pennsylvania. the Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each

MEADOW AREAS (TO BE MOWED 1-3 TIMES/YEAR)

APPLICATION	SPECIES	% PURE LIVE SEED	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE OR WINTER RYE	98%	80 LBS/AC	VARIES WITH SEASONAL CONDITIONS	50-50-50/ AC	1 TON/AC AG GRADE
PERMANENT	30% CREEPING RED FESCUE	98%	P.L.S. IN LBS/AC 50		50-100-100 N-P205-K20 /ACRE	1–3 TON/AC AG GRADE*
	25% HARD FESCUE	98%	44	SEED BETWEEN MARCH 1 - MAY 1	0-62-0 N-P205-K20 /ACRE	
	25% CHEWINGS FESCUE	98%	44	AND SEPTEMBER 1 – OCTOBER 1	40% OR MORE SLOW RELEASE	
	15% PERENNIAL RYE	98%	26		NITROGEN (WIN)	
	5% WHITE CLOVER	98%	8			

STEEP SLOPE AREAS (GREATER THAN 3H:1V)

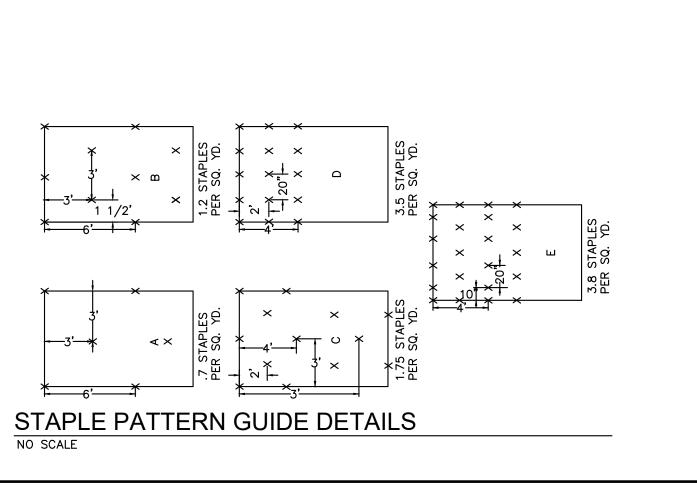
APPLICATION	SPECIES	% PURE LIVE SEED	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE OR WINTER RYE	98%	80 LBS/AC	VARIES WITH SEASONAL CONDITIONS	50-50-50/ AC	1 TON/AC AG GRADE
PERMANENT	ERNMX-181 NATIVE STEEP SLOPE MIX W/ ANNUAL RYE OR 30% CREEPING RED FESCUE 30% HARD FESCUE 25% CHEWINGS FESCUE 15% PERENNIAL RYE	98% 98% 98% 98%	P.L.S. IN LBS/AC 60 68 68 57 34	SEED BETWEEN MARCH 1 - MAY 1 AND SEPTEMBER 1 - OCTOBER 1	50-100-100 N-P205-K20 /ACRE 0-62-0 N-P205-K20 /ACRE 40% OR MORE SLOW RELEASE NITROGEN (WIN)	

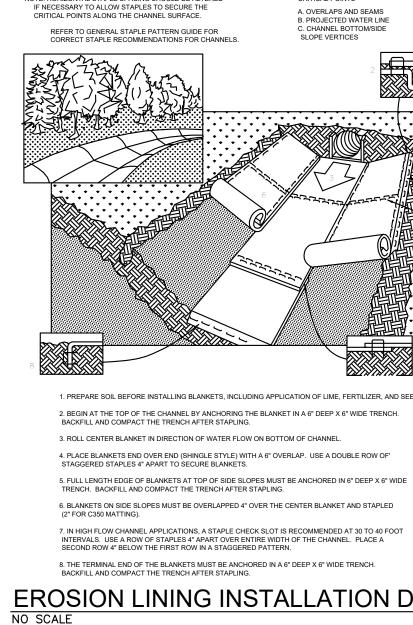
LAWN AREAS							
APPLICATION	SPECIES	% PURE LIVE SEED	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE	
TEMPORARY	ANNUAL RYE OR WINTER RYE	98%	40 LBS/AC	VARIES WITH SEASONAL CONDITIONS	50-50-50/ AC	1 TON/AC AG GRADE	
PERMANENT	60% PERENNIAL RYE 20% KENTUCKY BLUE GRASS 20% CREEPING RED FESCUE	98% 98% 98%	P.L.S. IN LBS/AC 150 50 50	SEED BETWEEN MARCH 1 - MAY 1 AND SEPTEMBER 1 - OCTOBER 1	50-100-100 N-P205-K20 /ACRE 0-62-0 N-P205-K20 /ACRE 40% OR MORE SLOW RELEASE NITROGEN (WIN)	1—3 TON/AC AG GRADE*	

