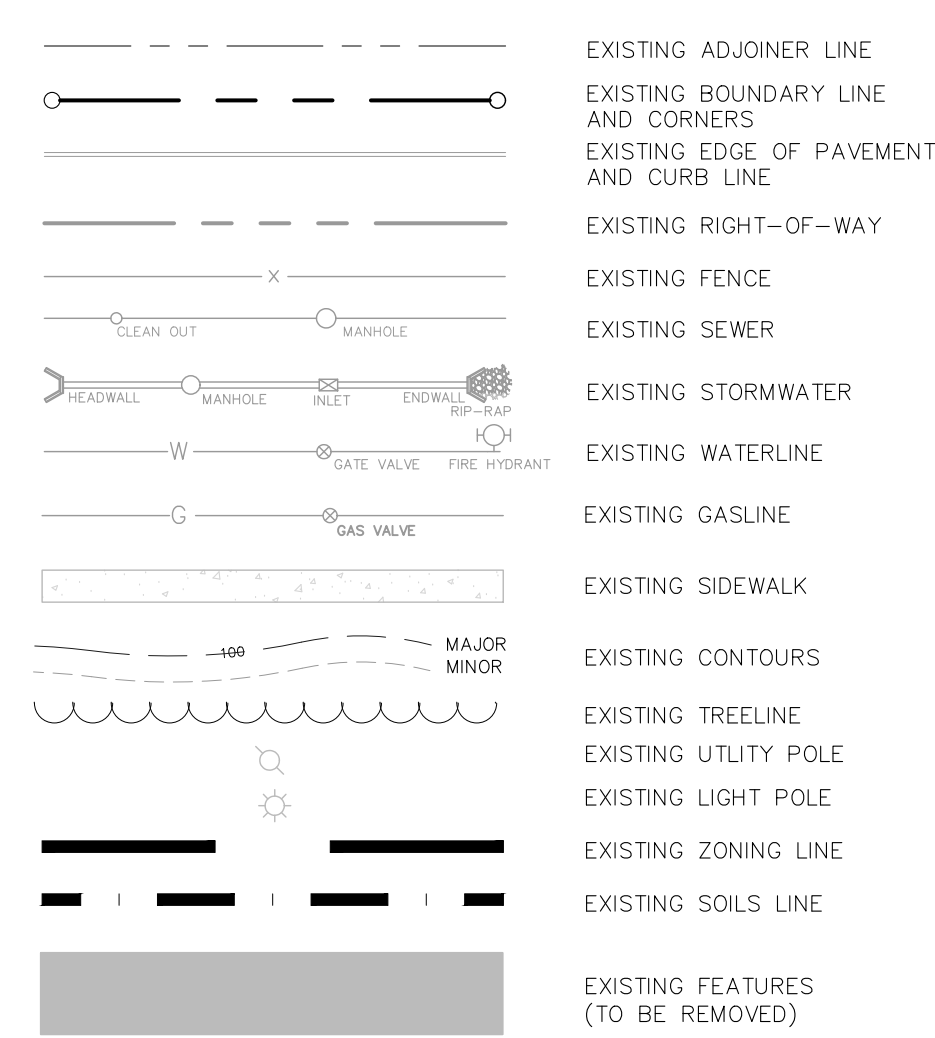


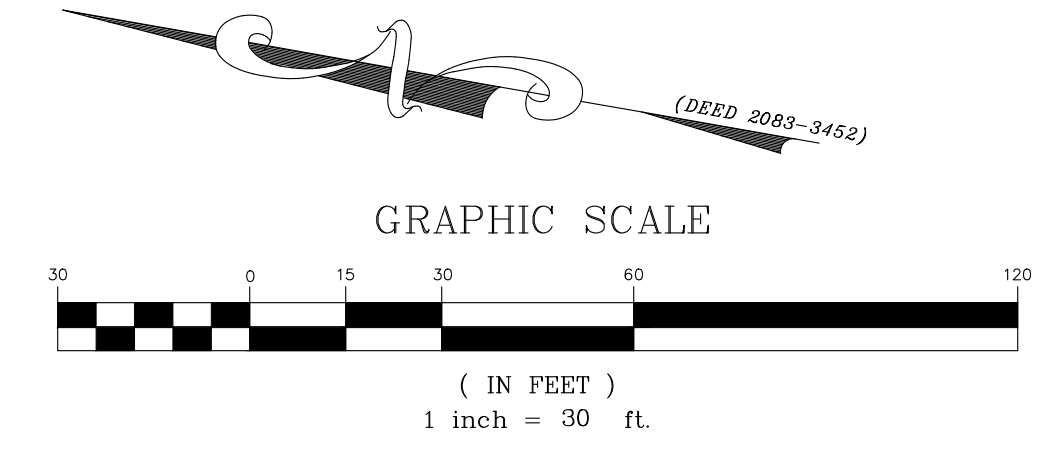
LEGEND



NOTES:

1. BENCHMARK: BM1: NORTHWEST CORNER OF INLET GRATE OF INLET CB-362 LOCATED ALONG THE WEST SIDE OF BLACKFORD BOULEVARD, APPROX 255'± NORTH OF THE INTERSECTION OF SPRINGWOOD DRIVE AND BLACKFORD BOULEVARD. ELEVATION: 524.01'
2. HORIZONTAL DATUM: NAVD 88
3. VERTICAL DATUM: MVD 88
4. UNDERGROUND UTILITIES ARE SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. STECKBECK ENGINEERING & SURVEYING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS ARE CORRECT AND ACCURATE. STECKBECK ENGINEERING & SURVEYING, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
5. IN ACCORDANCE WITH THE FLOOD INSURANCE RATE MAP NUMBER 42075C0258E, EFFECTIVE DATE JULY 8, 2020, THE ENTIRE SITE IS IN THE ZONE "X" FLOOD CLASSIFICATION.
6. IN ACCORDANCE WITH THE U.S. FISH AND WILDLIFE SERVICES NATIONAL WETLANDS INVENTORY THERE ARE NO WETLANDS ON THE SUBJECT PREMISES.
7. RIGHT-OF-WAY FOR SPRINGWOOD DRIVE, EXPO DRIVE AND BLACKFORD BLVD IS SHOWN IN ACCORDANCE WITH PREVIOUSLY RECORDED PLAN 67-22.

SOIL DATA	HYDROLOGIC GROUP
CkA - CLARKSBURG SILT LOAM, 0-3% SLOPES	C
DfB - DUFFIELD SILT LOAM, 3-8% SLOPES	B
HgB - HAGERSTOWN SILT LOAM, 3-8% SLOPES	C
HeC - HAGERSTOWN ROCK CROP COMPLEX, 8-25% SLOPES	C



REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

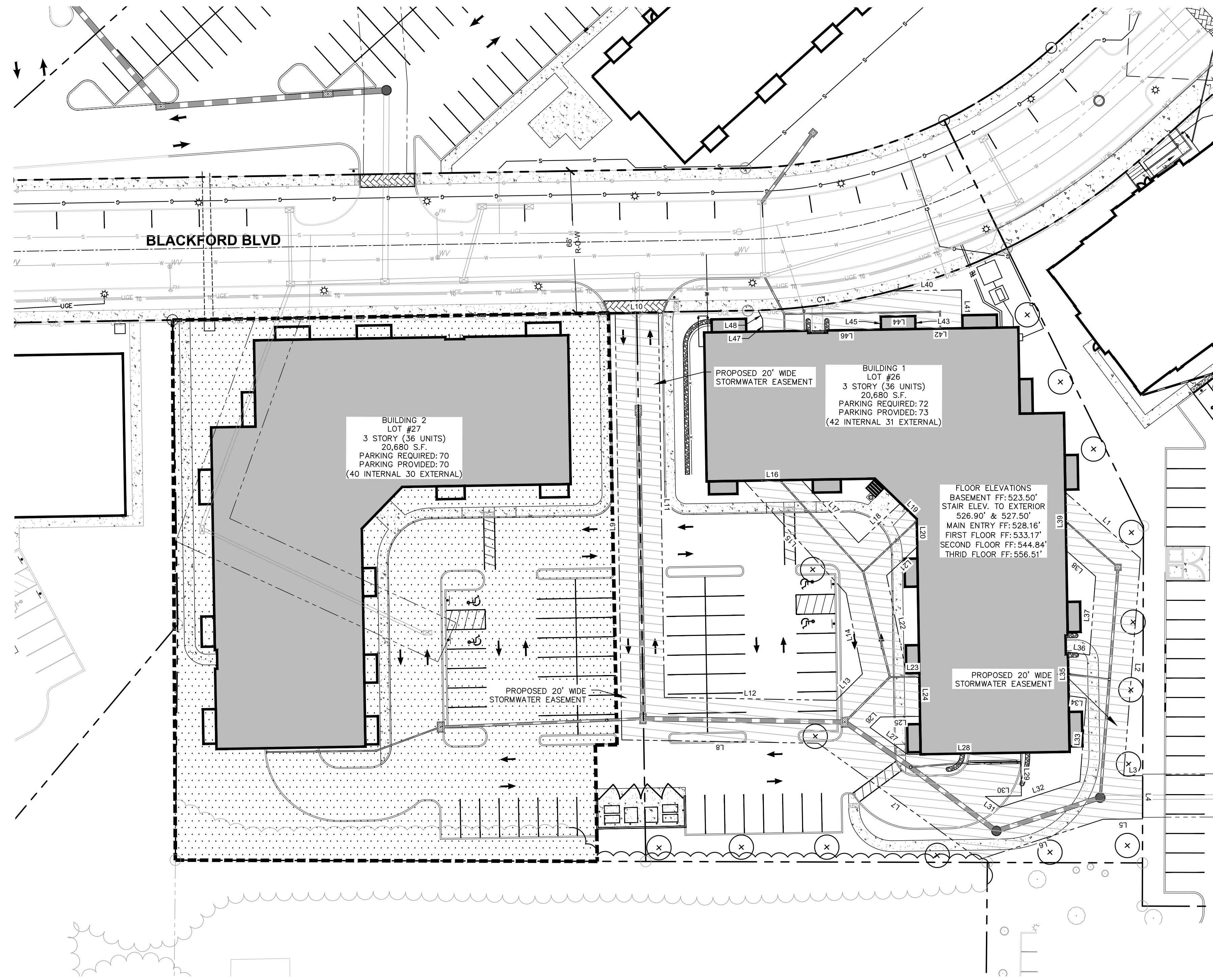
for
BYLER REAL ESTATE HOLDINGS LLC
 located in
 North Cornwall Township
 Lebanon County, Pennsylvania

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001

EXISTING CONDITIONS

2

OF 20 SHEETS



LEGEND

EXISTING FEATURES

- EXISTING ADJOINER LINE
- EXISTING BOUNDARY LINE AND CORNERS
- EXISTING EDGE OF PAVEMENT AND CURB LINE
- EXISTING RIGHT-OF-WAY
- EXISTING FENCE
- EXISTING SEWER
- EXISTING STORMWATER
- EXISTING WATERLINE
- EXISTING GASLINE
- EXISTING SIDEWALK
- EXISTING CONTOURS
- EXISTING TREELINE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE

PROPOSED FEATURES

- PROPOSED BUILDING SETBACK
- PROPOSED BOUNDARY LINE AND CORNERS
- PROPOSED EDGE OF PAVEMENT AND CURB LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED FENCE
- PROPOSED SEWER
- PROPOSED STORMWATER
- PROPOSED FIRE PROTECTION WATERLINE
- PROPOSED DOMESTIC WATERLINE
- PROPOSED GASLINE
- PROPOSED CONCRETE/SIDEWALK
- PROPOSED CONTOURS
- PROPOSED BIKE RACK
- PROPOSED TRASH RECEPTACLE
- STORMWATER EASEMENT
- LOT 27 FUTURE CONSTRUCTION (SUBJECT TO FUTURE LAND DEVELOPMENT PLAN)

PARKING LOT ACCESS NOTES:
 1. A BLANKET PARKING ACCESS EASEMENT IS PROPOSED TO AUTHORIZE INDIVIDUALS WHO RESIDE ON LOT 26 TO ACCESS AND PARK ON LOT 27 AND FOR RESIDENTS WHO RESIDE ON LOT 27 TO ACCESS AND PARK ON LOT 26.

Line Table

Line #	Direction	Length (ft)
L1	S 31° 20' 03" W	46.23
L2	S 84° 24' 08" W	101.12
L3	S 10° 38' 07" E	8.82
L4	S 80° 11' 27" W	20.00
L5	N 10° 38' 07" W	18.29
L6	N 27° 55' 30" W	60.25
L7	N 25° 48' 05" E	92.03
L8	N 08° 59' 44" W	90.92
L9	N 79° 08' 19" E	197.83
L10	S 10° 54' 54" E	20.00
L11	S 79° 08' 19" W	178.49
L12	S 08° 59' 44" E	79.50
L13	S 54° 53' 20" E	17.27
L14	N 68° 38' 09" E	38.10
L15	N 37° 44' 58" E	70.46
L16	S 10° 54' 54" E	26.64
L17	S 37° 44' 58" W	39.36
L18	S 53° 13' 43" E	26.70
L19	S 34° 05' 06" W	10.49
L20	S 79° 05' 06" W	12.87

Line Table

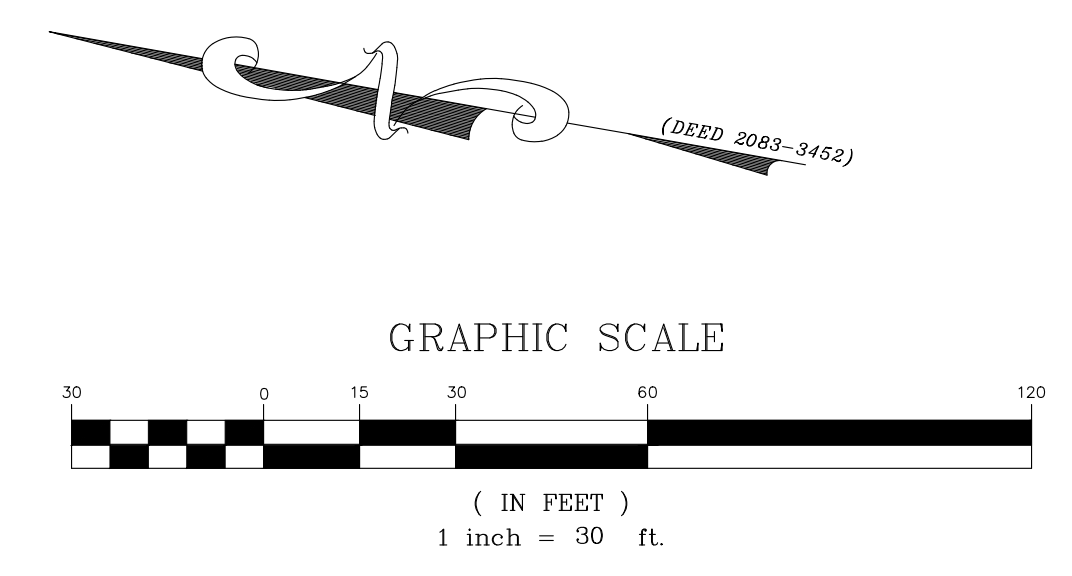
Line #	Direction	Length (ft)
L21	N 53° 13' 43" W	19.45
L22	S 68° 38' 09" W	46.22
L23	S 10° 54' 54" E	6.00
L24	S 79° 05' 06" W	20.00
L25	N 10° 54' 54" W	18.31
L26	N 54° 53' 20" W	6.82
L27	S 25° 48' 05" W	21.49
L28	S 10° 54' 54" E	52.35
L29	S 79° 05' 06" W	20.00
L30	N 10° 54' 54" W	16.70
L31	S 25° 48' 05" W	8.54
L32	S 27° 55' 30" E	38.76
L33	N 84° 24' 08" E	38.66
L34	N 02° 20' 18" W	8.23
L35	N 79° 05' 06" E	20.23
L36	S 02° 20' 18" E	10.11
L37	N 84° 24' 08" E	36.54
L38	N 31° 20' 03" E	18.08
L39	N 79° 05' 06" E	27.02
L40	S 10° 45' 08" E	32.09

Line Table

Line #	Direction	Length (ft)
L41	S 79° 28' 32" W	17.74
L42	N 10° 54' 54" W	88.64
L43	N 79° 05' 06" E	6.00
L44	N 10° 54' 54" W	16.00
L45	S 79° 05' 06" W	6.00
L46	N 10° 54' 54" W	54.65
L47	N 78° 41' 26" E	5.65
L48	N 53° 20' 19" E	4.63

Curve Table

Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Direction
C1	62.842	283.000	012.7229	62.71	S18° 14' 51"E



REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

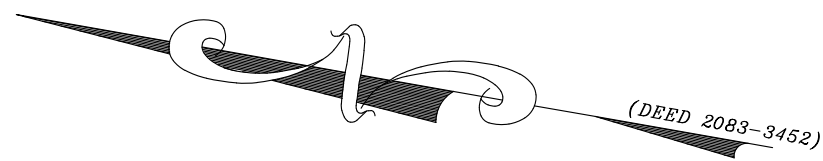
for
BYLER REAL ESTATE HOLDINGS LLC
 located in
 North Cornwall Township
 Lebanon County, Pennsylvania

CS
 Stecbeck Engineering & Surveying, Inc.
 279 North Zionsville Road, Suite A
 Lebanon, PA 17042
 Phone: (717) 272-7110
 Fax: (717) 272-7348

FIELD CREW: SESI
 BASE MAP: MPO
 DRAWN: TMH
 DESIGN: MFL
 CHECKED: MRS
 DATE: 8/8/24
 PROJECT # 907-24-001

EASEMENT
3
 OF 20 SHEETS

REVISION	DATE	BY
REVISION PER LCPO LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMH/MFL



(DEED 2083-3452)

GRAPHIC SCALE



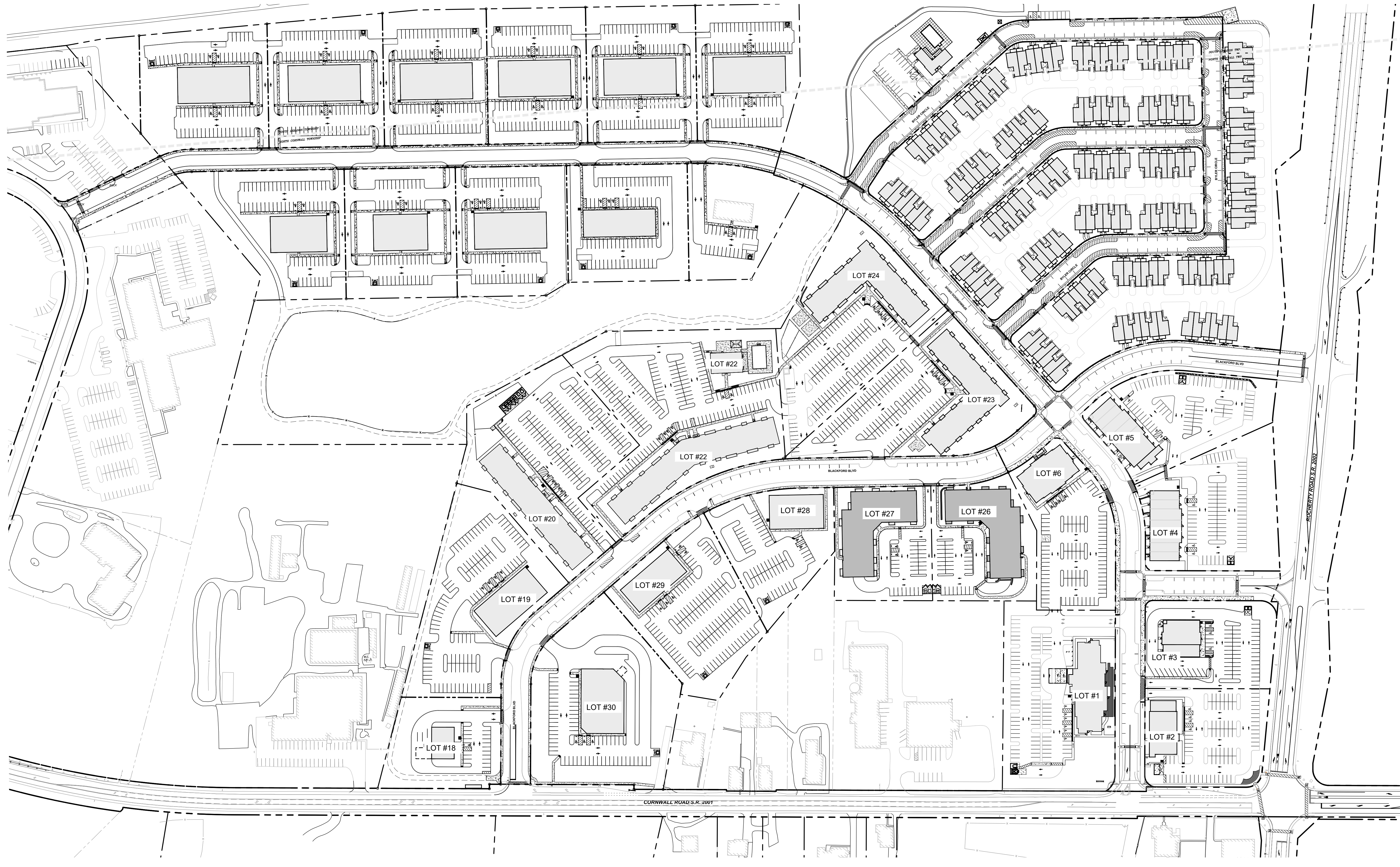
(IN FEET)
1 inch = 100 ft.