* LIMING RATE SHALL BE IN ACCORDANCE WITH SOIL TEST RESULTS. APPLY 1-3 TONS OF AGRICULTURAL GRADE LIMESTONE/AC OF LAND DISTURBED BY DIVERSIONS AND DAMS. - IF TOPSOIL IS NOT PLACED IN THE SWALES AND/OR IN BASIN AREA THE RATE OF SEED SHOULD BE 10, 35, 3 LBS/ACRE.

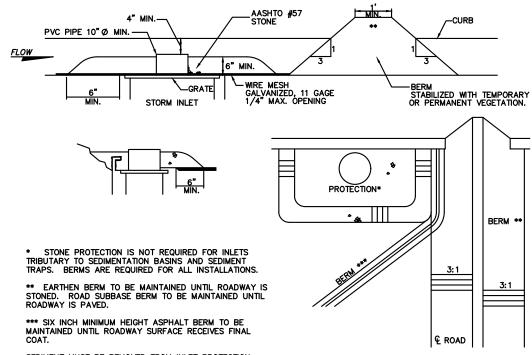
-ALL SEEDED AREAS SHALL BE MULCHED WITH HAY OR STRAW APPLIED AT A RATE OF 3 TONS/ACRE. MULCH TO BE ANCHORED WITH WOOD CELLULOSE FIBER @ 750 LBS/AC. -ALL DIVERSIONS, CHANNELS, SED TRAPS AND STOCKPILES MUST BE STABILIZED IMMEDIATELY -ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINSHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.

-SEEDING AND FERTILIZER SPECIFICATIONS AS PROVIDED BY ANDY GRAYBILL, ROHRER SEEDS (PHONE: 717-299-2571) **SEEDING & FERTILIZER SPECIFICATIONS**



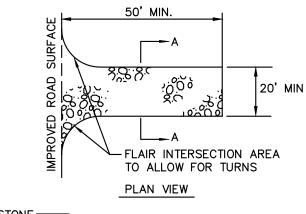


NOTE: HORIZONTAL STAPLE SPACING SHOULD BE ALTERED



SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT.

NO SCALE

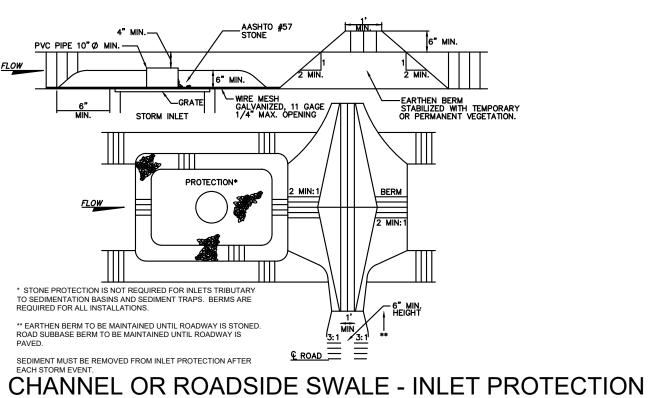


AASHTO #1 STONE -----OR EQUIVALENT

יאיזאוגוגרגייטייטייטייטייטיאוגוגרגאיי STABILIZATION TYPICAL SECTION A-A

MAINTENANCE: THE STRUCTURES THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK. A STOCKPILE OF ROCK WILL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE SITE. WASHING OF THE ROADWAY IS NOT PERMITTED.