TOTAL APPROVED IMPERVIOUS AREA (ALL PHASES) (ACRES)	IMPERVIOUS AREA CURRENTLY DEVELOPED (INCLUDING THIS PLAN) (ACRES)
41.96	25.64

IMPERVIOUS AREA COMPARISON		
LOT	PREVIOUSLY APPROVED PLAN IMPERVIOUS AREA (ACRES)	PROPOSED IMPERVIOUS AREA (ACRES)
26	0.88	0.99

DESIGN STANDARDS COMPLIANCE CHART				
LOT	PROPOSED USE (AS PERMITTED BY ARTICLE 3.2)	TOTAL LOT AREA (ACRES)	TOTAL IMPERVIOUS COVERAGE (80% MAXIMUM LOT 20)	PROPOSED BUILDING HEIGHT (FEET)
26	FOR SALE APARTMENTS	1.338	73.7%	50 FEET

PARKING COMPLIANCE CHART							
LOT	PROPOSED USE (AS PERMITTED BY ARTICLE 3.2)	PROPOSED NUMBER OF UNITS	BUILDING FOOTPRINT SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING SPACES	PROVIDED PARKING SPACES (ON-LOT)	PROVIDED PARKING SPACES (ON-STREET)
26	FOR SALE APARTMENTS	36	20,680 PER FLOOR	2 SPACES PER UNIT	72	73	0



REVISION	DATE	BY
REVISION PER LCPD LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMH/MFL
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REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMH/MFL

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

for
BYLER REAL ESTATE HOLDINGS LLC
located in
North Cornwall Township
Lebanon County, Pennsylvania

Stackbeck Engineering & Surveying, Inc.
279 North Zionsville Road, Suite A
Lebanon, PA 17042
Phone: (717) 272-7110
Fax: (717) 272-7348

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001

SYMBOL	DESCRIPTION	SIZE	PA DOT DESIG.
⊙	STOP SIGN	24"x24"	R1-1
⊙	PEDESTRIAN CROSSING	30"x30"	W11-2
⊙	HANDI-CAP VAN ACCESSIBLE	6"x12"	R7-8B
⊙	HANDI-CAP SIGN	12"x18"	R7-8
⊙	STREET NAME SIGN	24"x8"	D3-1
⊙	DO NOT ENTER SIGN	30"x30"	R5-1
⊙	SPEED LIMIT SIGN	24"x24"	W13-1
⊙	BICYCLE CROSSING	30"x30"	W11-1
⊙	FREESTANDING DIRECTIONAL	12 S.F. MAX.	N/A
⊙	FREESTANDING GATEWAY	120 S.F. MAX.	N/A
⊙	FREESTANDING SIGN	24 S.F. MAX.	N/A
⊙	SWM BASIN NO TRESPASSING SIGN (MOUNT TO FENCE)	N/A	N/A
⊙	TRAIL NOT ADA ACCESSIBLE BEYOND THIS POINT	N/A	N/A
⊙	WELCOME/FAREWELL SIGN	4 S.F. MAX.	N/A

SYMBOL	PA DOT DESIG.
⊙	TYPE 1 RAMP
⊙	TYPE 1A RAMP
⊙	TYPE 2 RAMP
⊙	TYPE 4 RAMP
⊙	TYPE 6 RAMP

MINIMUM PARKING SPACE SIZE
 OFF-STREET PARKING SPACES SHALL BE A MINIMUM OF 9'X18'
 ON-STREET PARKING SPACES SHALL BE A MINIMUM OF 8'X22'

LEGEND	
	EXISTING ADJOINER LINE
	EXISTING BOUNDARY LINE AND CORNERS
	EXISTING EDGE OF PAVEMENT AND CURB LINE
	EXISTING RIGHT-OF-WAY
	EXISTING FENCE
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING WATERLINE
	EXISTING GASLINE
	EXISTING SIDEWALK
	EXISTING CONTOURS
	EXISTING TREE LINE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
PROPOSED FEATURES	
	PROPOSED BUILDING SETBACK
	PROPOSED BOUNDARY LINE AND CORNERS
	PROPOSED EDGE OF PAVEMENT AND CURB LINE
	PROPOSED RIGHT-OF-WAY
	PROPOSED FENCE
	PROPOSED SEWER
	PROPOSED STORMWATER
	PROPOSED FIRE PROTECTION WATERLINE
	PROPOSED DOMESTIC WATERLINE
	PROPOSED GASLINE
	PROPOSED CONCRETE/SIDEWALK
	PROPOSED CONTOURS
	NUMBER OF PARKING SPACES
	PROPOSED BIKE RACK
	PROPOSED TRASH RECEPTACLE
	PROPOSED ASPHALT PAVING
	LOT 27 FUTURE CONSTRUCTION (SUBJECT TO FUTURE LAND DEVELOPMENT PLAN)

ZONING INFORMATION		
LOT 26	PROPOSED	REQUIRED
PROPOSED USE: RESIDENTIAL		
PROPOSED COVERAGE:	73.7%	80% (MAX.)
FRONT BUILDING SETBACK:	4'	4'
SIDE BUILDING SETBACK:	10'	10'
REAR BUILDING SETBACK:	50'	50'

*FRONT SETBACK REQUIRES A MINIMUM OF 70% OF THEIR FRONT FACADE LOCATED AT OR WITHIN 20' OF THE STREET RIGHT-OF-WAY.

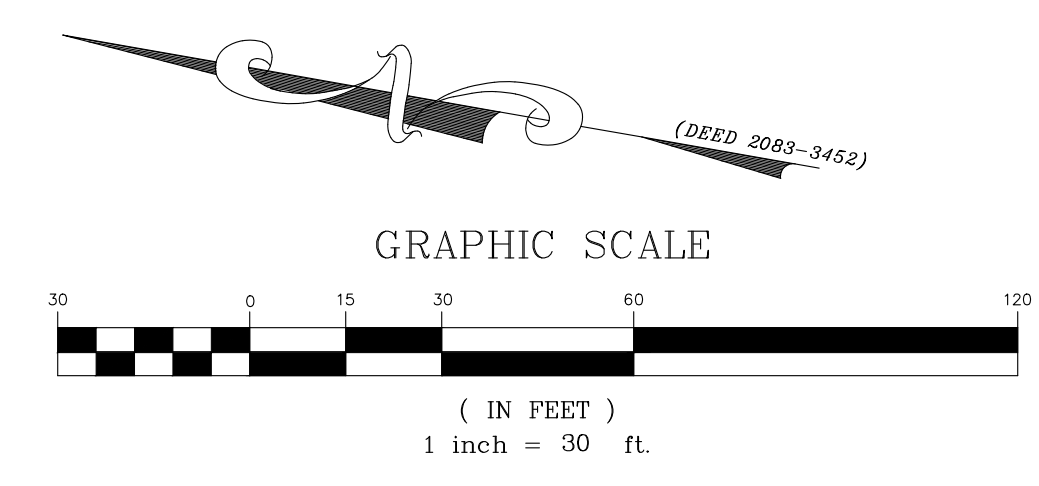
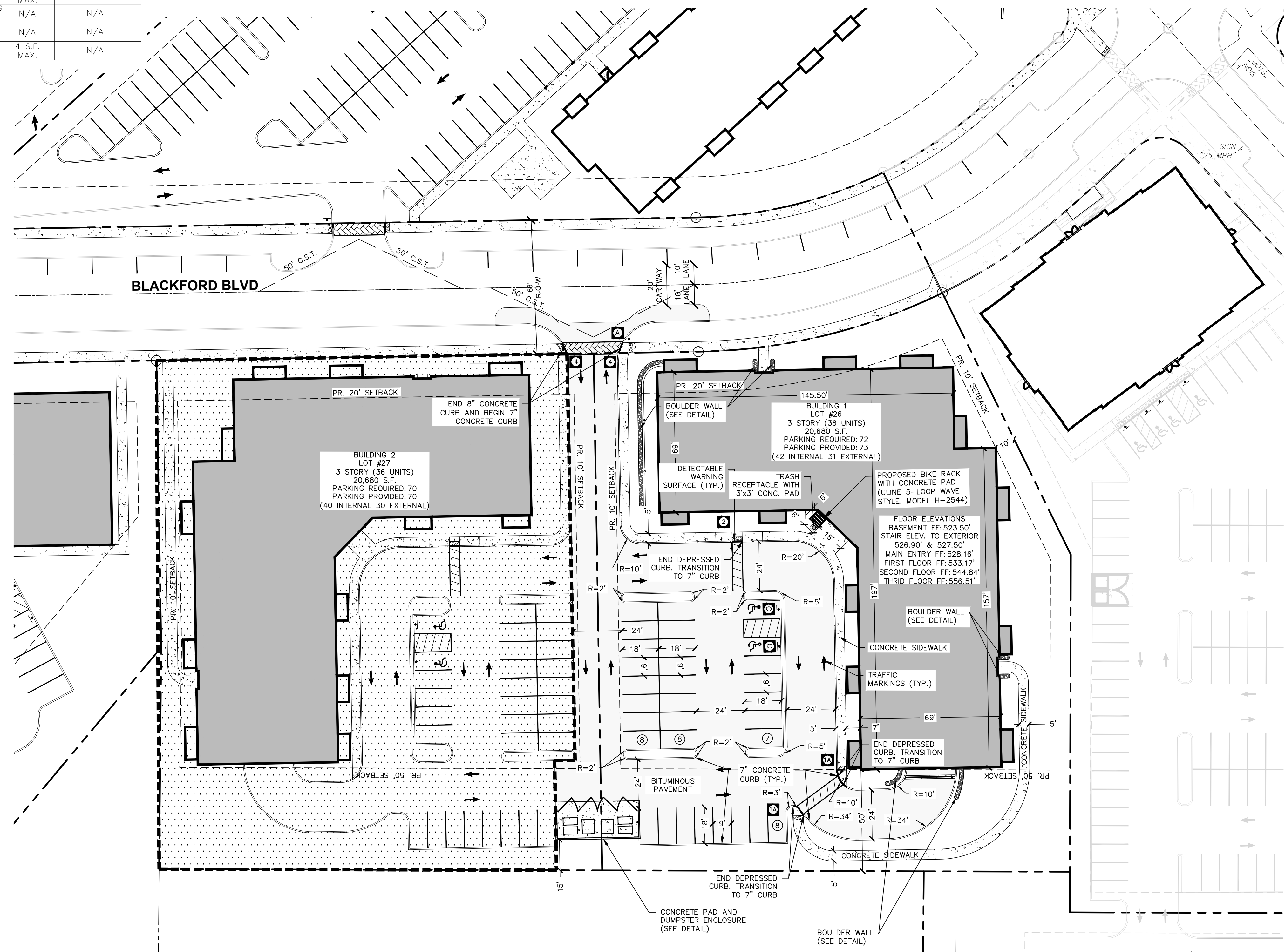
BUILDING HEIGHT: 46'-1" AT TOP OF PARAPET (50' ALLOWED)

PROPOSED PARKING
 PROPOSED UNITS - 2 SPACES PER UNIT
 LOT 26 - 36 UNITS

REQUIRED SPACES
 LOT 26 - 2 X 36 = 72 REQUIRED SPACES

PROVIDED SPACES
 LOT 26 - 73 ON-LOT SPACES 31 ABOVE GROUND & 42 BELOW GROUND (INCLUDING 3 HANDICAP SPACES)

NOTE:
 THE TOTAL PARKING PROPOSED INCLUDES 73 PARKING SPACES, INCLUDING 42 INTERNAL PARKING SPACES WITHIN THE PARKING GARAGE AND 31 EXTERNAL PARKING SPACES WITHIN THE PARKING LOT. A MINIMUM OF 72 PARKING SPACES SHALL BE PROVIDED IN PERPETUITY UNLESS A REVISED PLAN IS APPROVED BY NORTH CORNWALL TOWNSHIP.



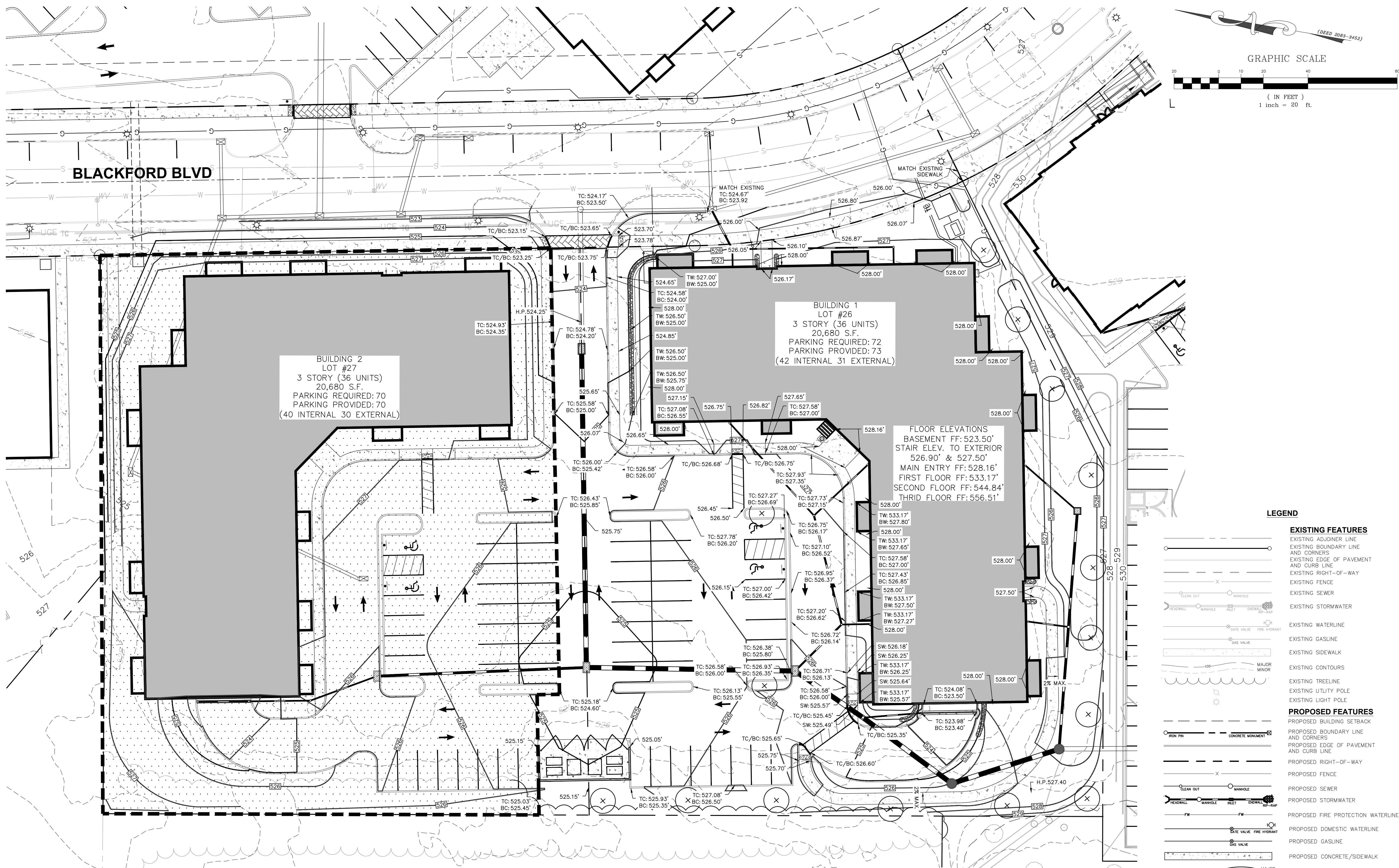
REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

for
BYLER REAL ESTATE HOLDINGS LLC
 located in
 North Cornwall Township
 Lebanon County, Pennsylvania

CS
 Steeback Engineering & Surveying, Inc.
 279 North Zionsville Road, Suite A
 Zionsville, Indiana 46088
 Phone: (717) 272-7110
 Fax: (717) 272-7348

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
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PROJECT #	907-24-001

LAYOUT
5
 OF 20 SHEETS

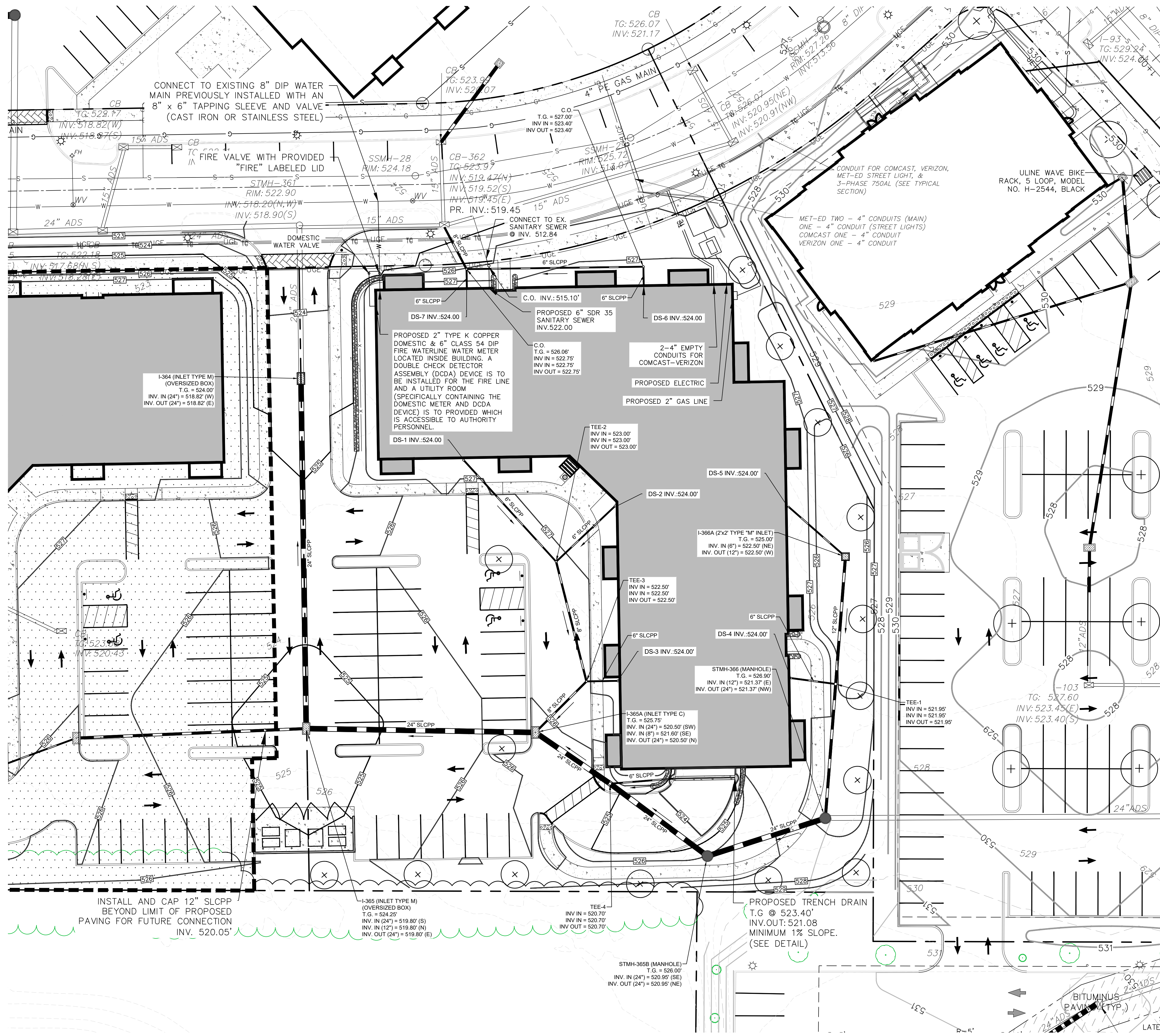


REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

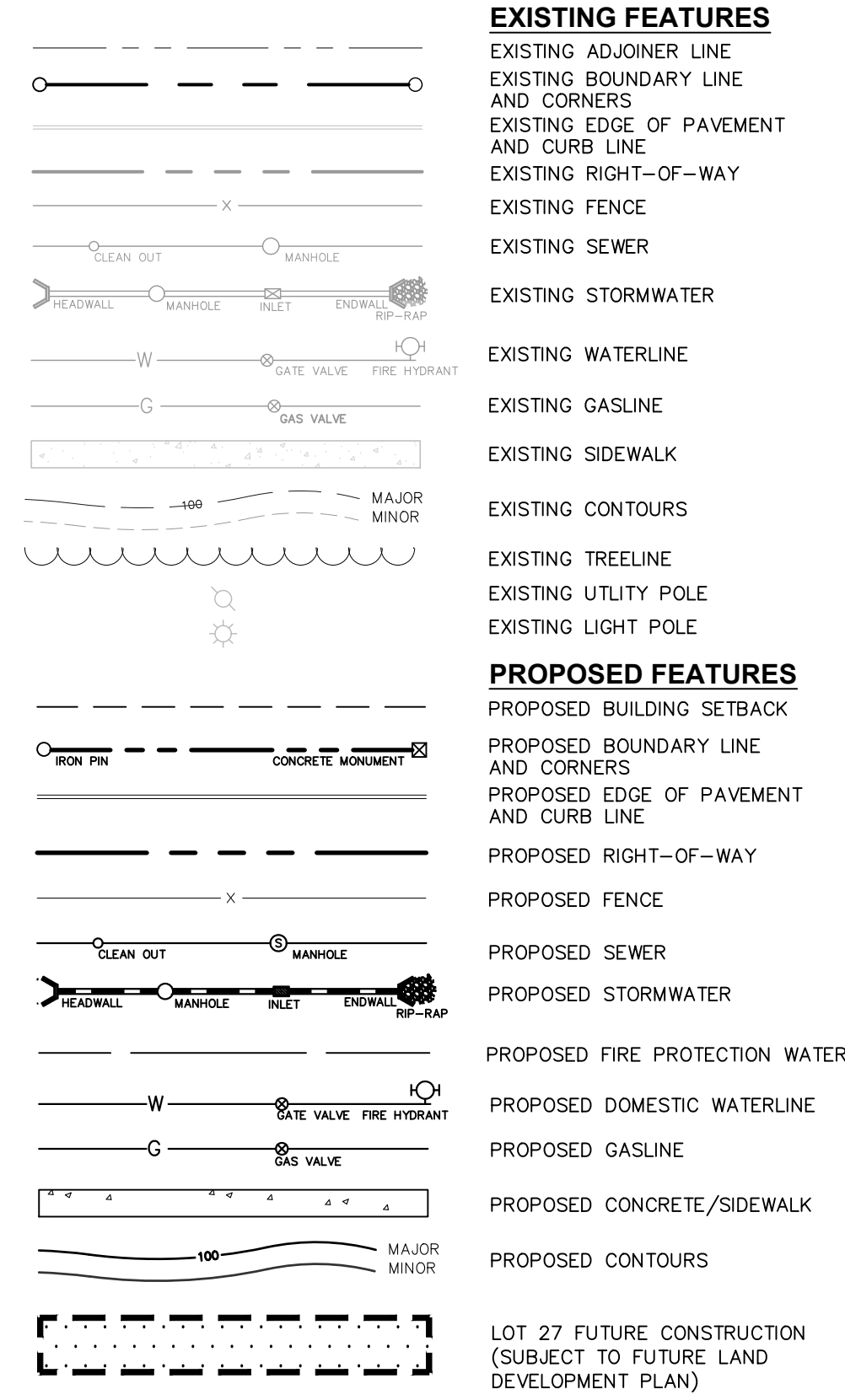
BYLER REAL ESTATE HOLDINGS LLC
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Steinbeck Engineering & Surveying, Inc.
279 North Zionsville Road, Suite A
Lebanon, PA 17042
Phone: (717) 272-7110
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FIELD CREW:	SESI
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LEGEND

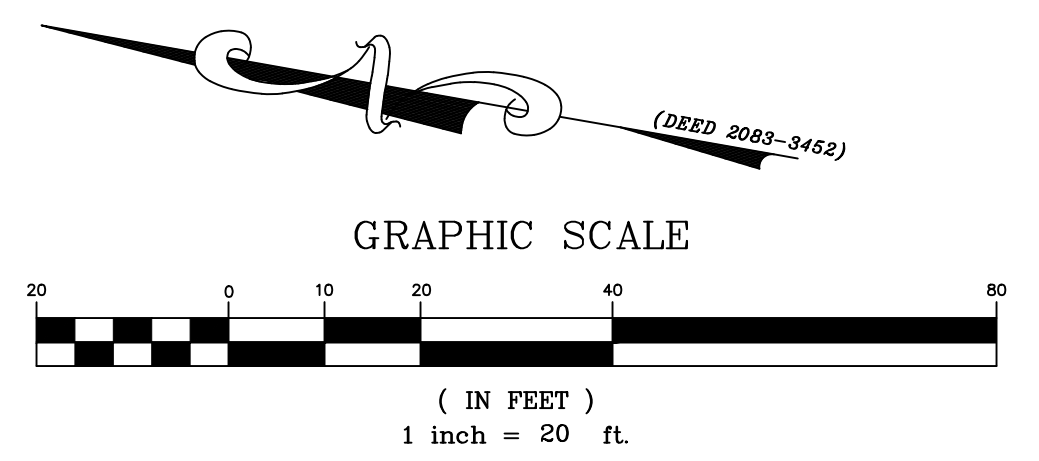


UGI NOTES:

1. GAS MAIN SHALL BE LOCATED A MINIMUM OF 5' FROM WATER AND SEWER MAINS.
2. ELECTRIC AND GAS MAY SHARE A COMMON TRENCH, IF APPROVED BY ELECTRIC COMPANY.
3. GAS METER MUST BE 10' AWAY FROM THE ELECTRIC METER, OUTSIDE CONDENSING UNITS, WINDOWS, AND DOORS.
4. GAS LINE SHALL BE INSTALLED BETWEEN CURB AND SIDEWALK IN COMMERCIAL AREAS.