NO SCALE



NO SCALE

STABILIZED CONSTRUCTION ENTRANCE

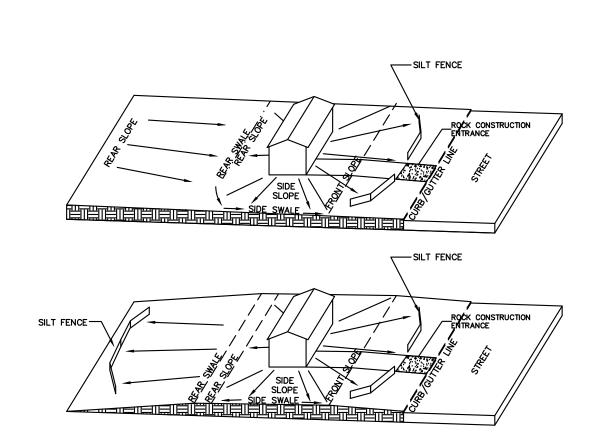
—8″ MIN -USE GEOTEXTILE FABRIC FOR

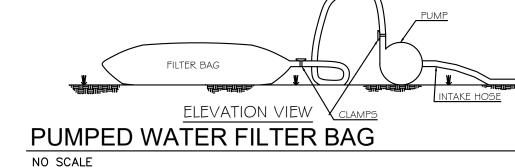
CURBED ROADWAY - INLET PROTECTION

EROSION LINING INSTALLATION DETAIL

CRITICAL POINTS A. OVERLAPS AND SEAMS B. PROJECTED WATER LINE C. CHANNEL BOTTOM/SIDE SLOPE VERTICES 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.

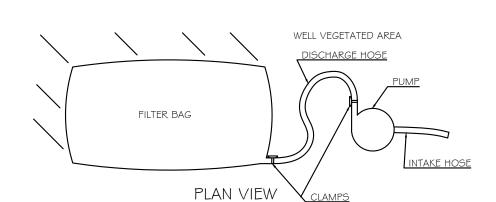
TYPICAL LOT E & S PLAN NO SCALE





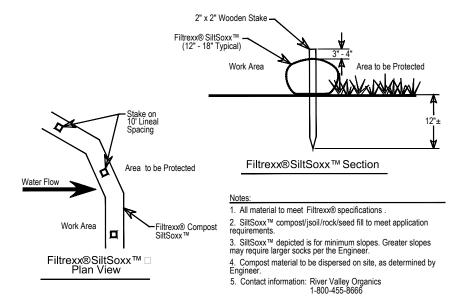
DISCHARGE HOSE

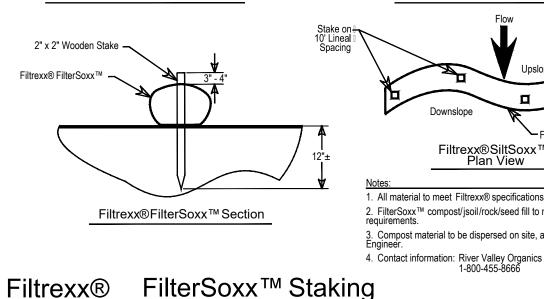
Notes: 1. Filter bags shall be made from non-woven geotextile material sewn with high strength double-stiched "J" 1. Filter bags shall be made from non-woven geotextile larger than 150 microns. type seams. They shall be capable of trapping particles larger than 150 microns. 2. A suitable means of accessing the bag with machinery required for disposal purposes must be provided. Filter bags shall be replaced when they become ½ full. Spare bags shall be kept available for replacement o those that have failed or are filled. 3. Bags shall be located in well-vegetated (grassy) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile flow path shall be provided. Bags shall not be placed on slopes greater than 5%. 4. The pump discharge hose shall be inserted into the bags in the manner specified by the manufacturer and securely clampea. 5. The pumping rate shall be no greater than 750 GPM or ½ the maximum specified by the manufacturer, whichever is less. Pump intakes should be floating and screened. 6. Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected. securely clamped.