UTILITY NOTES

1. IF REQUIRED, A GREASE INTERCEPTOR SHALL BE PROVIDED IN ACCORDANCE WITH THE NORTH CORNWALL TOWNSHIP FOG ORDINANCE #307 OF 2018.
2. SANITARY SEWER MAINS SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE ELEVATION. BUILDING SEWER AND LATERALS SHALL HAVE A MINIMUM OF FOUR FEET OF COVER FROM FINISHED GRADE ELEVATION.
3. WATER MAINS AND WATER LATERALS SHALL HAVE A MINIMUM OF FOUR FEET OF COVER AND ARE TO MAINTAIN A MINIMUM 18" SEPARATION FROM STORM SEWER PIPING MAINS SHALL BE INSULATED IF 18" SEPARATION IS NOT ACHIEVED.
4. ALL BUILDING DOWNSPOUTS SHALL CONNECT TO THE STORM SEWER PIPE SYSTEM.
5. THRUST BLOCKS TO BE INSTALLED AT ALL BENDS OF WATER SERVICE CONNECTIONS.
6. THE ENGINEER SHALL BE GIVEN AT LEAST 5 BUSINESS DAYS NOTIFICATION PRIOR TO CONSTRUCTION TO SCHEDULE INSPECTION.
7. WITHIN SEVEN DAYS BEFORE THE SANITARY SEWER WORK IS COMMENCED, THE CONTRACTOR SHALL SUBMIT THREE COPIES, OR ONE DIGITAL COPY, OF A PRACTICABLE AND FEASIBLE PROGRESS SCHEDULE SHOWING THE ORDER IN WHICH THE WORK IS TO BE CARRIED OUT, THE DATES ON WHICH SALIENT FEATURES WILL START (INCLUDING PROCUREMENT OF MATERIALS AND EQUIPMENT), AND THE CONTEMPLATED DATES FOR COMPLETING SUCH WORK.
8. SHOP DRAWINGS OF MANHOLE BASES, MANHOLE RISERS, MANHOLE FRAMES AND COVERS, PIPE AND ANY OTHER NECESSARY CONSTRUCTION MATERIALS FOR THE SANITARY SEWER IMPROVEMENTS MUST BE SUBMITTED TO AND APPROVED BY THE TOWNSHIP ENGINEER.
9. SANITARY SEWER CLEANOUTS SHALL BE PROVIDED FOR THE PROPOSED SEWER LATERAL AT A MINIMUM OF EVERY 50 FEET.
10. MATERIALS UTILIZED FOR DOMESTIC WATER AND FIRE SERVICE FROM THE BUILDING TO THE METER SHALL BE AT THE DISCRETION OF THE OWNER / CONTRACTOR.
11. A CLEANOUT PROTECTION CASTING SHALL BE PROVIDED FOR ALL OBSERVATION TEES IN PAVED AREAS, INCLUDING SIDEWALKS & WALKWAYS.

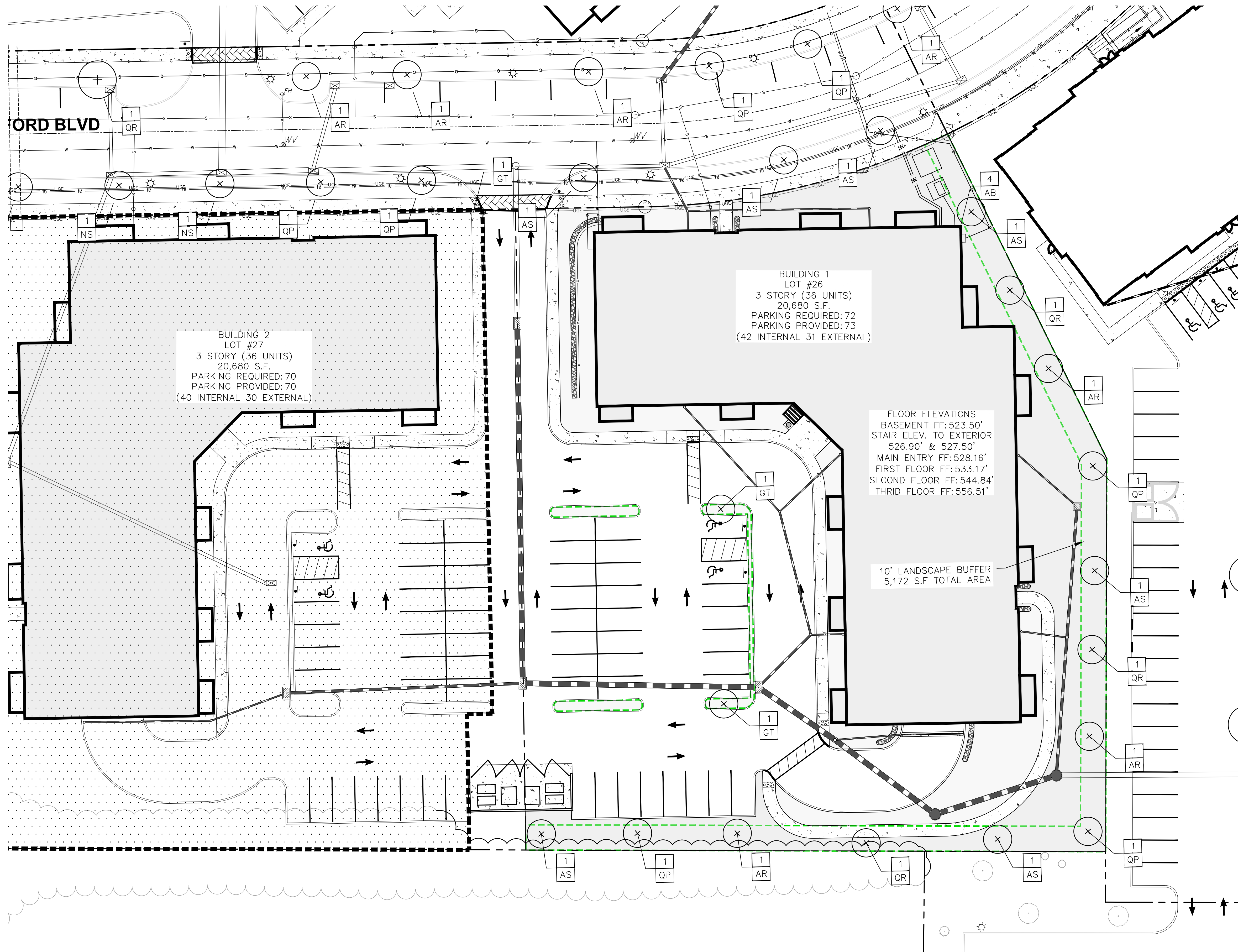


REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

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 Lebanon County, Pennsylvania

CS
 Stebbins Engineering & Surveying, Inc.
 279 North Zionsville Road, Suite A
 Zionsville, Indiana 46088
 Phone: (717) 222-7110
 Fax: (717) 272-7348

FIELD CREW:	SESI
BASE MAP:	MPO
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LEGEND

- EXISTING FEATURES**
- EXISTING ADJOINER LINE
 - EXISTING BOUNDARY LINE AND CORNERS
 - EXISTING EDGE OF PAVEMENT AND CURB LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING FENCE
 - EXISTING SEWER
 - EXISTING STORMWATER
 - EXISTING WATERLINE
 - EXISTING GASLINE
 - EXISTING SIDEWALK
 - EXISTING CONTOURS
 - EXISTING TREELINE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
- PROPOSED FEATURES**
- PROPOSED BUILDING SETBACK
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 - PROPOSED GASLINE
 - PROPOSED CONCRETE/SIDEWALK
 - PROPOSED CONTOURS
 - LOT 27 FUTURE CONSTRUCTION (SUBJECT TO FUTURE LAND DEVELOPMENT PLAN)

PLANT SYMBOL LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- SEEDING
- PLANT KEY

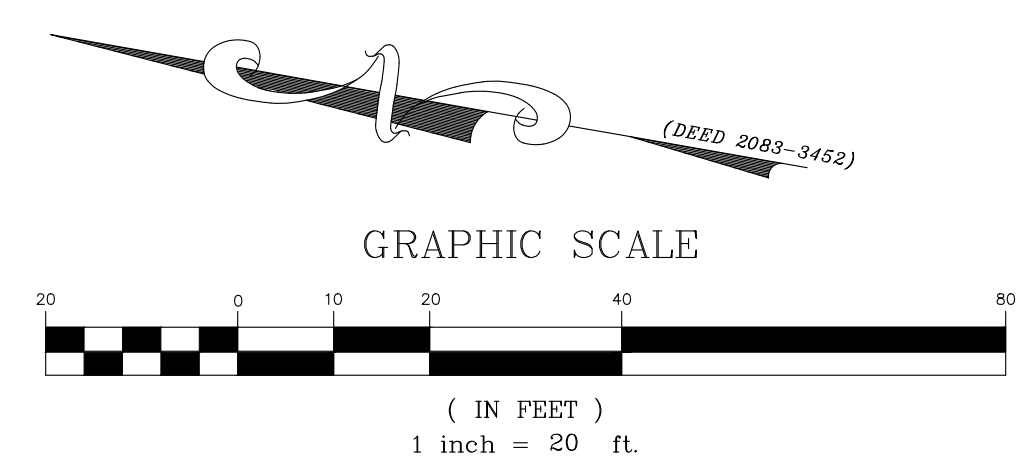
NOTE
SHADE TREES SHALL HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES (2-1/2") MEASURED SIX INCHES (6") ABOVE THE ROOT BALL.

SHRUBS NOTE
SHRUB SPECIES TO BE SELECTED BY OWNER AT THE TIME OF CONSTRUCTION.

BUFFER AREA
ONE SHADE TREE FOR EACH 400 SF OF REQUIRED LANDSCAPE STRIP
5,172 S.F./400 S.F.=13 SHADE TREES
* 13 TOTAL PROPOSED BUFFER YARD TREES. LANDSCAPER MAY ALTERNATE BETWEEN TREES.

PLANTING SCHEDULE				LOT 26	BUFFER AREA
GT	GLEDITSIA TRIACANTHOS INERMIS HALKA/HONEY LOCUST	2 1/2" CAL/ 8' HEIGHT	B&B	2	*
QP	QUERCUS PALUSTRIS/PIN OAK	2 1/2" CAL/ 8' HEIGHT	B&B	0	*
AR	ACER RUBRUM/RED MAPLE	2 1/2" CAL/ 8' HEIGHT	B&B	0	*
AS	ACER SACCHARUM/SUGAR MAPLE	2 1/2" CAL/ 8' HEIGHT	B+B	0	*
QR	QUERCUS RUBRA/RED OAK	2 1/2" CAL/ 8' HEIGHT	B+B	0	*

PARKING LOT LANDSCAPE COMPLIANCE CHART (LOT 26 PER ARTICLE 3.14.2)						
LOT	PROPOSED USE	PROVIDED PARKING SPACES (ABOVE GROUND)	REQUIRED INTERNAL GREEN: 300 SF PER 20 PARKING SPACES	PROVIDED INTERNAL GREEN (SF)	REQUIRED PARKING LOT TREES: 1 TREE PER 20 PARKING SPACES	PROVIDED PARKING LOT TREES
26	FOR SALE APARTMENTS	31	465	500	2	2



REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

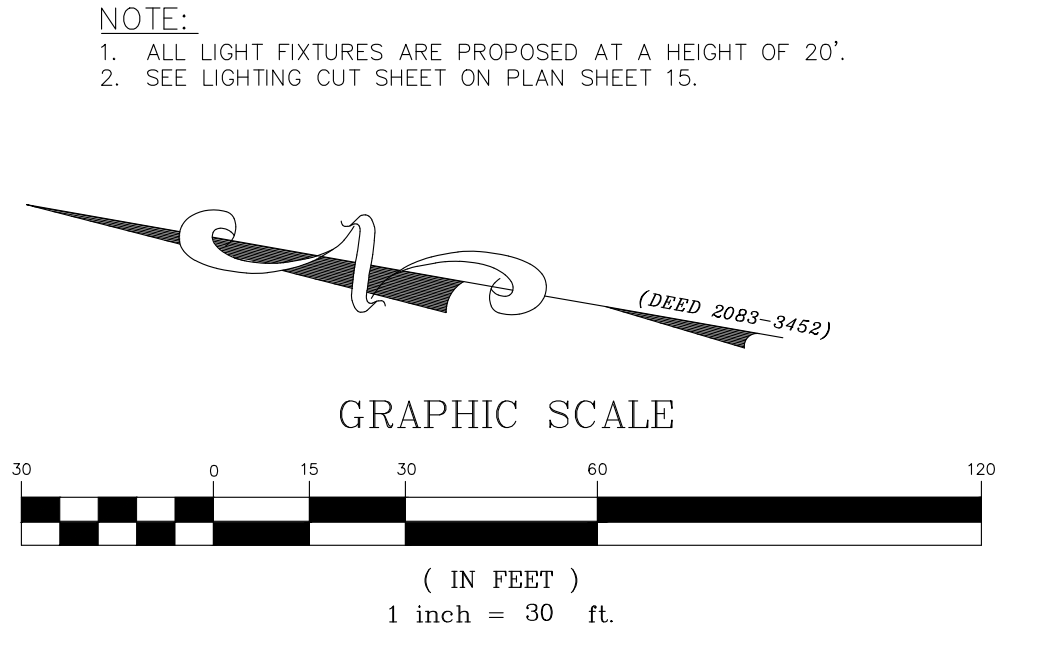
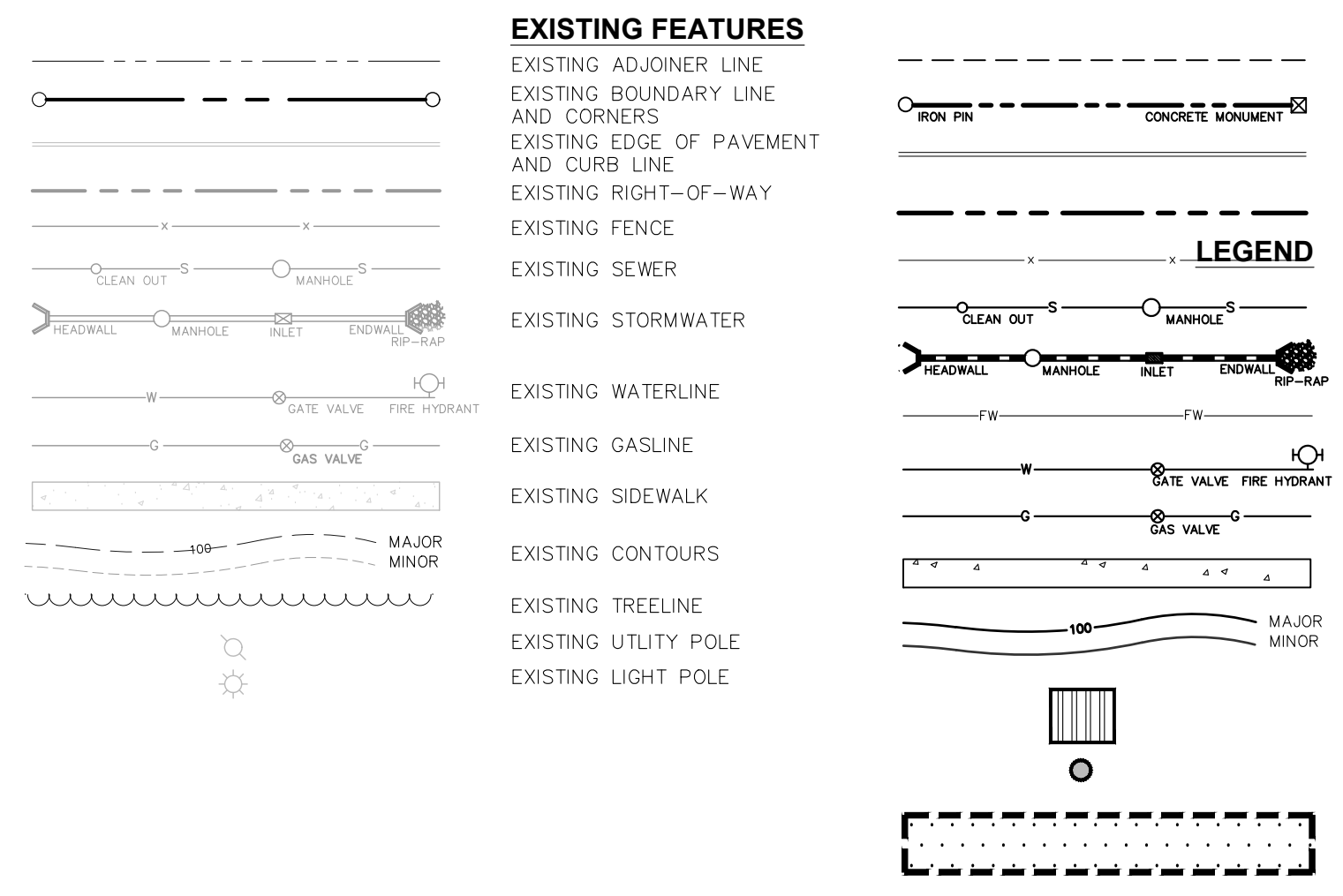
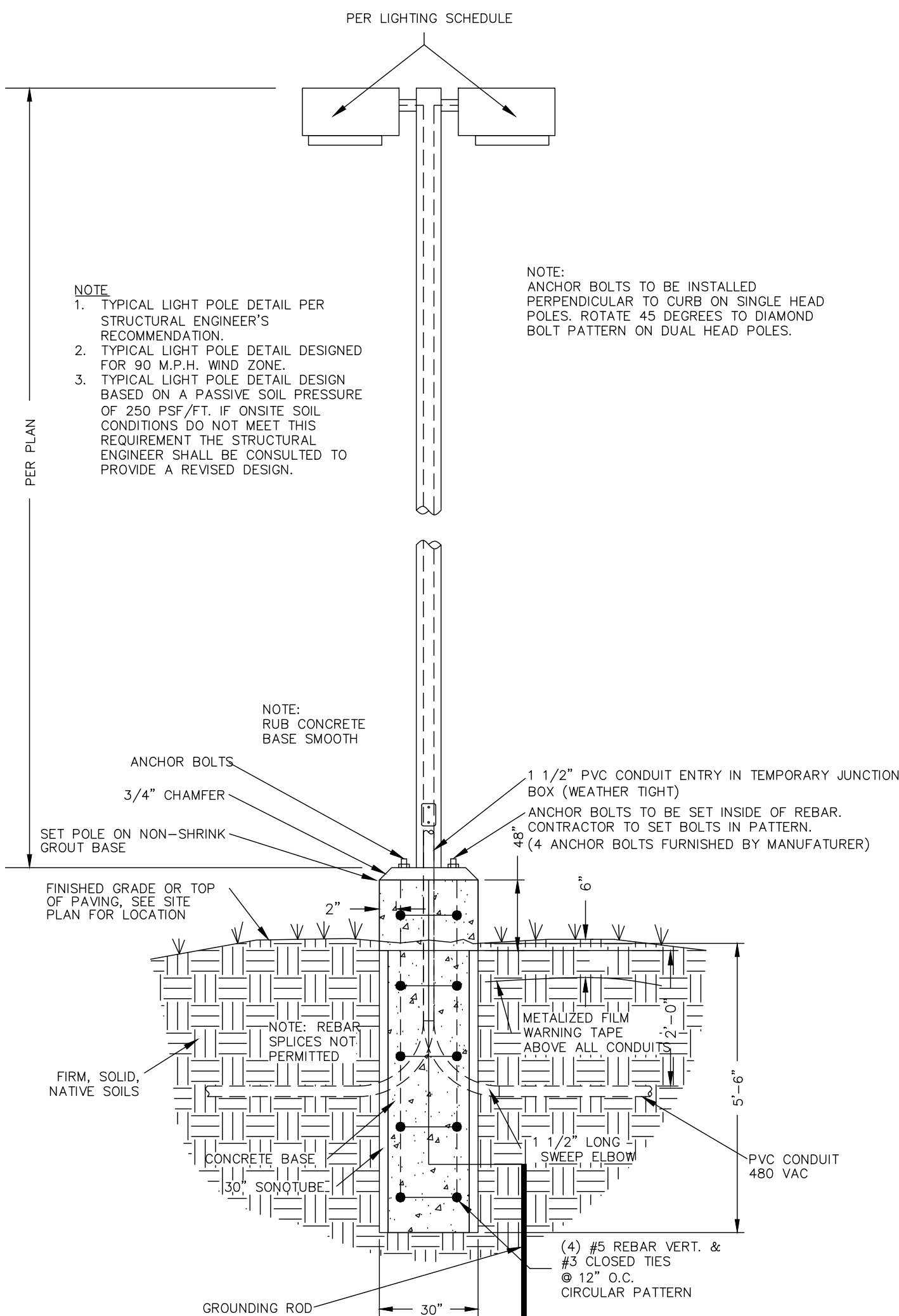
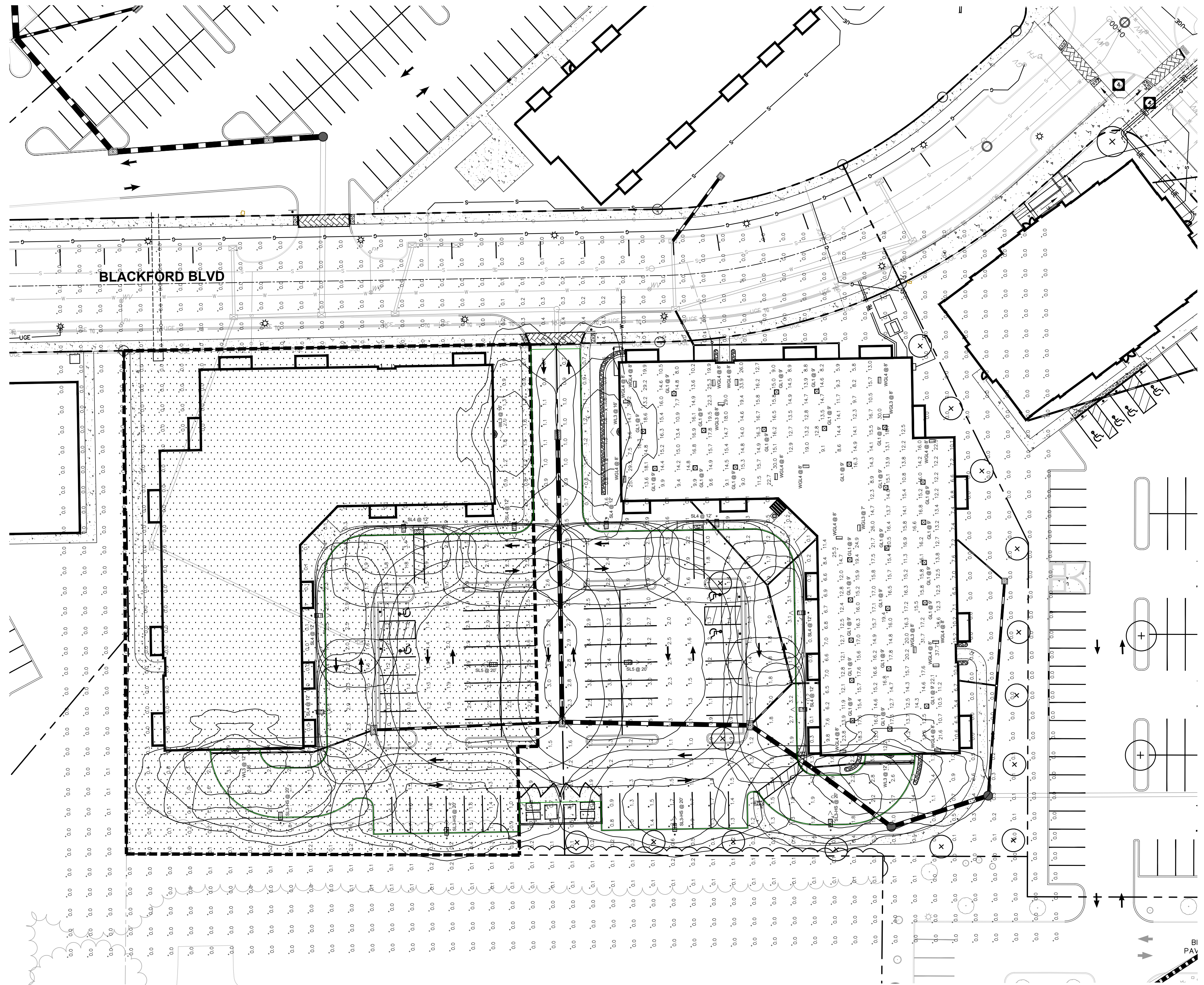
for
BYLER REAL ESTATE HOLDINGS LLC
located in
North Cornwall Township
Lebanon County, Pennsylvania