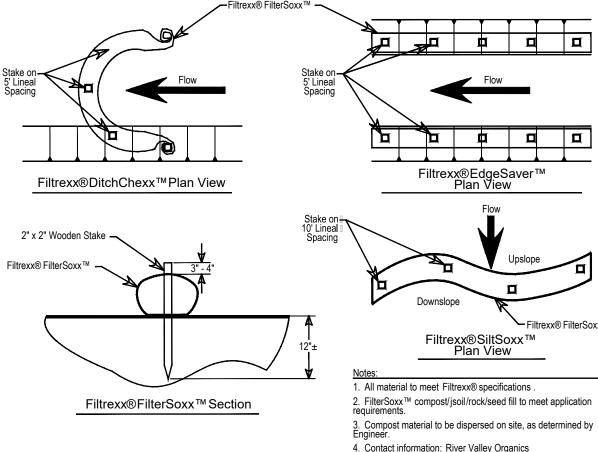


Filtrexx®SiltSoxx™ NO SCALE

NO SCALE









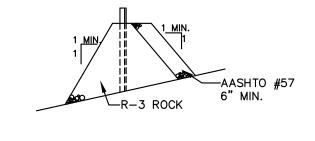
trexx® FilterSoxx

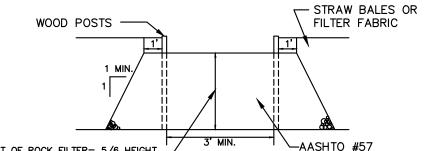
UTILITY LINE INSTALLATION

CONSTRUCTION REQUIREMENTS

- 1. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF THE PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- 2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- 3. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- 4. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING
- 5. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING AREA WILL BE DONE AT THE END OF EACH WEEK.
- 6. IN CERTAIN CASES WHERE TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED, REQUIREMENTS 1-6 WILL APPLY WITH THE FOLLOWING EXCEPTIONS:
- A. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
- B. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.
- 7. THE TOPSOIL EXCAVATED FROM THE TRENCH SHALL BE CAREFULLY REMOVED AND STOCKPILED SEPARATELY FROM THE SUBSOIL. THE TOPSOIL SHALL BE RESTORED TO THE GRADED AREAS TO PRE-CONSTRUCTION CONDITIONS.

- SILT SOXX MAINTENANCE NOTES: 1. THE CONTRACTOR SHALL MAINTAIN THE SILTSOXX IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED. 2. IF THE SILTSOXX HAS BEEN DAMAGED, IT SHALL BE REPAIRED, OR
- REPLACED IF BEYOND REPAIR. 3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILTSOXX WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILTSOXX, OR AS DIRECTED BY THE LEBANON COUNTY CONSERVATION DISTRICT. ALTERNATELY, A
- NEW SILTSOXX CAN BE PLACED ON TOP OF AND SLIGHTLY BEHIND THE ORIGINAL ONE CREATING MORE SEDIMENT STORAGE CAPACITY WITHOUT SOIL DISTURBANCE. 4. SILTSOXX SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE
- DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED. 5. THE FILTERMEDIA WILL BE DISPERSED ON SITE ONCE DISTURBED AREA HAS BEEN PERMANENTLY STABILIZED, CONSTRUCTION ACTIVITY HAS CEASED,
- OR AS DETERMINED BY THE LEBANON COUNTY CONSERVATION DISTRICT. 6. FOR LONG-TERM SEDIMENT AND POLLUTION CONTROL APPLICATIONS, SILTSOXX CAN BE SEEDED AT THE TIME OF INSTALLATION TO CREATE A VEGETATIVE FILTERING SYSTEM FOR PROLONGED AND INCREASED FILTRATION OF SEDIMENT AND SOLUBLE POLLUTANTS (CONTAINED VEGETATIVE FILTER STRIP). THE APPROPRIATE SEED MIX SHALL BE DETERMINED BY THE DESIGN PROFESSIONAL.

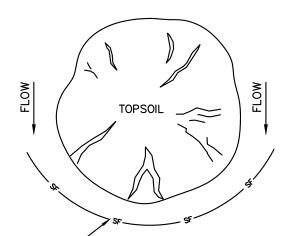


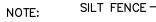


HEIGHT OF ROCK FILTER= 5/6 HEIGHT ____/ OF STRAW BALES OR FILTER FABRIC

MAITENANCE: ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLETS.

ROCK FILTER OUTLET NO SCALE





- 1) A STOCKPILE SHALL BE USED TO CONTAIN ALL STRIPPED TOPSOIL IN A LIMITED AREA IN ORDER TO KEEP DISTURBANCE TO A MINIMUM. STOCKPILES ARE TO BE STABILIZED IMMEDIATELY.) STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- 5) STOCKPILES SHALL BE LOCATED SO THAT ALL SWALES CAN FUNCTION AS DESIGNED.
- TOPSOIL STOCKPILE NO SCALE