CS
Steckbeck Engineering & Surveying, Inc.
279 North Zionsville Road, Suite A
Lebanon, PA 17042
Phone: (717) 272-7110
Fax: (717) 872-7348

FIELD CREW: SESI
BASE MAP: MPO
DRAWN: TMH
DESIGN: MFL
CHECKED: MRS
DATE: 8/8/24
PROJECT # 907-24-001

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Lamp	Light Loss Factor	Wattage
☒	GL1	27	eLuminaire	CIPS2-G-80-50K7-MV-BZ-L2	8573	0.95	67.1
⌈	SL3-HS	4	Lithonia Lighting	DSXO LED P2 50K T3M MVOLT SPA DDBXD HS / SSS 20 4C DM19AS DDBXD	4788	0.95	49
⌈	SL4	8	Lithonia Lighting	DSXO LED P1 50K BL4 MVOLT SPA DDBXD / SSS 20 4C DM19AS DDBXD	3319	0.95	33.21
⌈	SL5	2	Lithonia Lighting	DSXO LED P6 50K T5M MVOLT SPA DDBXD / SSS 20 4C DM19AS DDBXD	16785	0.95	134
⌈	SL6	0	Lithonia Lighting	DSXO LED P4 50K T3M MVOLT SPA DDBXD / SSS 20 4C DM28AS DDBXD	10386	0.95	184
⌈	WL3	4	Lithonia Lighting	DSXW1 LED 20C 530 50K T3M MVOLT DDBXD	4314	0.95	35
⌈	WL4	0	Lithonia Lighting	DSXW1 LED 20C 530 50K T3M MVOLT DDBXD	4393	0.95	35
☐	WGL3	4	eLUMINAIRE	TWP-40-50K-C-T4-BZ	4865	0.95	40.25
☐	WGL4	14	eLUMINAIRE	TWP-60-50K-C-T4-BZ	7389	0.95	61.59

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Garage Lighting At Grade	+	14.6 fc	37.7 fc	5.4 fc	7.0:1	2.7:1
Parking Lot Lighting	X	1.9 fc	4.0 fc	0.7 fc	5.7:1	2.7:1



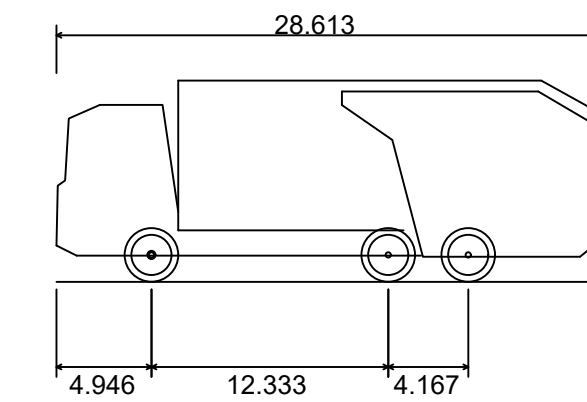
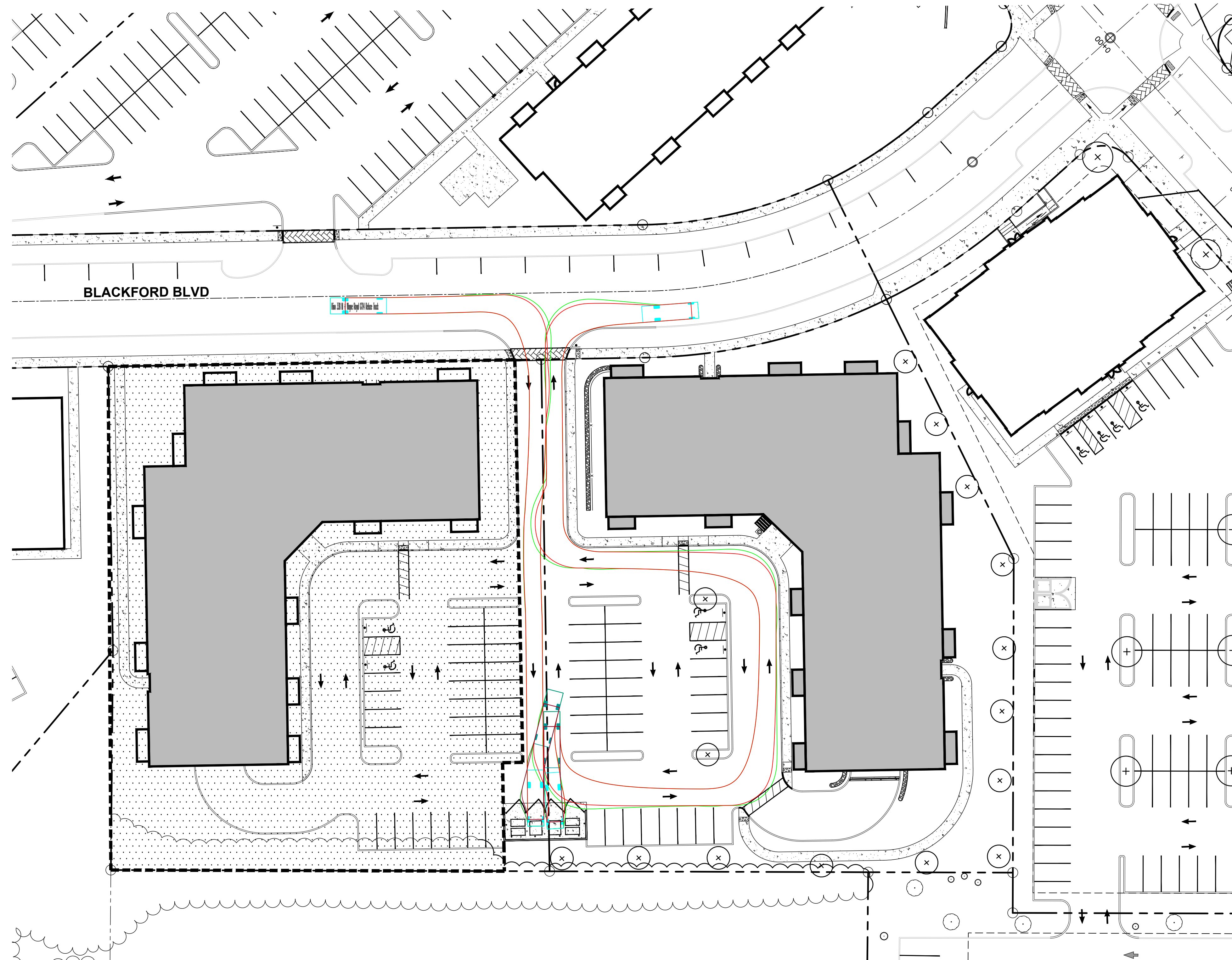
DATE	BY
9/16/24	TMH/MFL
9/16/24	TMH/MFL
9/16/24	TMH/MFL
9/16/24	TMH/MFL
9/23/24	TMH/MFL

REVISION	DATE	BY
REVISION PER LCPO LETTER DATED 9/10/24	9/10/24	TMH/MFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMH/MFL

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)
for
BYLER REAL ESTATE HOLDINGS LLC
located in
North Cornwall Township
Lebanon County, Pennsylvania

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BASE MAP:	MPO
DRAWN:	TMH
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DATE:	8/8/24
PROJECT #	907-24-001

LIGHTING PLAN
9
OF 20 SHEETS



Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd
 Overall Length 28.613ft
 Overall Width 8.000ft
 Overall Body Height 10.481ft
 Min Body Ground Clearance 1.311ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 33.500ft

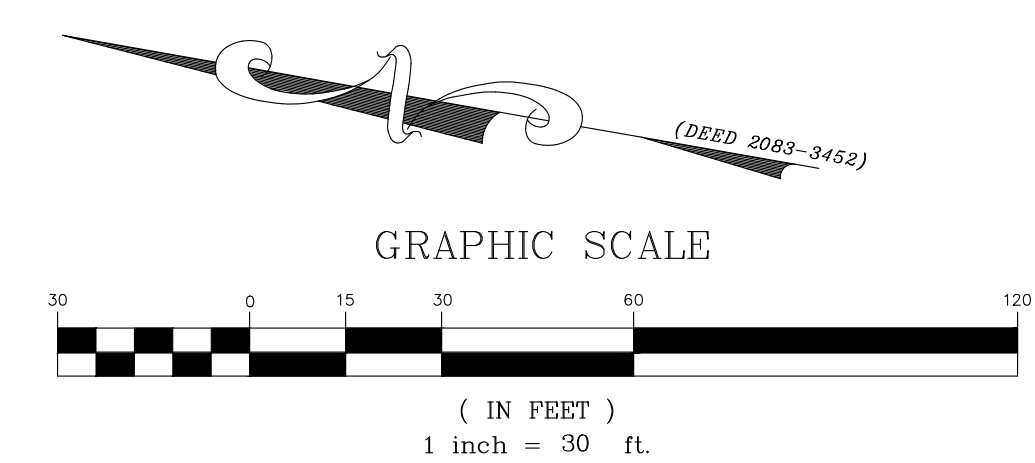
REVISION	DATE	BY
REVISION PER LCPD LETTER DATED 9/10/24	9/16/24	TMMHFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMMHFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMMHFL
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REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMMHFL

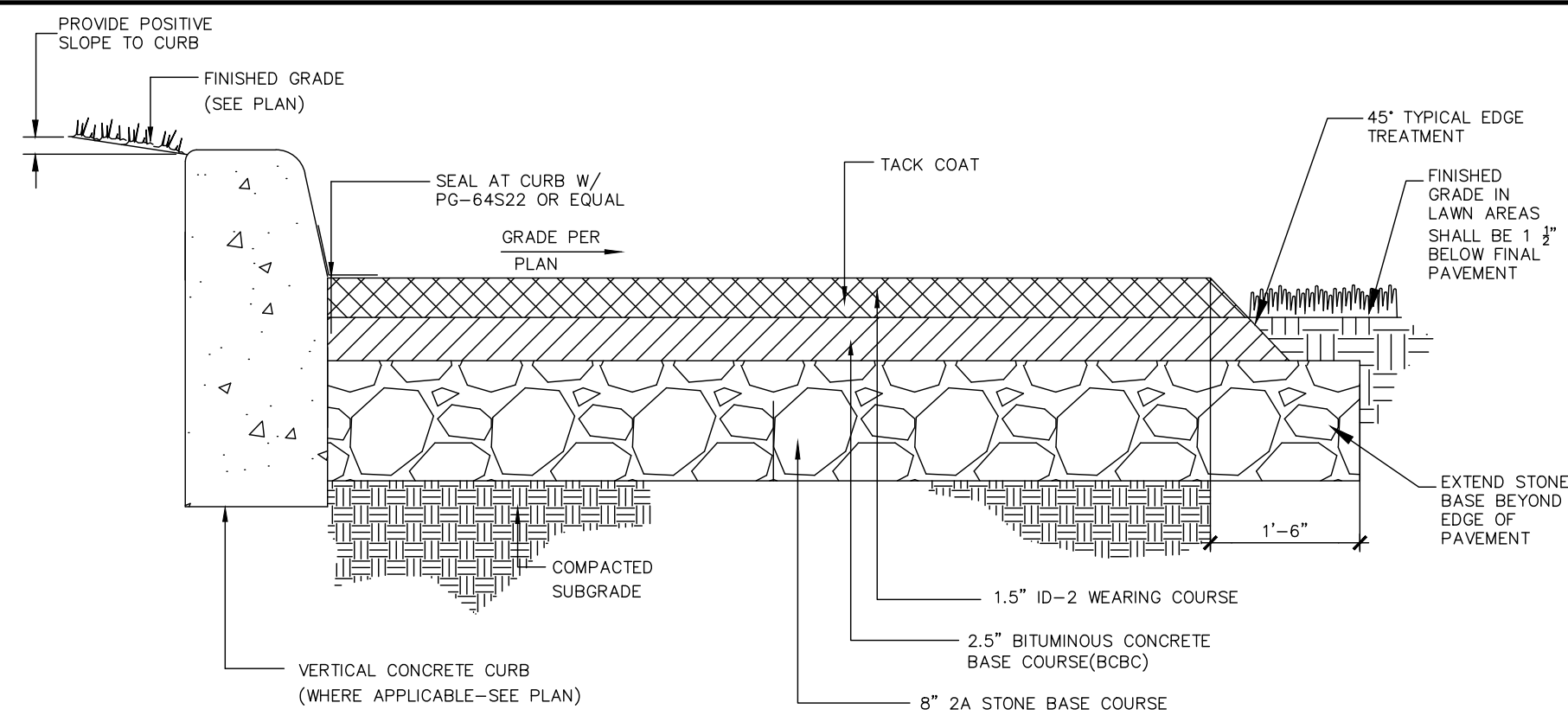
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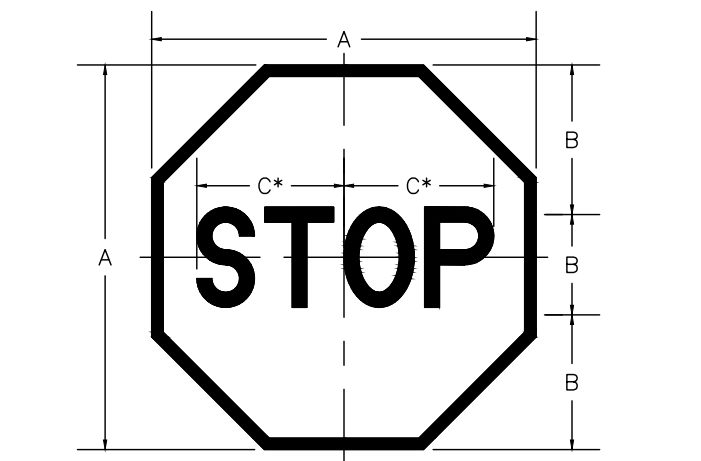
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TYPICAL STANDARD BITUMINOUS PAVEMENT SECTION

NO SCALE



COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)

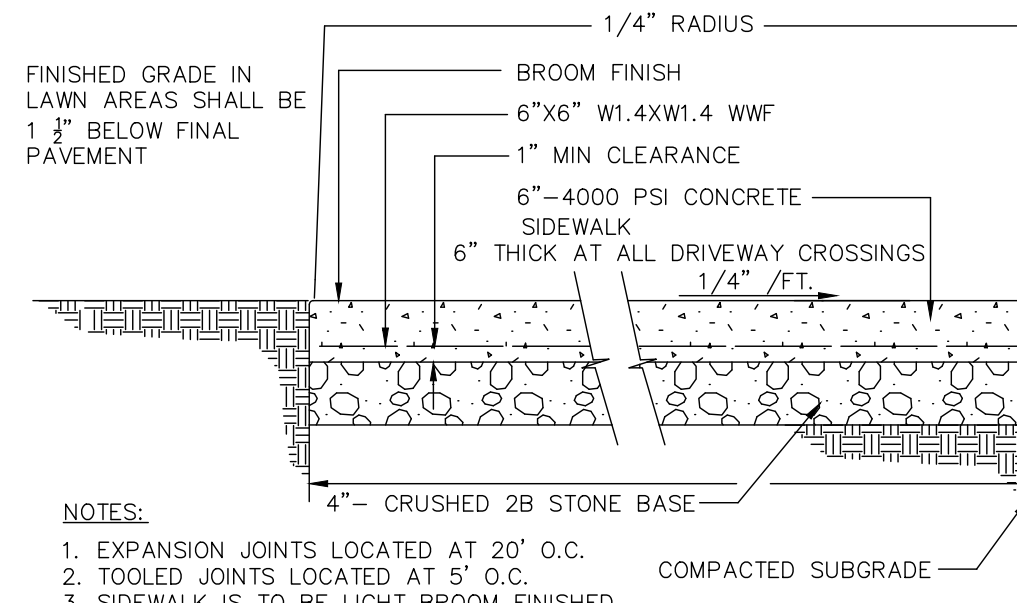
NOTE: INSTALL PER REQ'TS OR PADOT TITLE 7, CHAPTER 211—OFFICIAL TRAFFIC CONTROL DEVICES.

SIGN SIZE	DIMENSIONS			SERIES	BOR DER	BLANK STD
	A	B	C			
24 X 24	24	8	10	C	1	B1-24
30 X 30	30	10	12	C	2	B1-30
36 X 36	36	12	15	C	3	B1-36
48 X 48	48	16	20	C	4	B1-48

* REDUCE SPACING 40%

STOP SIGN DETAIL

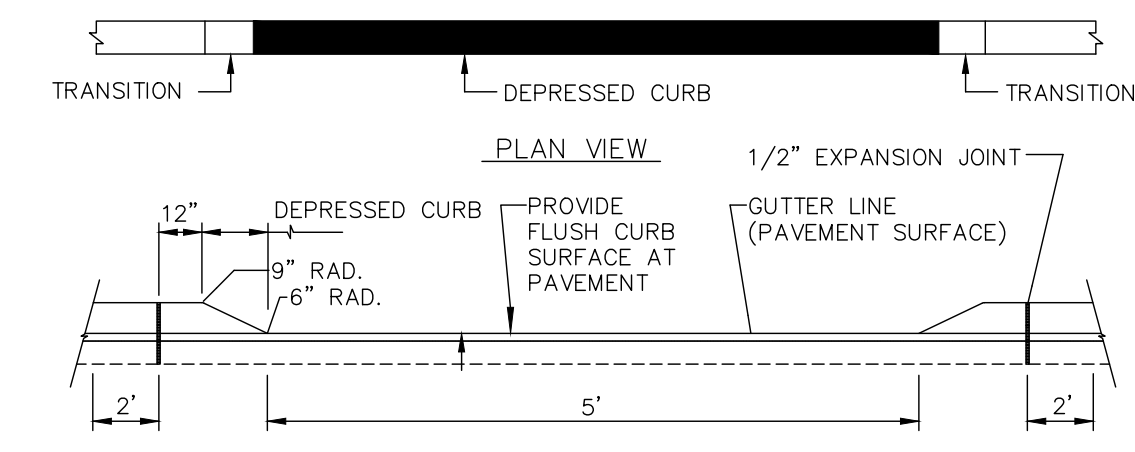
NO SCALE



- NOTES:
- EXPANSION JOINTS LOCATED AT 20' O.C.
 - TOOLED JOINTS LOCATED AT 5' O.C.
 - SIDEWALK IS TO BE LIGHT BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH.
 - CONCRETE SIDEWALK CONSTRUCTED PER SECTION 676 "CEMENT CONCRETE SIDEWALKS" PA DOT SPECIFICATIONS, 1970, AS AMENDED.
 - STONE BASE SHALL BE INCREASED TO 6" THICK AT ALL LOCATIONS WHERE SIDEWALK EXTENDS THROUGH DRIVEWAY.

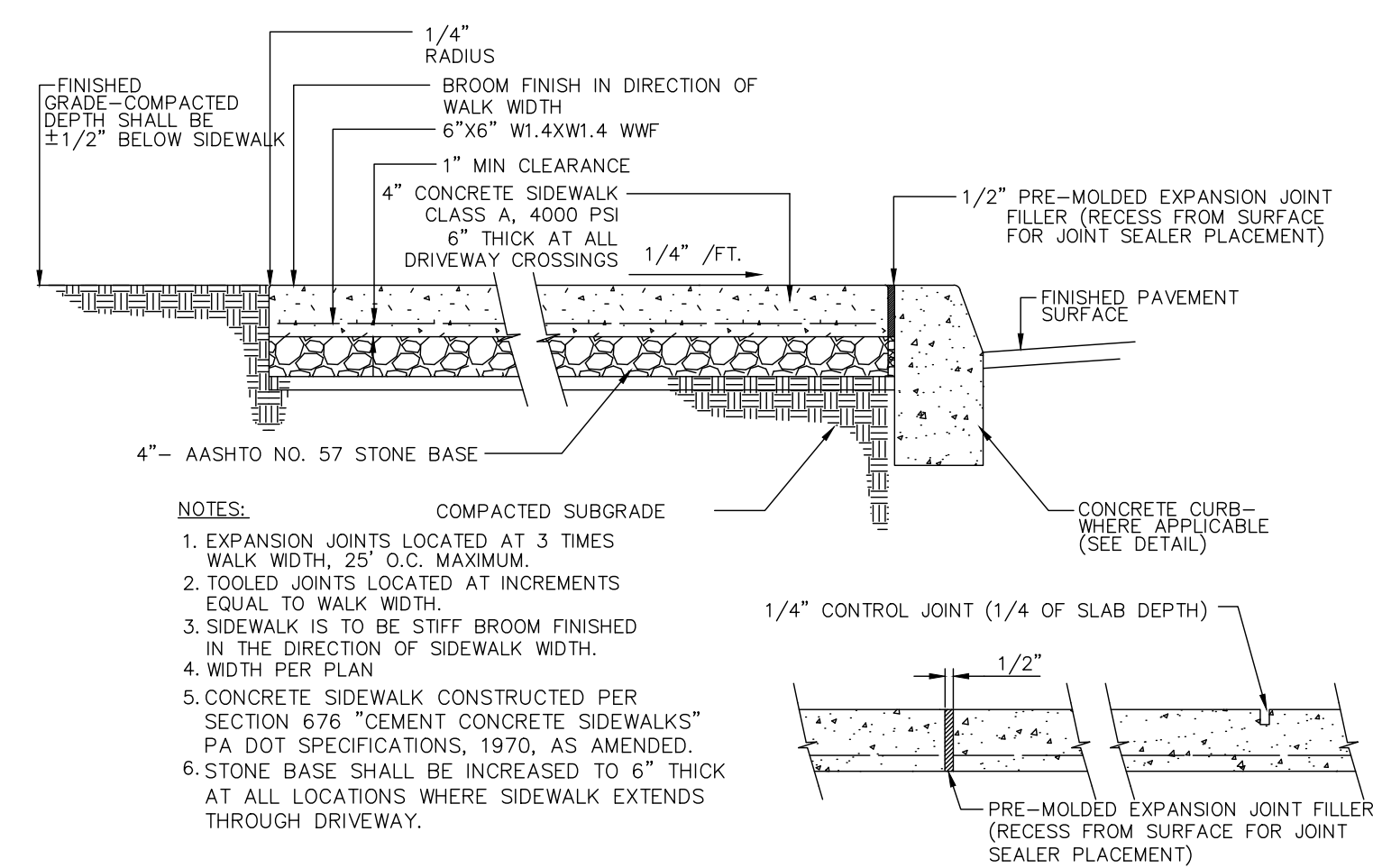
CONCRETE SIDEWALK DETAIL

NO SCALE



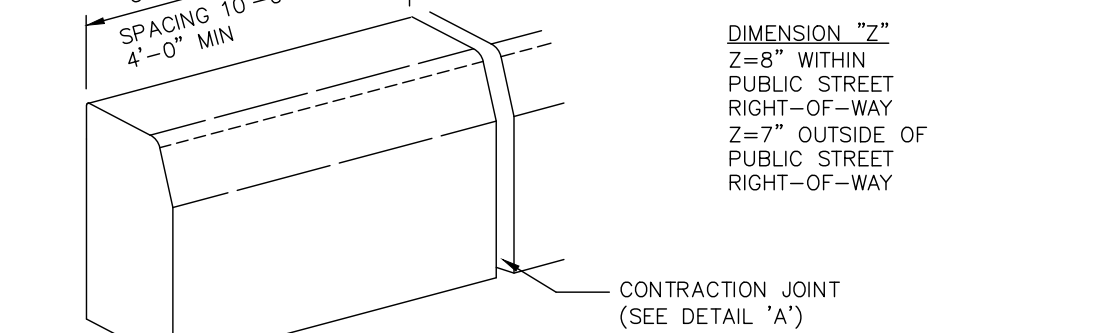
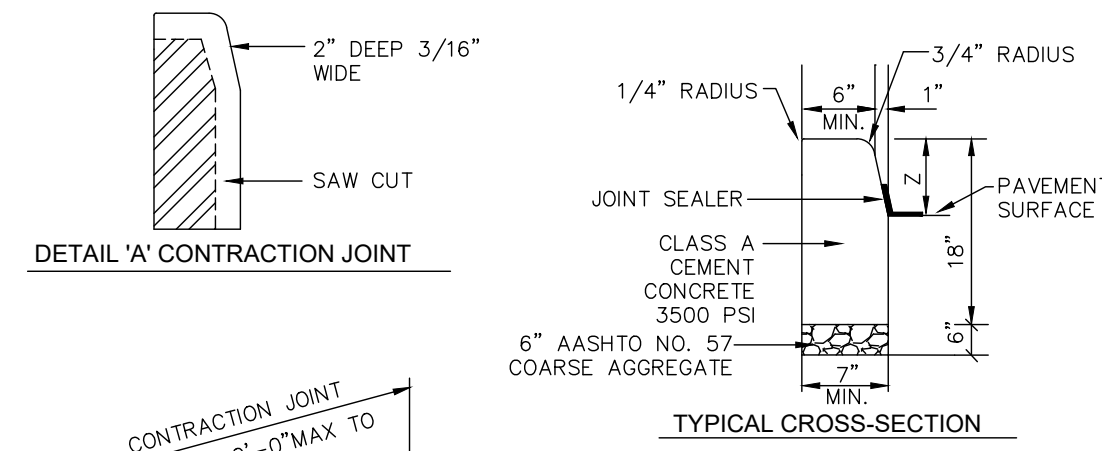
CURB CUT DETAIL

NO SCALE



CONCRETE SIDEWALK ADJACENT TO CURB DETAIL

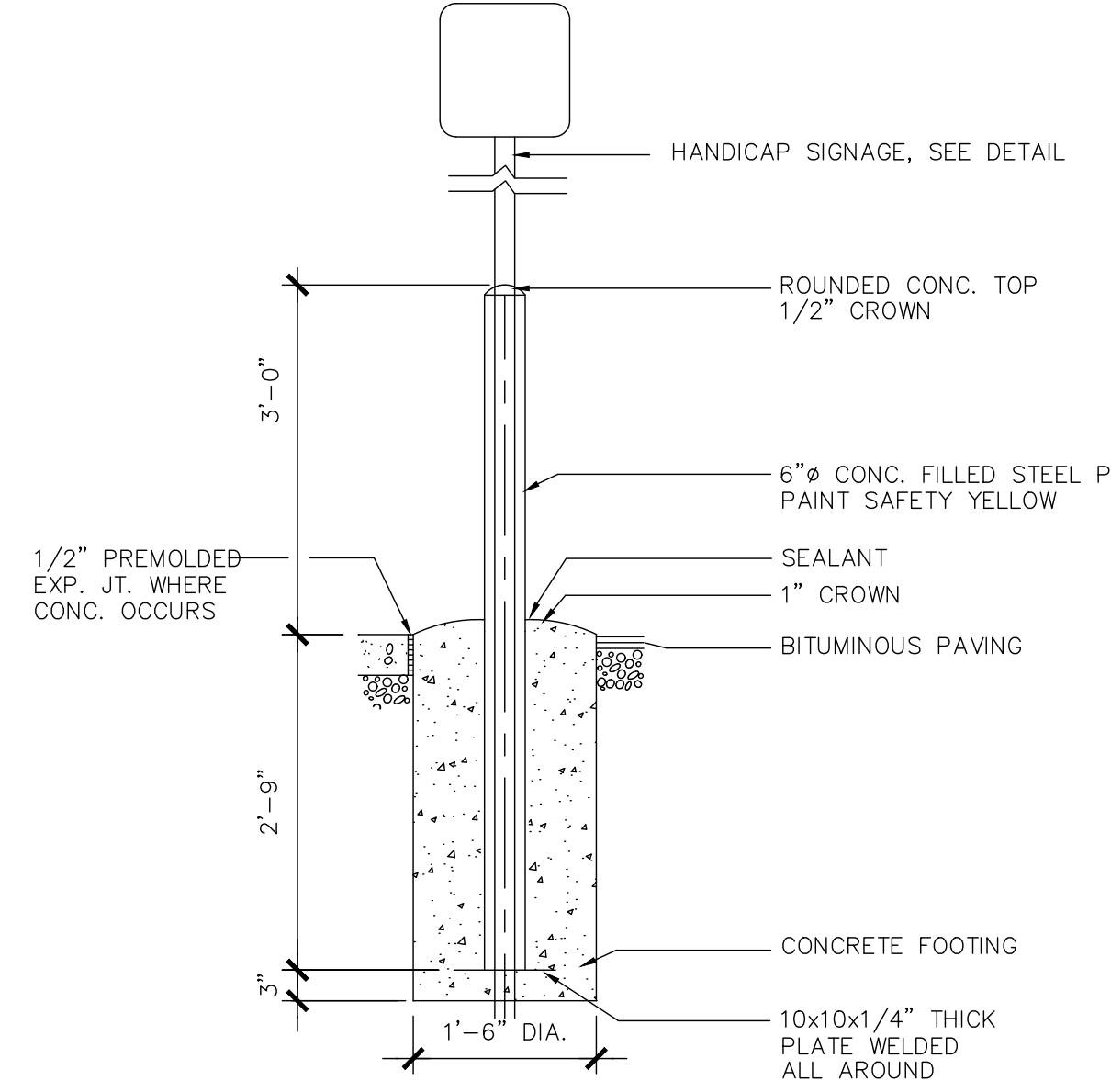
NO SCALE



- NOTES:
- MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630, FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE CURB AND FOR PLAIN CEMENT CONCRETE CURB GUTTER.
 - PLACE 3/4"-INCH PREMOLDED EXPANSION JOINT AT MAXIMUM INTERVALS OF 50'-0" AT ALL STRUCTURES /INLETS AND AT THE END OF EACH WORKDAY.
 - SEE RC-50 FOR PLAIN CEMENT CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURES, CONCRETE CURB CONSTRUCTED PER SECTION 641 "PLAIN CEMENT CONCRETE CURB GUTTER" PA DOT SPECIFICATION, 1970, AS AMENDED.

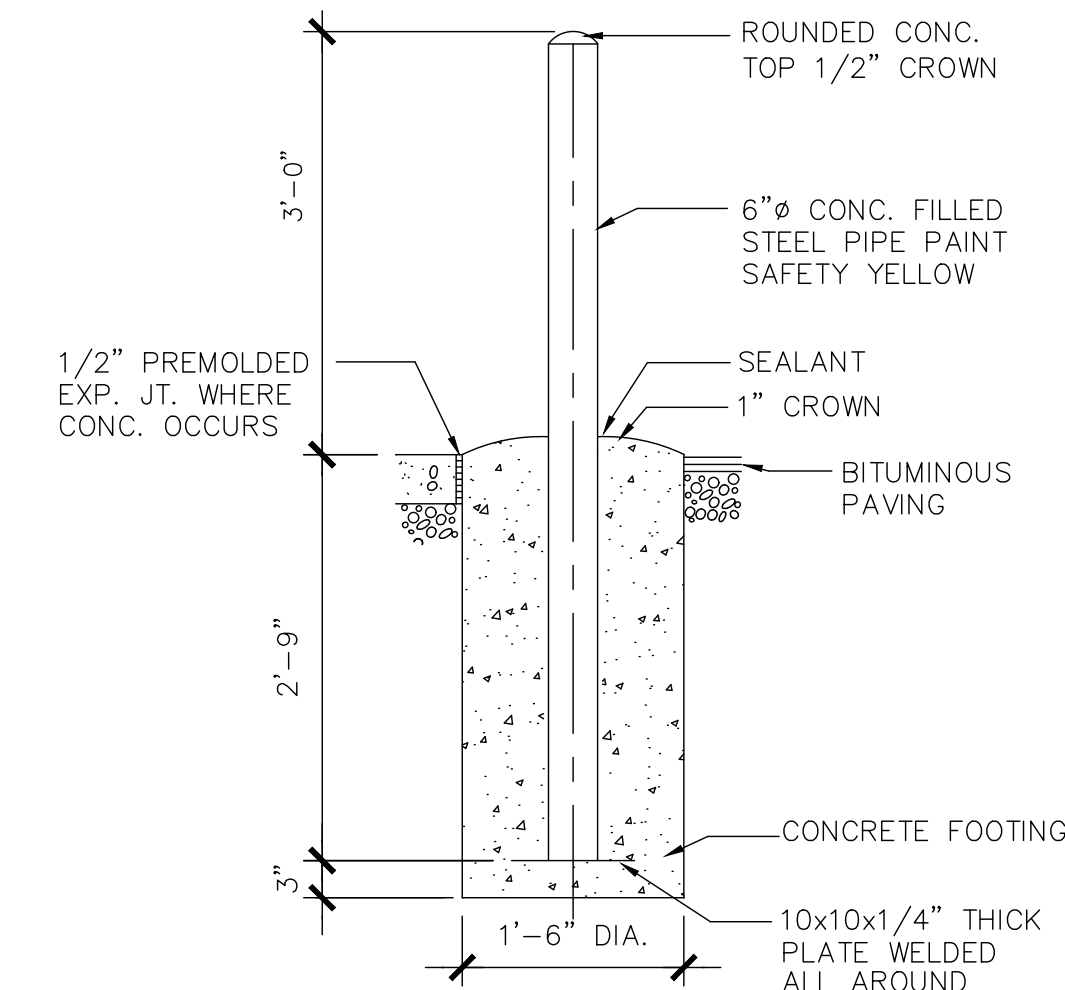
PLAIN CEMENT CONCRETE CURB

NO SCALE



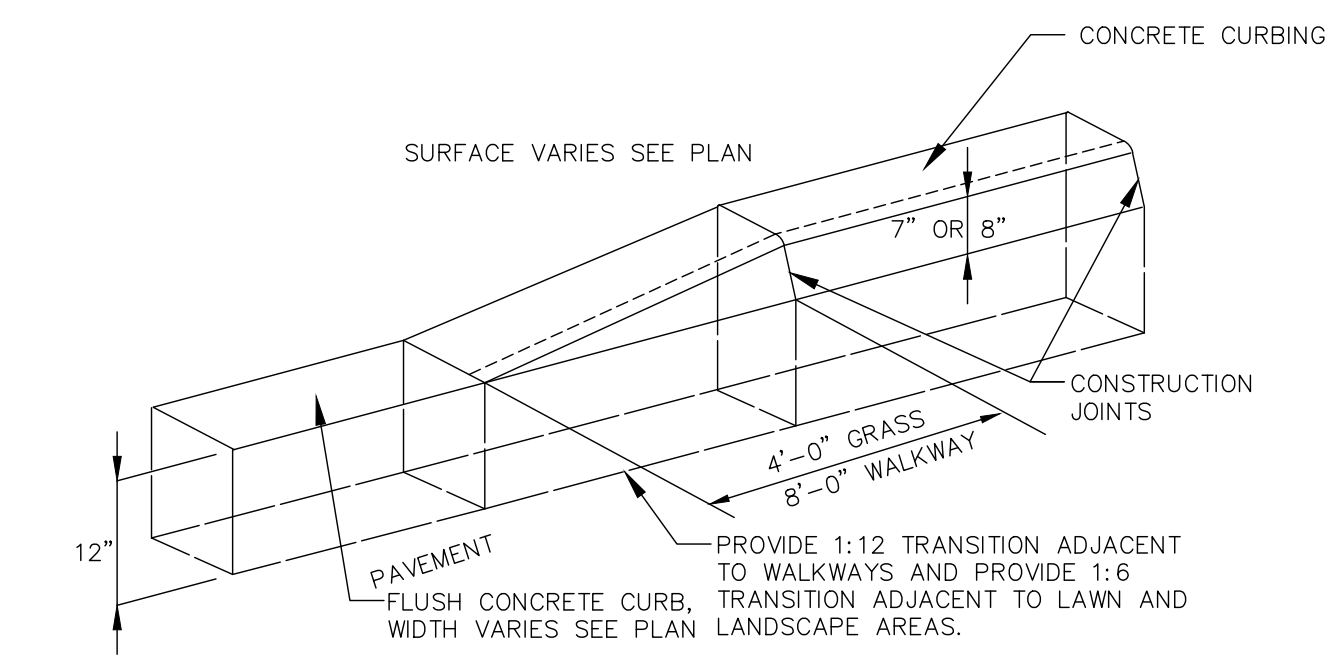
BOLLARD WITH HANDICAP SIGN DETAIL

NO SCALE



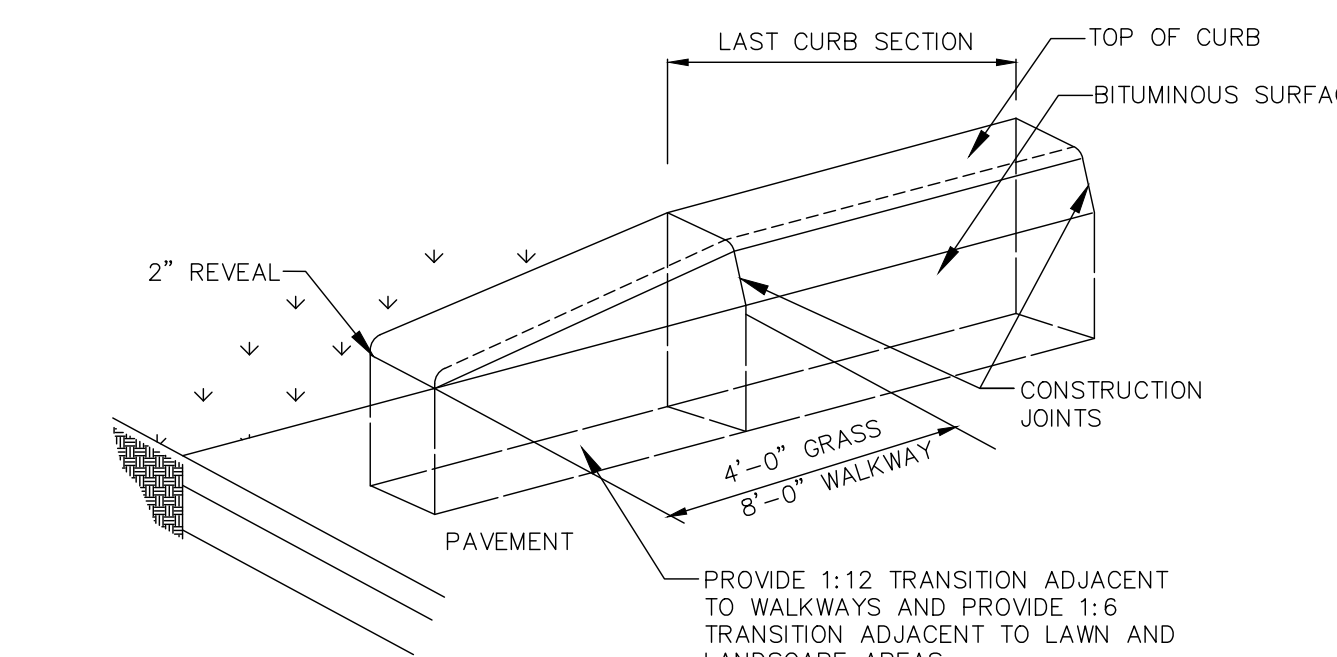
CONCRETE FILLED BOLLARD

NO SCALE



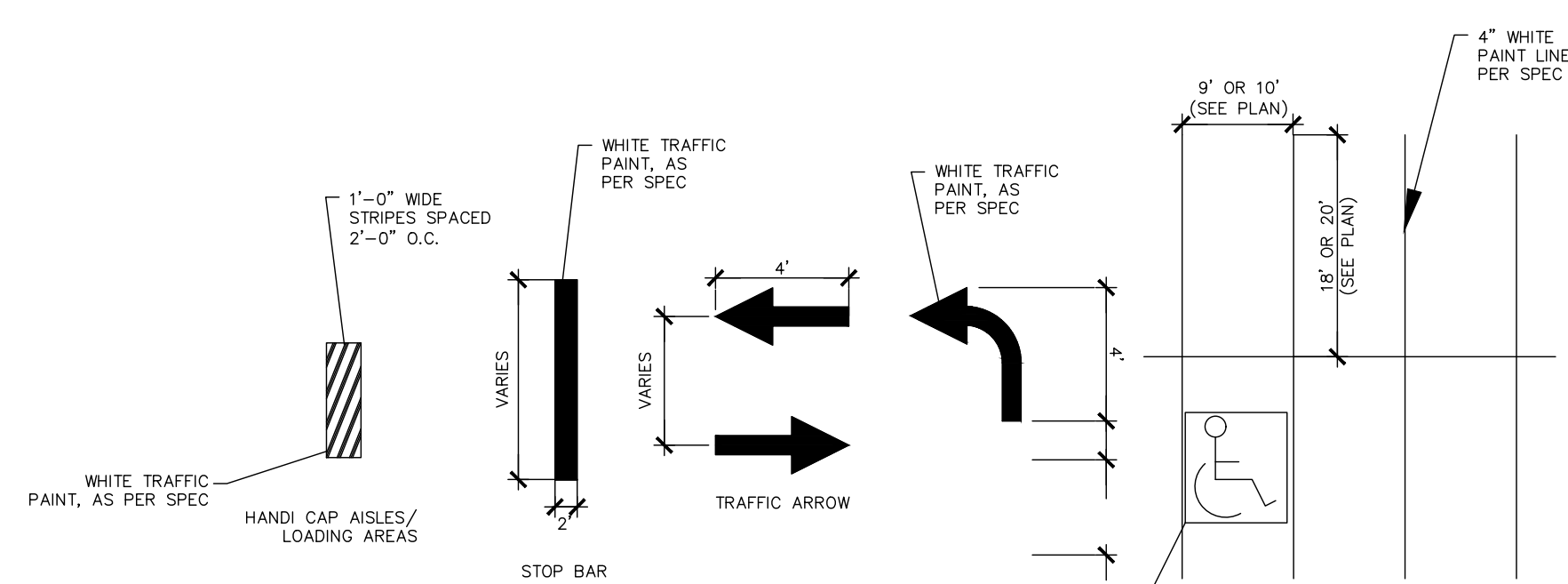
FLUSH CURB DETAIL

NO SCALE



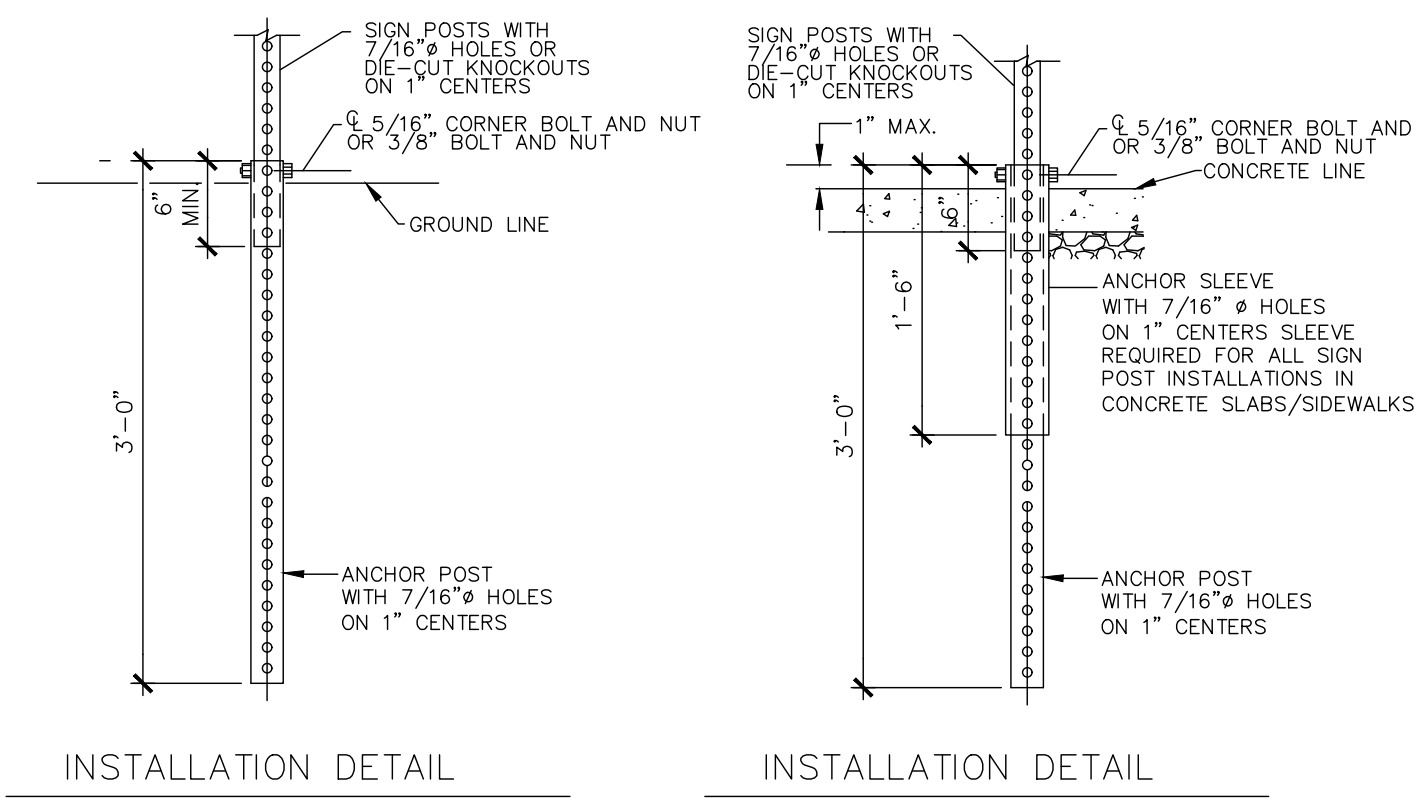
TYPICAL CURB END DETAIL

NO SCALE



PAVEMENT MARKING DETAIL

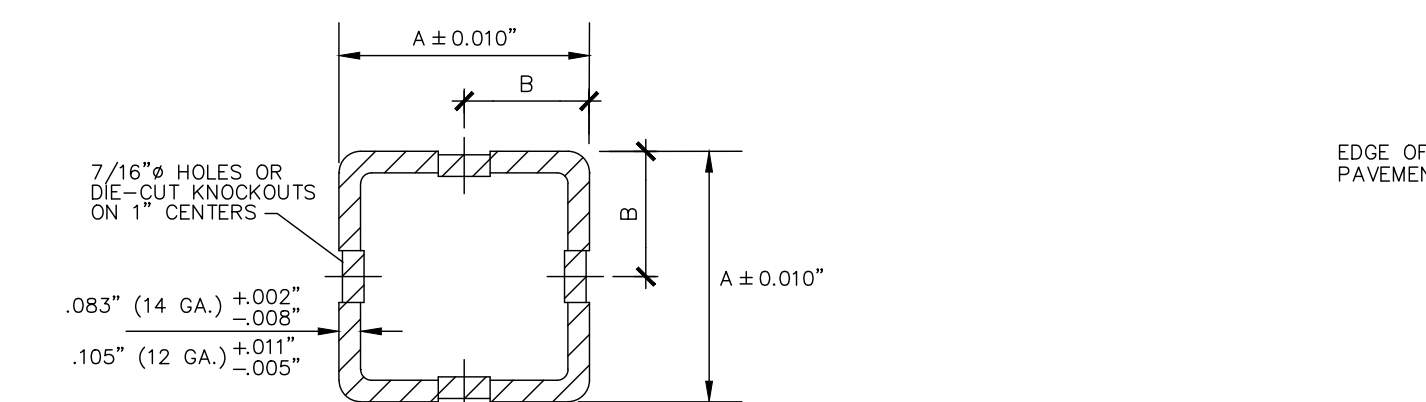
NO SCALE



INSTALLATION DETAIL (STANDARD) (CONCRETE)

POST SCHEDULE

SIGN SIZE	POST SIZE	SIGN SIZE	POST SIZE
8'x48"	1.75	30'x24"	1.75
12'x18"	1.75	30'x36"	1.75
12'x24"	1.75	30'x36"	2.0
12'x30"	1.75	36'x36"	2.0
12'x36"	1.75	36'x48"	2.0
12'x48"	1.75	36'x60"	2.25
18'x15"	1.75	36'x36"	2.0
18'x18"	1.75	36'x36"	2.25
18'x24"	1.75	36'x36"	2.25
18'x36"	1.75	48'x48"	2.25
18'x48"	2.0	48'x60"	FWO POSTS
21'x15"	1.75	60'x12"	FWO POSTS
24'x24"	1.75	60'x24"	FWO POSTS
24'x36"	2.0	60'x36"	FWO POSTS
24'x48"	2.0	60'x60"	FWO POSTS



SQUARE STEEL POSTS

12 AND 14 GAGE - 60 KSI

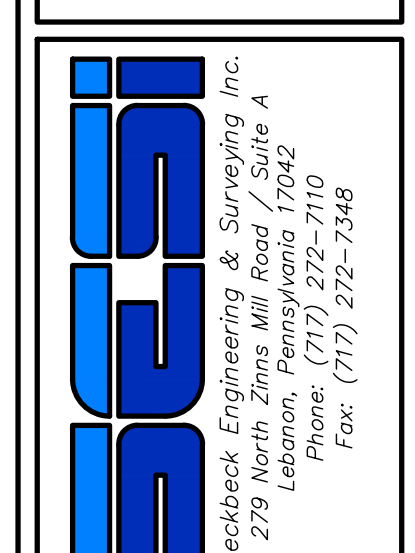
SIGN POST SIZE	DIMENSION	GAUGE	ANCHOR POST		ANCHOR SLEEVE*		SPICE SLEEVE		
			SIZE	DIMENSION	SIZE	DIMENSION	SIZE	DIMENSION	
1.75"	1 3/4"	14	2.0"	2"	1.25"	2 1/4"	1 1/8"	1.50"	1 1/2"
2.0"	2 1/4"	14	2.25"	2 1/4"	1.50"	2 1/2"	1 1/4"	1.75"	1 3/4"
2.25"	2 1/2"	14	2.50"	2 1/2"	1.75"	2 3/4"	1 1/2"	2.00"	2"

* ONLY REQUIRED FOR INSTALLATIONS IN CONCRETE.

SITE SIGN POST SIGNAGE DETAIL (TRAFFIC CONTROL SIGNS)

NO SCALE

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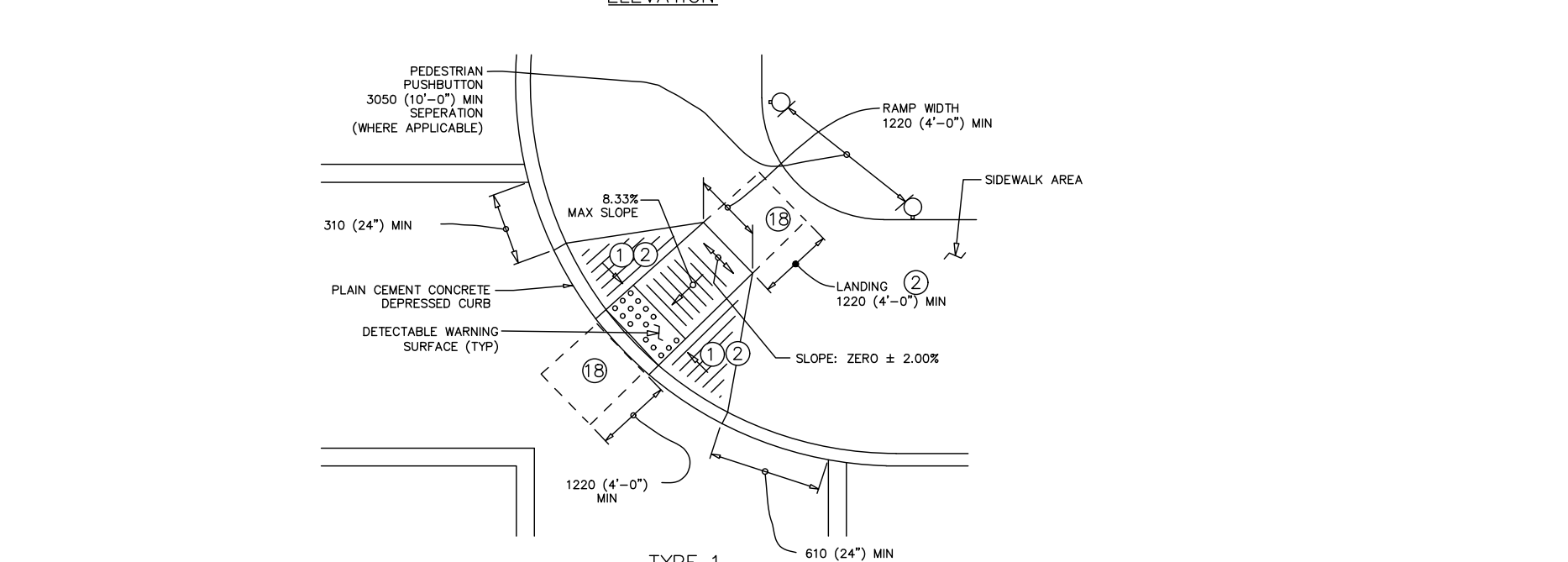
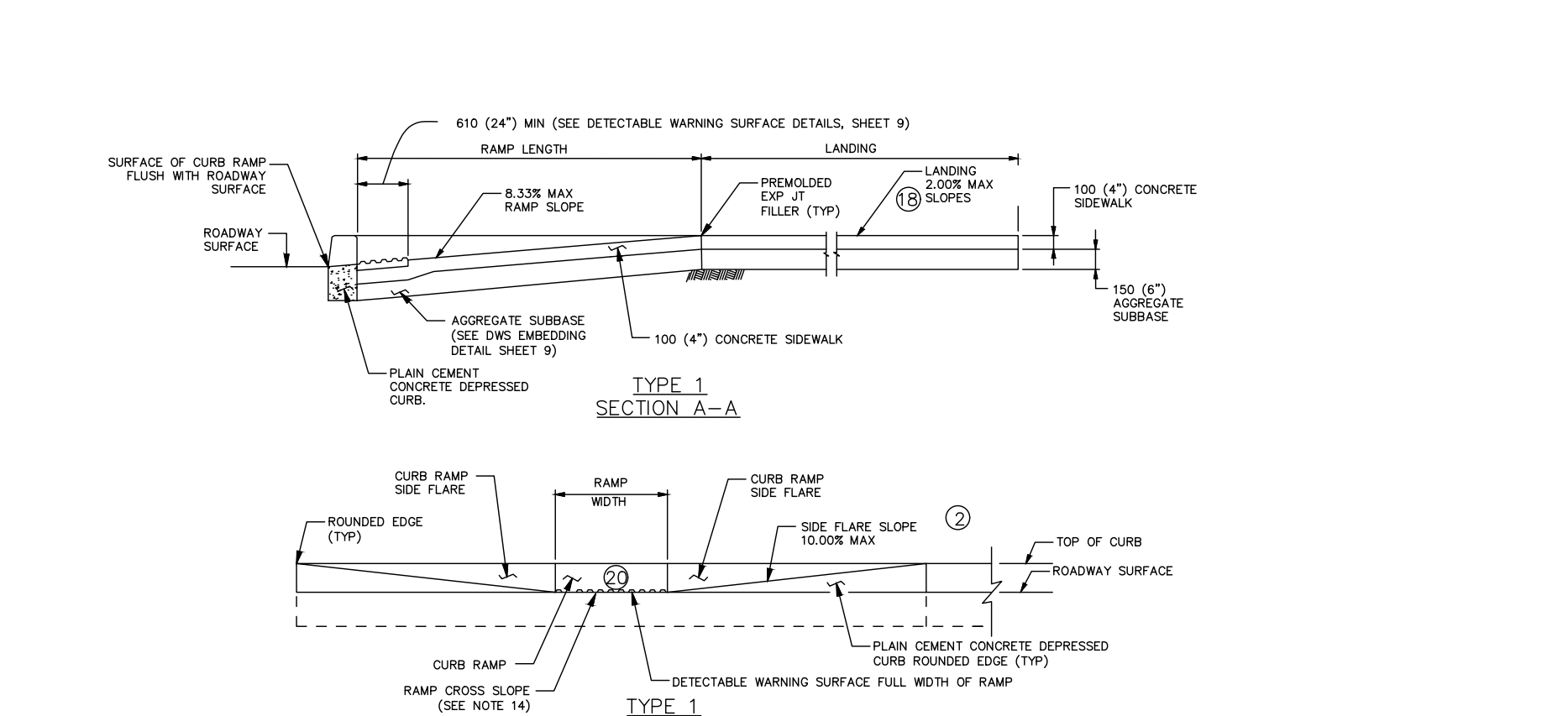
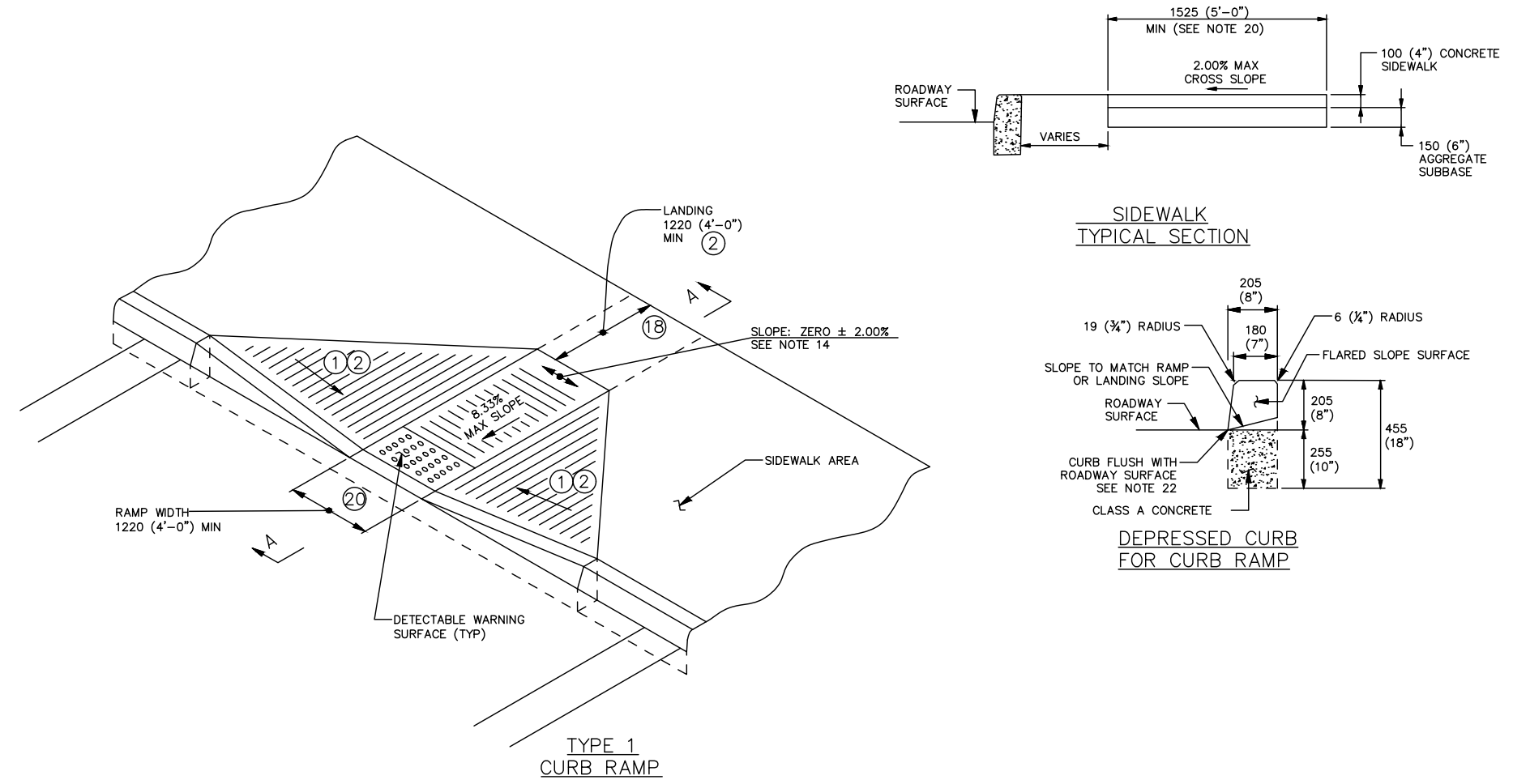


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DETAILS
11
OF 20 SHEETS

NOTES

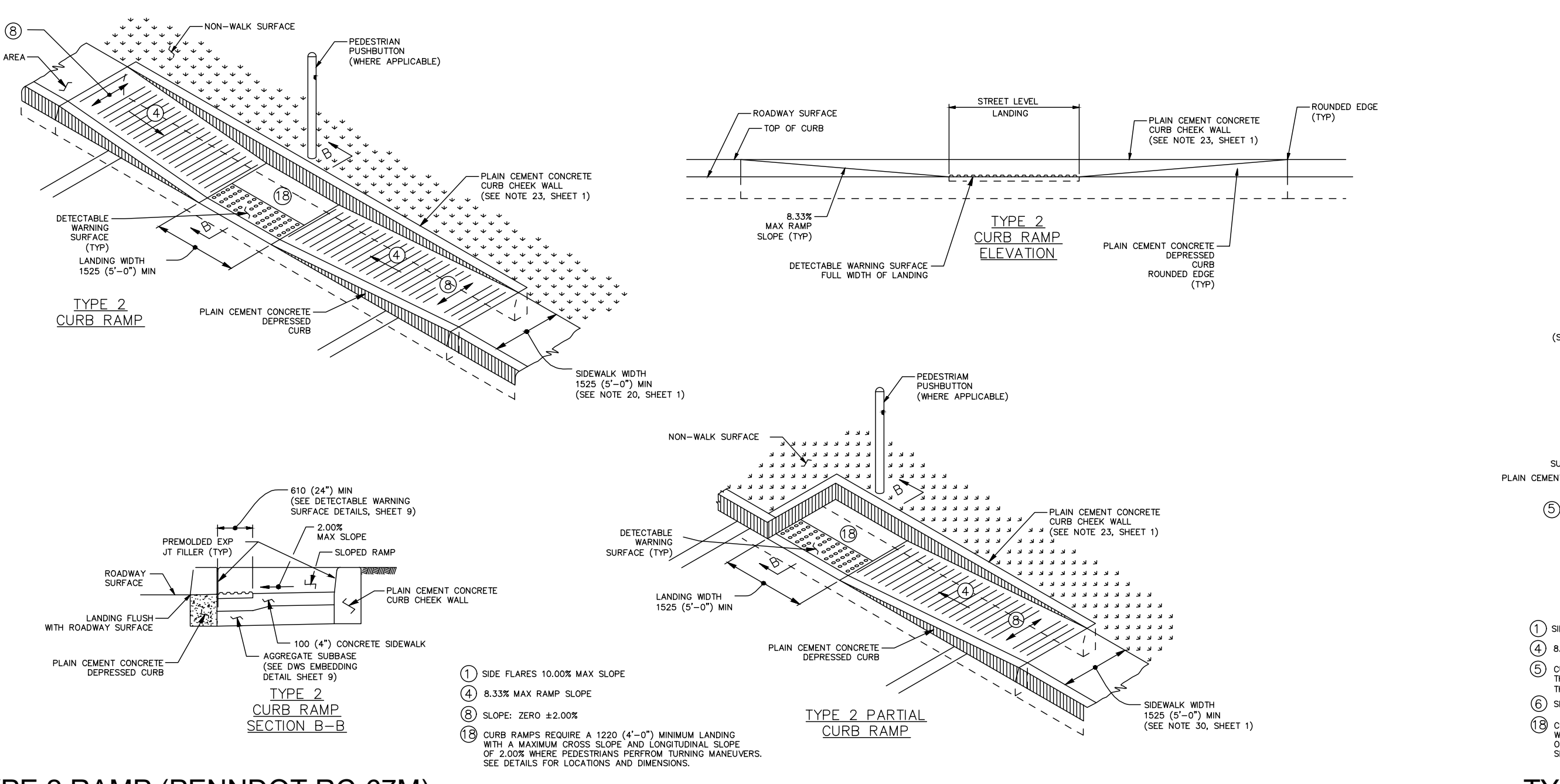
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 305, 409, 630, 676 AND 694.
2. PROVIDE EXPANSION JOINT MATERIAL 1/2" (3") THICK WHERE CURB RAMP JOINTS CROSS ANY ROAD PAVEMENT. SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
3. CONSTRUCT CURB RAMP WITH A MINIMUM 1/2" x 1/2" (4" x 4") CLEAR SPACE BEYOND THE CURB FACE, WITHIN THE WIDTH OF THE SIDEWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
5. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY CHAIR BRIDGING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE FLARE.
6. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 200 (8") HEIGHT.
7. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
8. TO AVOID CHANGING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB, RAMP LENGTH NOT TO EXCEED 4500 (15'-0"). ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
9. NON-WALK AREA IS AN OBSTRUCTED OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
10. THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED PLACEMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUD POLES, WHERE APPLICABLE, SP 45 NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
11. ALL DIMENSIONS ARE IN MILLIMETER UNLESS OTHERWISE NOTED.
12. US CUSTOMARY UNITS IN () PARENTHESES.
13. PROVIDE DETECTABLE WARNING SURFACE (DWS) 610 (24") MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL ACROSS FULL WIDTH OF RAMP AT THE CROSS BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT SIDEWALK SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
14. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSITIVE OR NEGATIVE AS INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
15. CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 0.00%.
16. PROVIDE FLARED SIDE FLARE SLOPES TO MATCH ROADWAY PROFILE. SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
17. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED 0.00% POSITIVE OR NEGATIVE. PROVIDE A SMOOTH TRANSITION IN THE DETAIL OR ROAD AT THE FOOT OF A CURB RAMP. LANDING OR BLENDED TRANSITION IS NOT TO EXCEED 0.00%. SEE SHEET 7 FOR DETAILS.
18. THE CONSTRUCTION STANDARDS DERIVED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
19. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. FOR EXAMPLE, A 150 (6") CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 1800 (6'-0") FOR A 1:21 (1:12) SLOPE.
20. SIDEWALK WIDTH MAY BE REDUCED TO 1200 (4'-0") WHEN PASSING AREAS 1525 x 1525 (5'-0" x 5'-0") ARE PROVIDED EVERY 81 METERS (260').
21. THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
22. CONSTRUCT DEPRESSED CURB FOR CURB RAMP FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLUSH LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT POONDING. FOR LEVEL LANDINGS BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE.
23. CHECK WALLS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRADE GRASS AREAS OR OTHER NON-WALK AREAS AT 3:1 (1:3) MAXIMUM. DO NOT INSTALL CHECK WALLS THAT INTERSECT THE PEDESTRIAN ACCESS ROUTE.
24. CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DEPRESSED CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
25. FOR CURB RAMP THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (INCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
26. A 1220 (4'-0") MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMP AND SIDEWALKS.



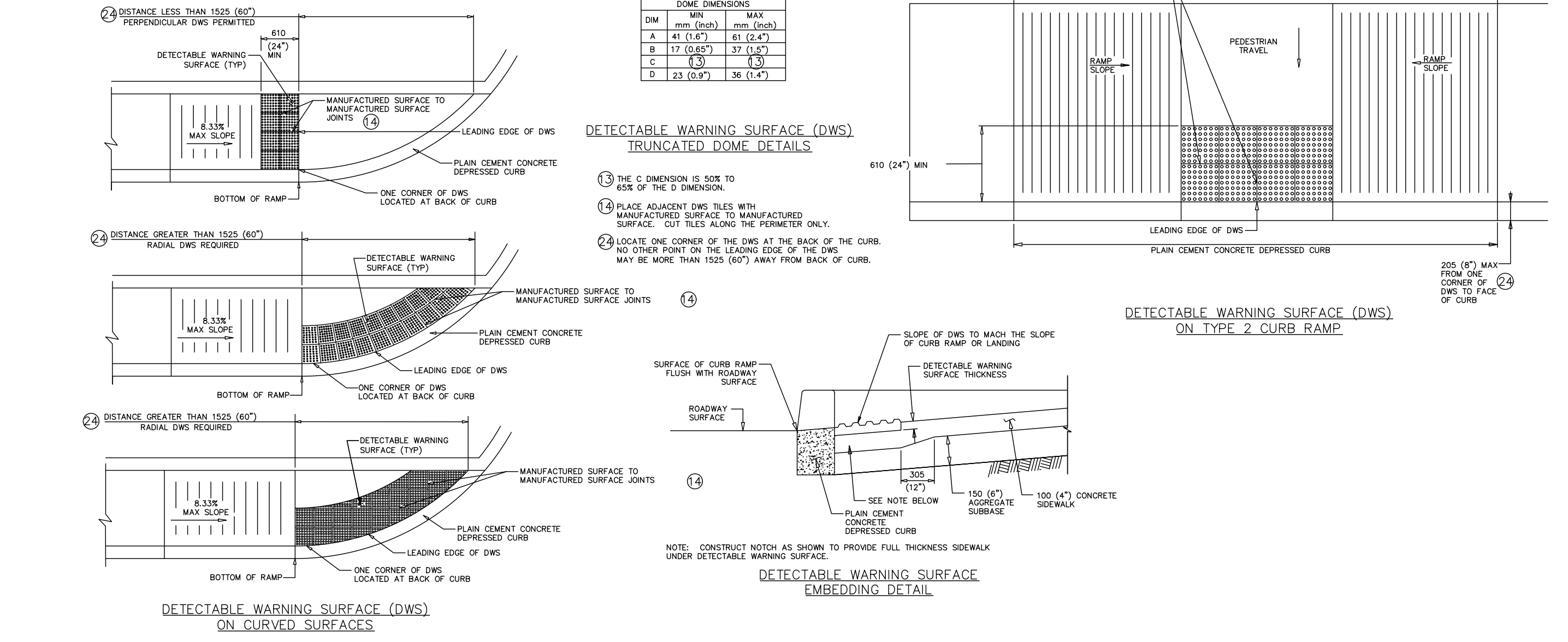
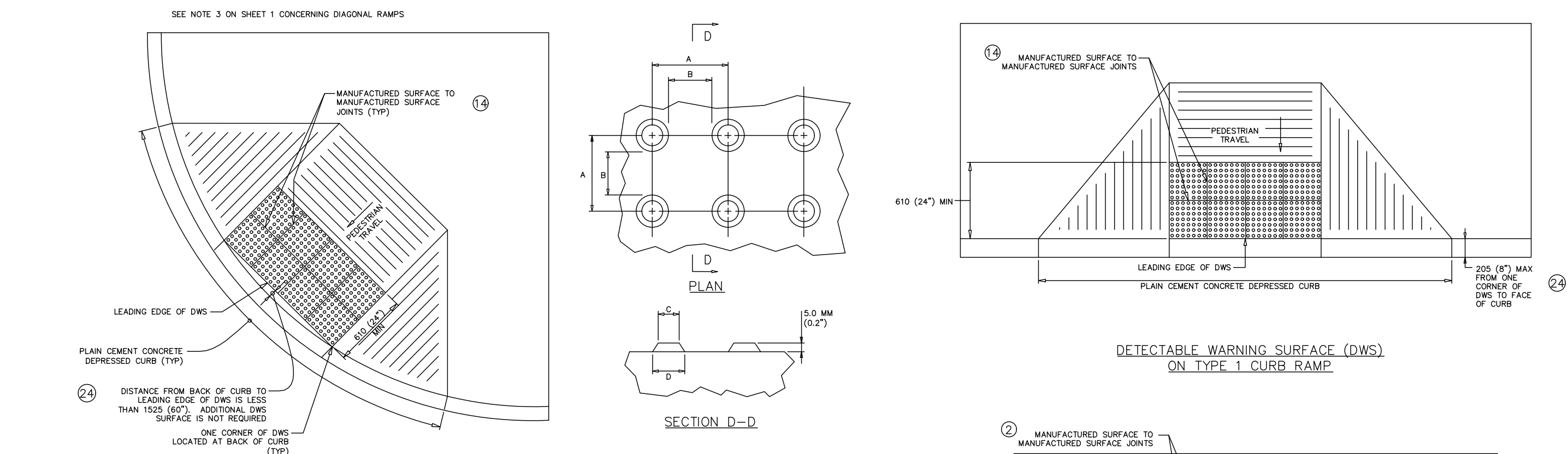
PERCENT SLOPE	EQUIVALENT SLOPE
10.00%	1:6.1 (1:10)
8.33%	1:12 (1:12)
7.14%	1:14 (1:14)
5.00%	2:1 (1:20)
2.00%	50:1 (1:50)
1.00%	100:1 (1:100)

EQUIVALENT SLOPES

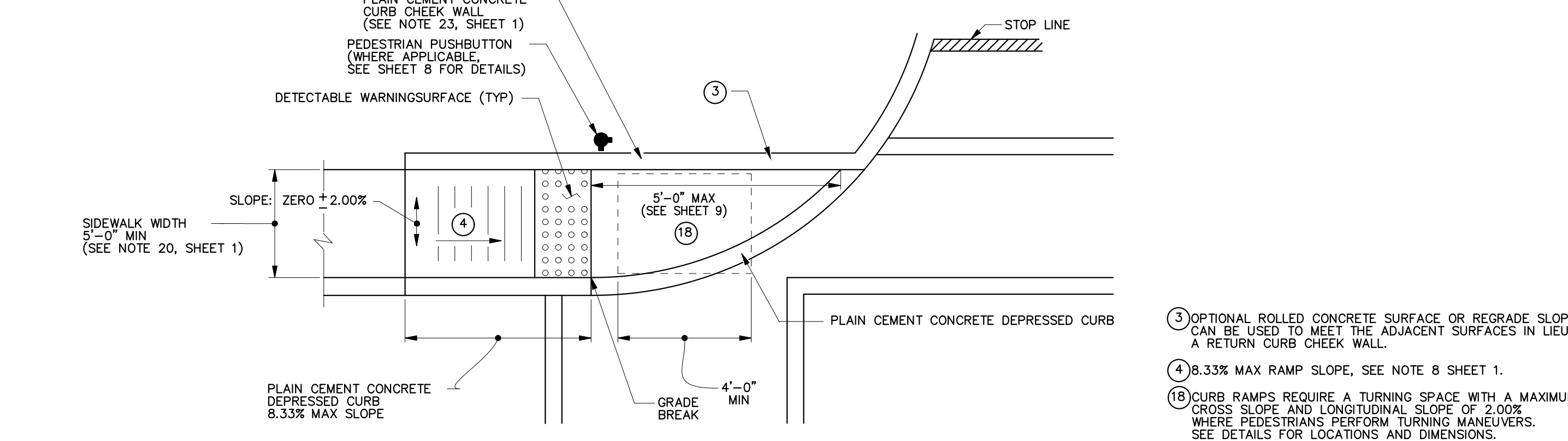
TYPE 1 RAMP DETAIL (PENNDOT RC-67M)
NO SCALE



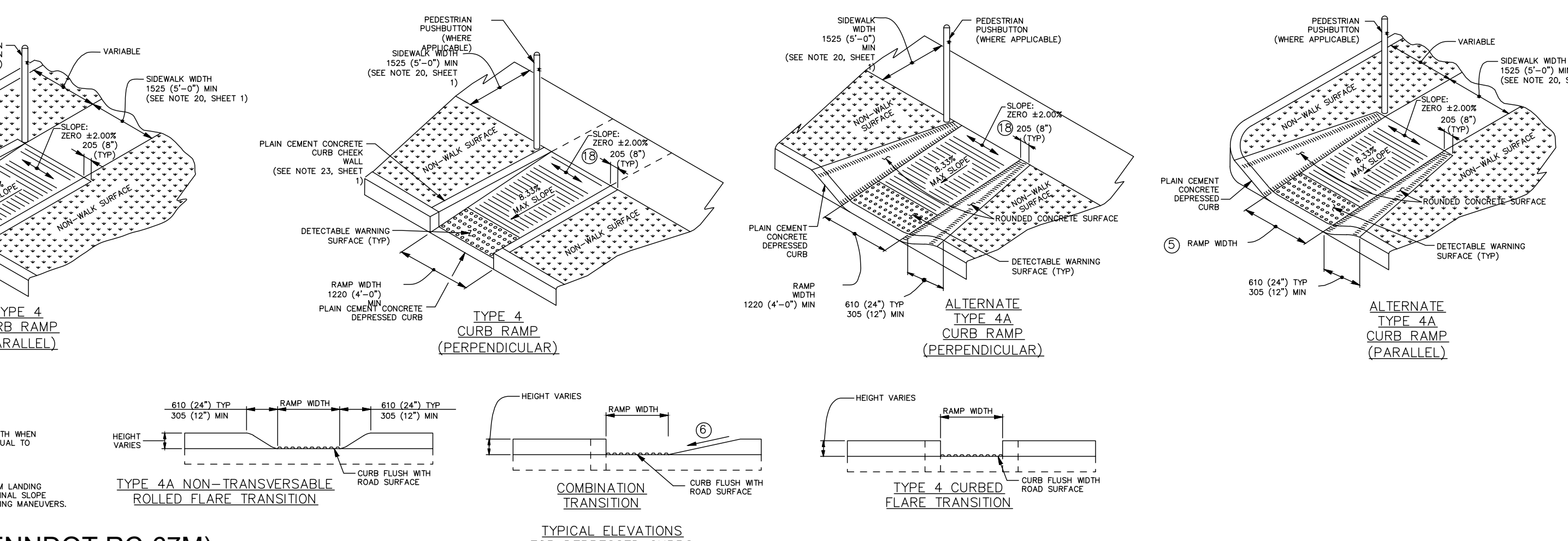
TYPE 2 RAMP (PENNDOT RC-67M)
NO SCALE



DETECTABLE WARNING SURFACE DETAIL (PENNDOT RC-67M)
NO SCALE



TYPE 1A CURB RAMP
NOT TO SCALE



TYPE 4 RAMP (PENNDOT RC-67M)
NO SCALE

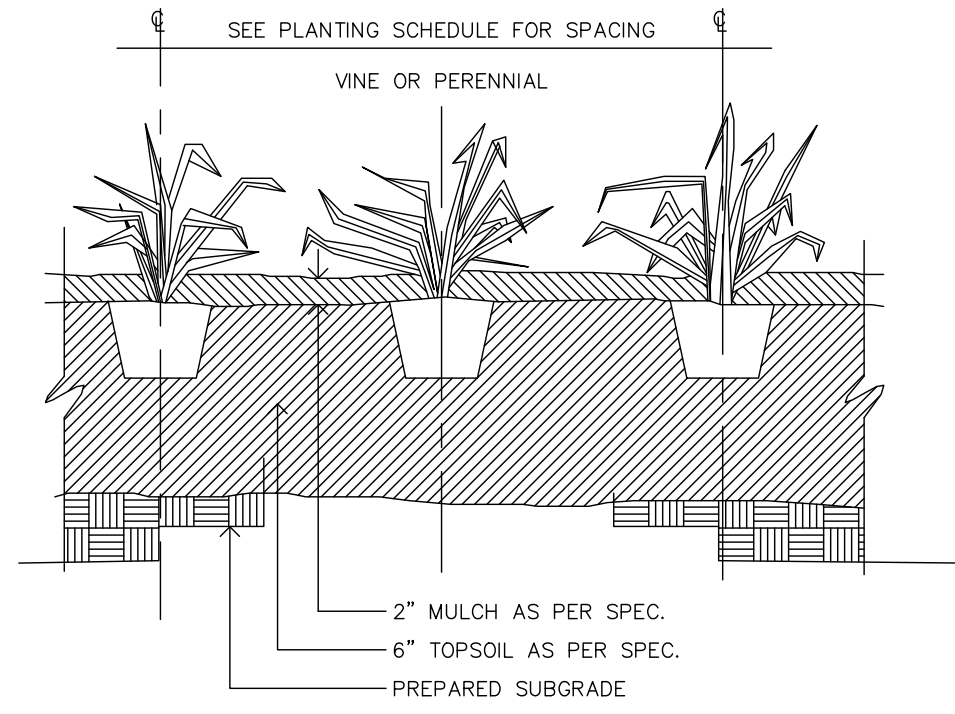
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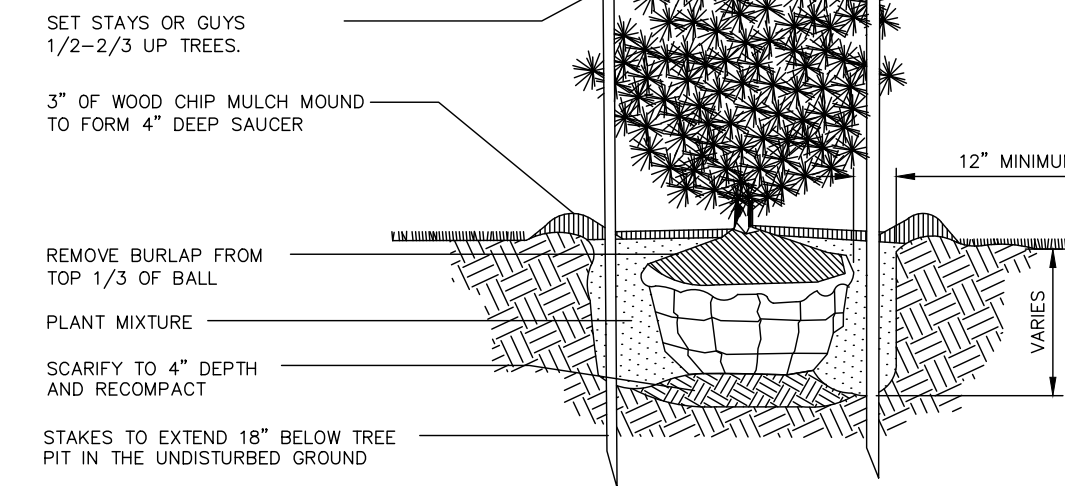


GROUND COVER PLANTING DETAIL

NO SCALE

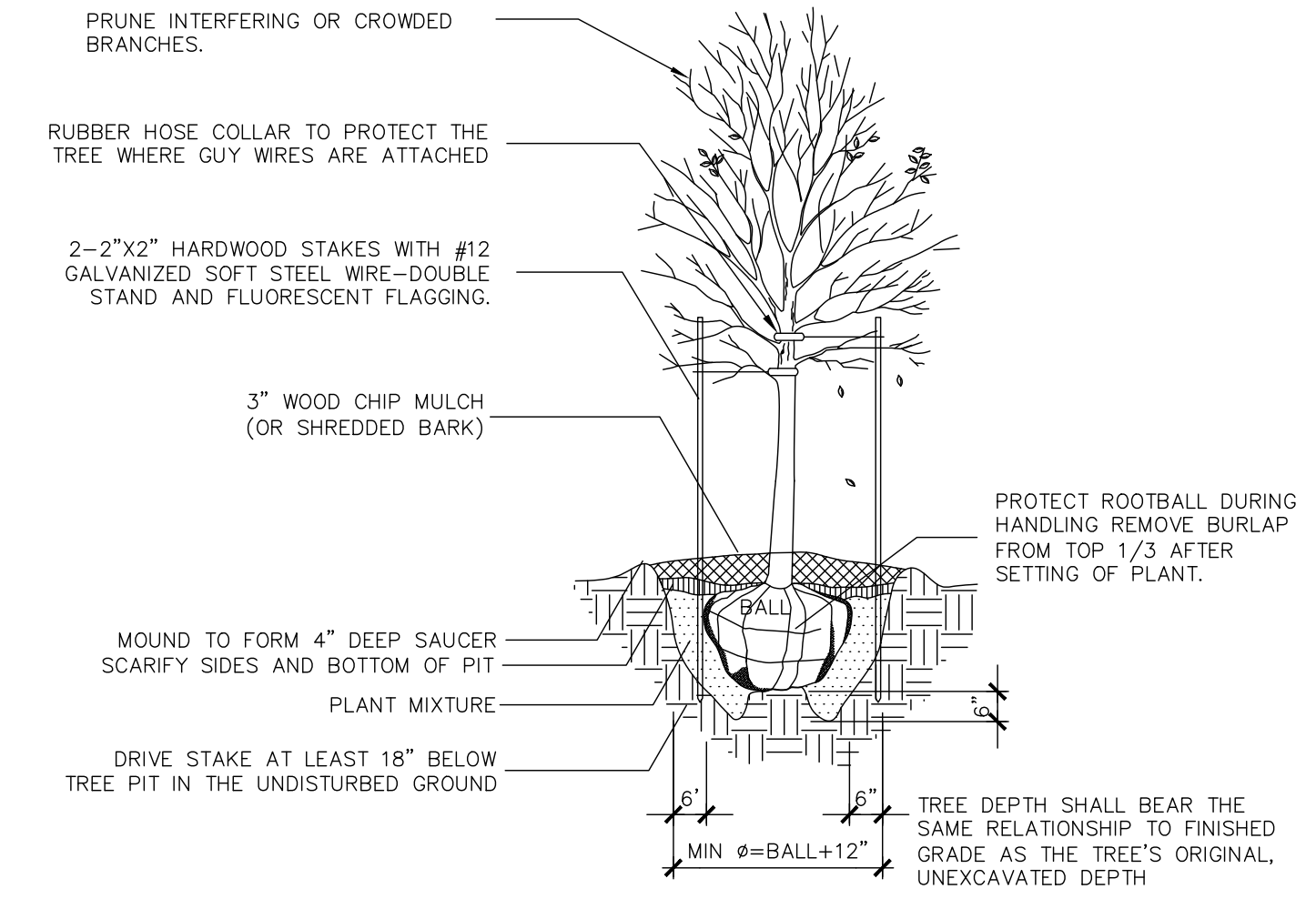
NOTES:

1. STAKE ALL EVERGREEN TREES UNDER 12" GUY TREES 12" AND OVER FOR DECIDUOUS TREES.
2. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.
3. NEVER CUT LEADERS.
4. PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES.



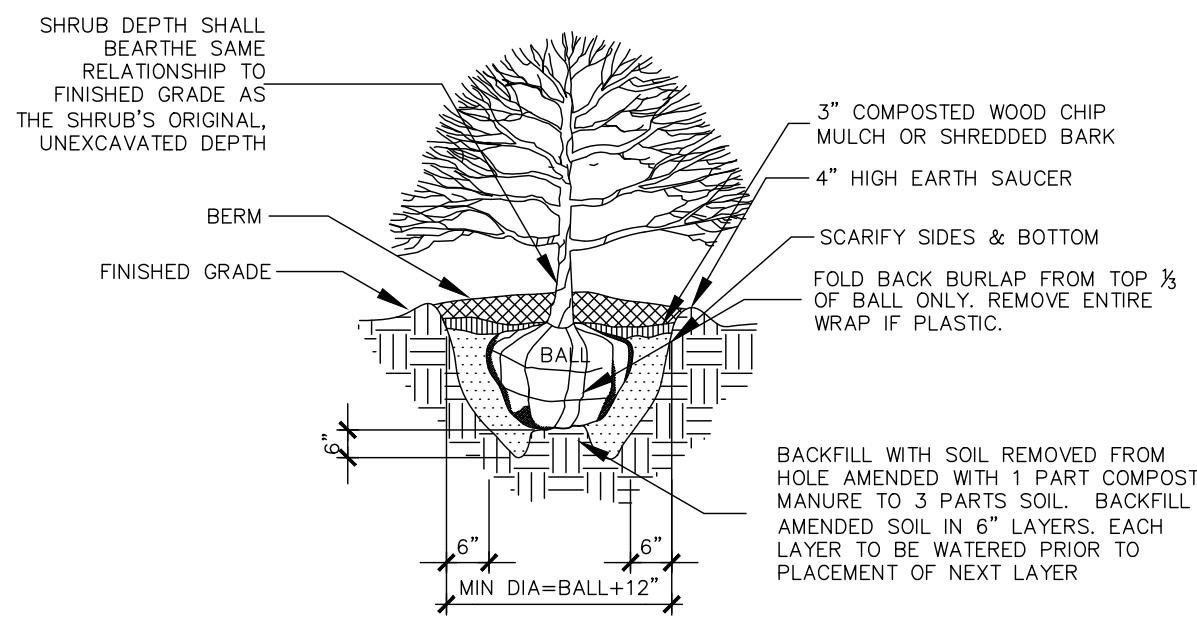
EVERGREEN TREE PLANTING DETAIL

NO SCALE



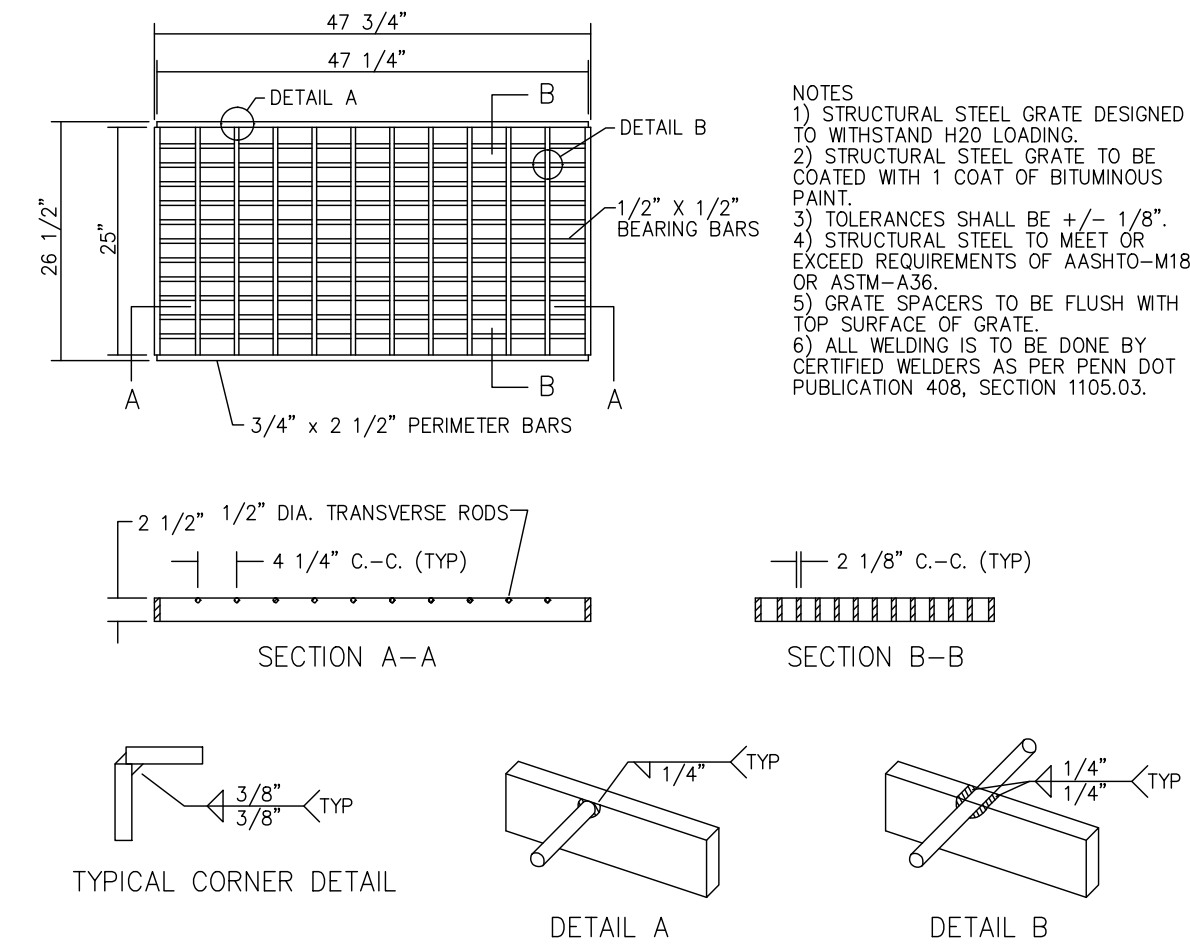
DECIDUOUS TREE PLANTING DETAIL

NO SCALE



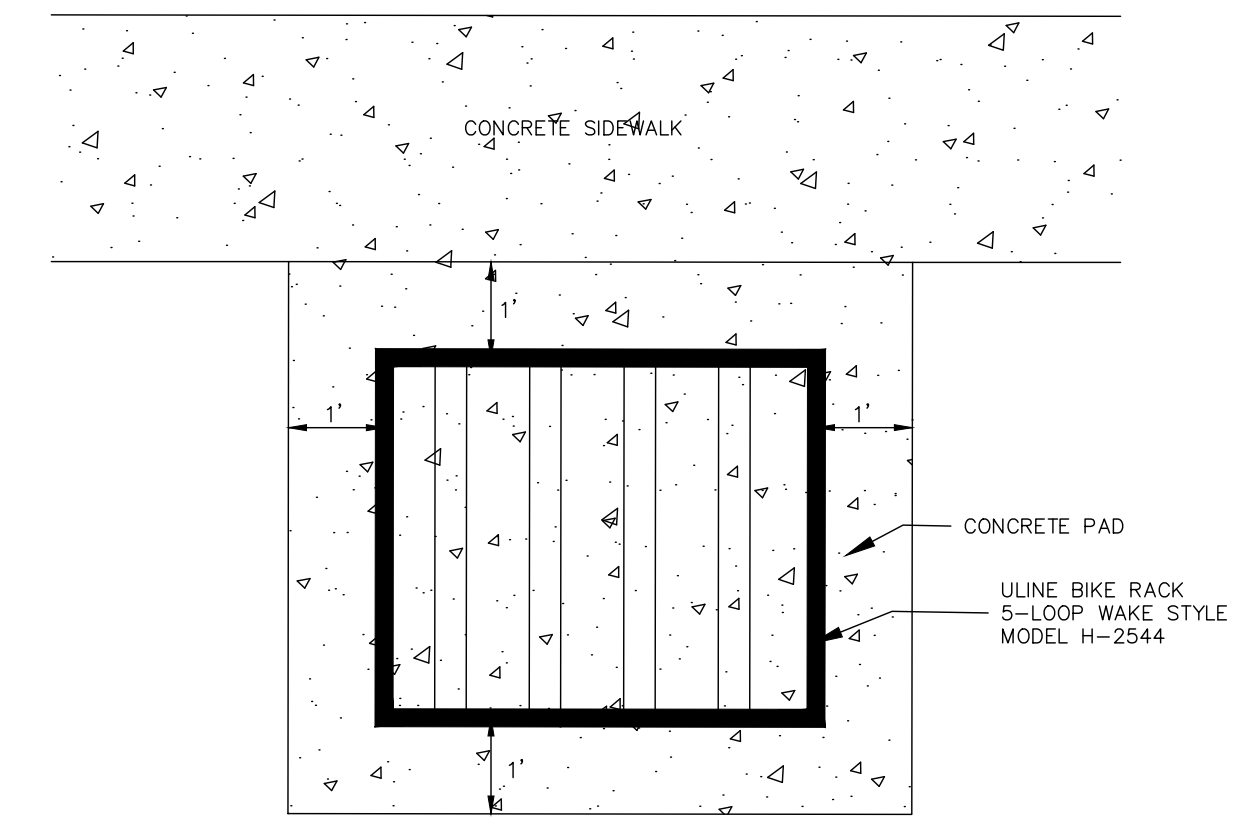
SHRUB PLANTING DETAIL

NO SCALE



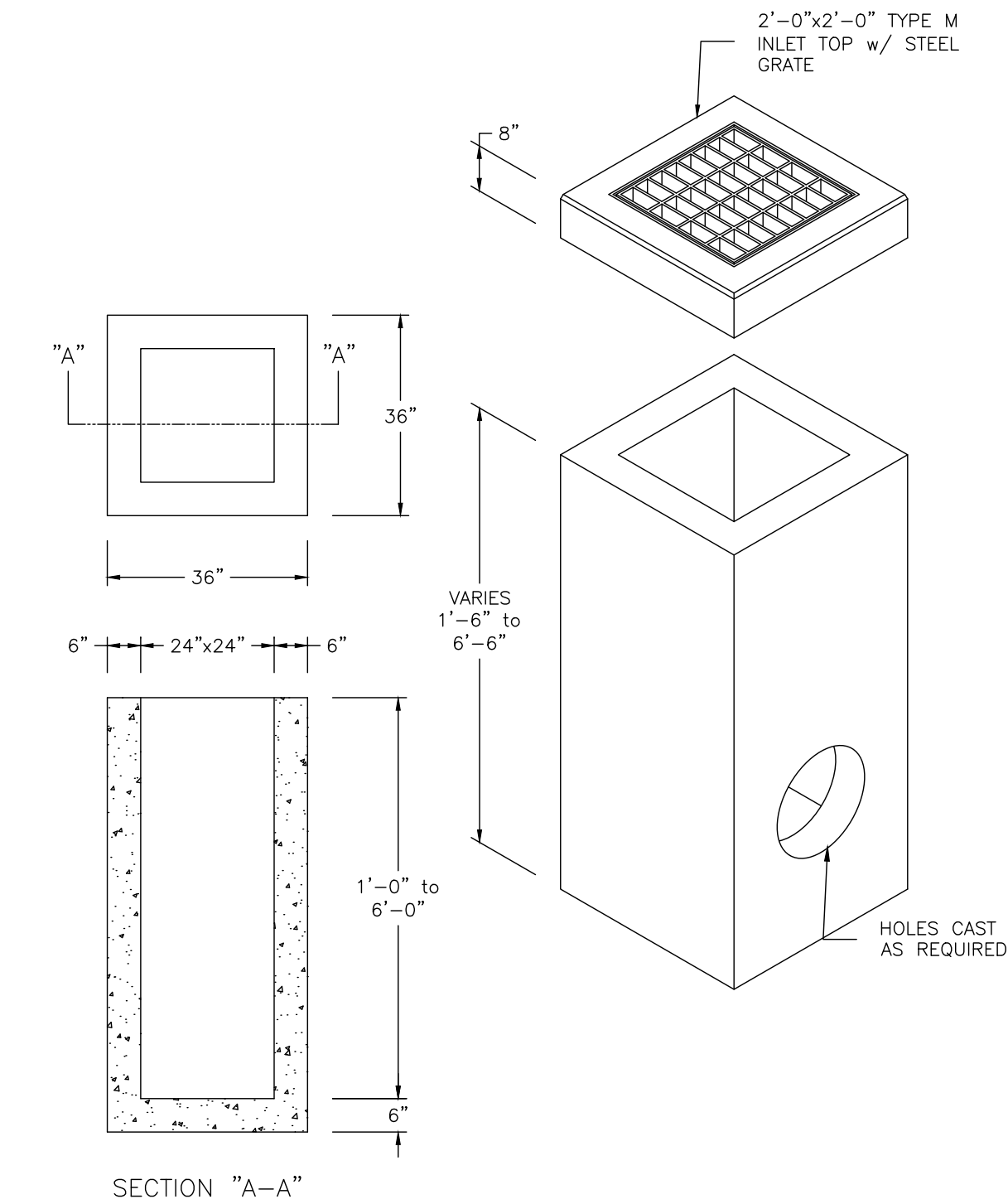
BICYCLE SAFE GRATE (2X4 INLET)

NO SCALE



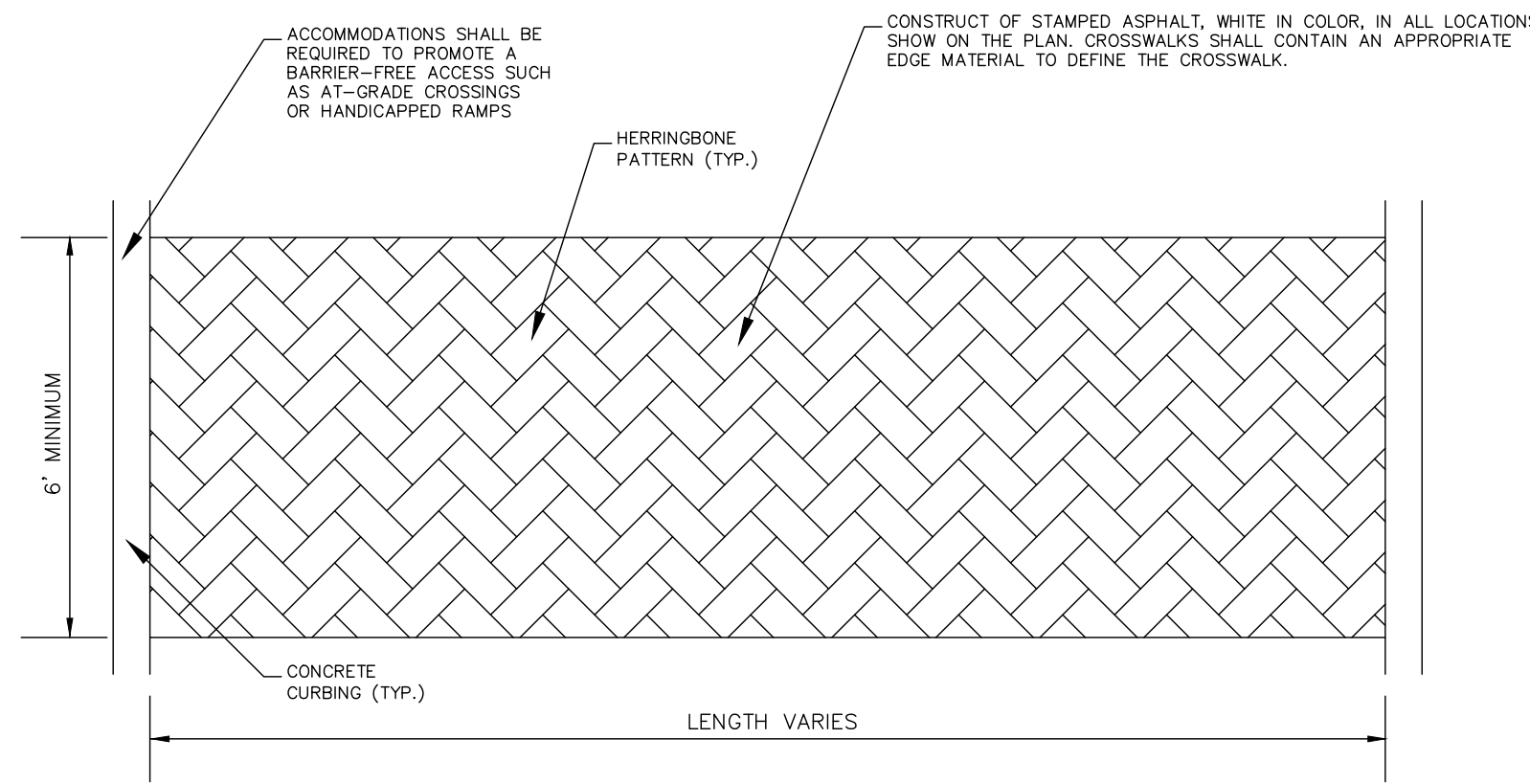
TYPICAL BIKE RACK DETAIL

NO SCALE



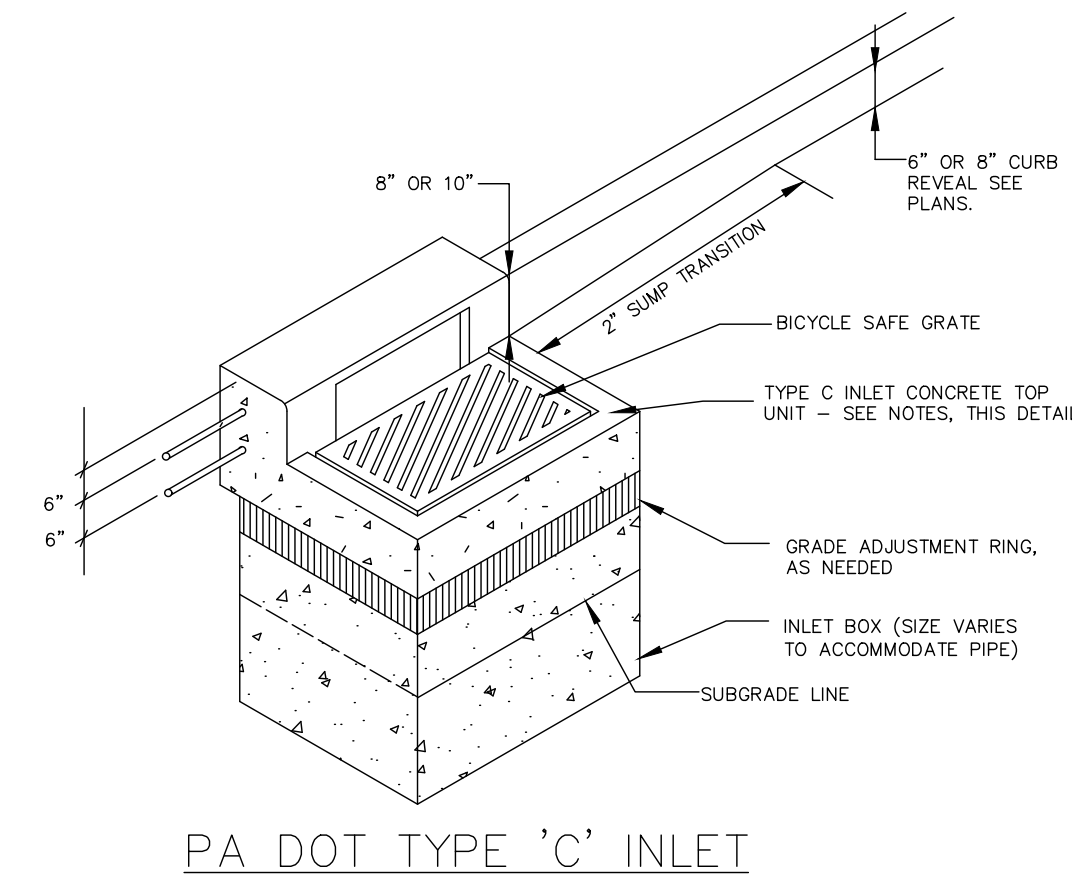
2' X 2' TYPE "M" INLET

NO SCALE

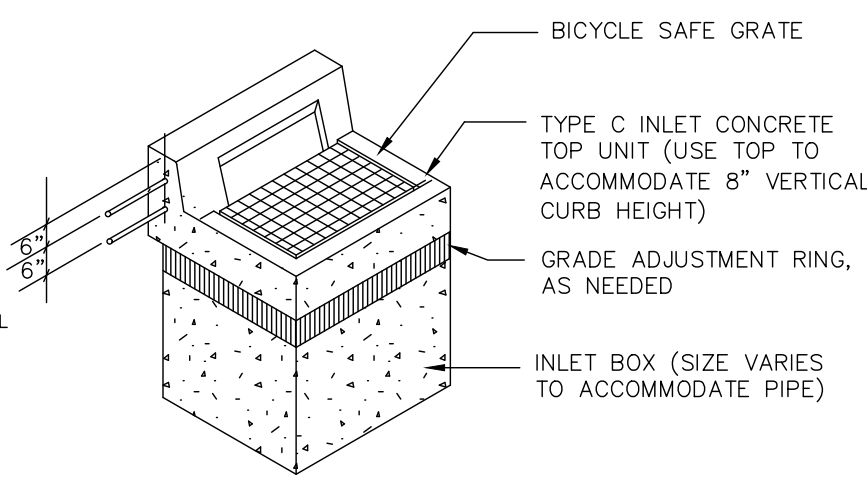


CROSSWALK DETAIL

NO SCALE



PA DOT TYPE 'C' INLET

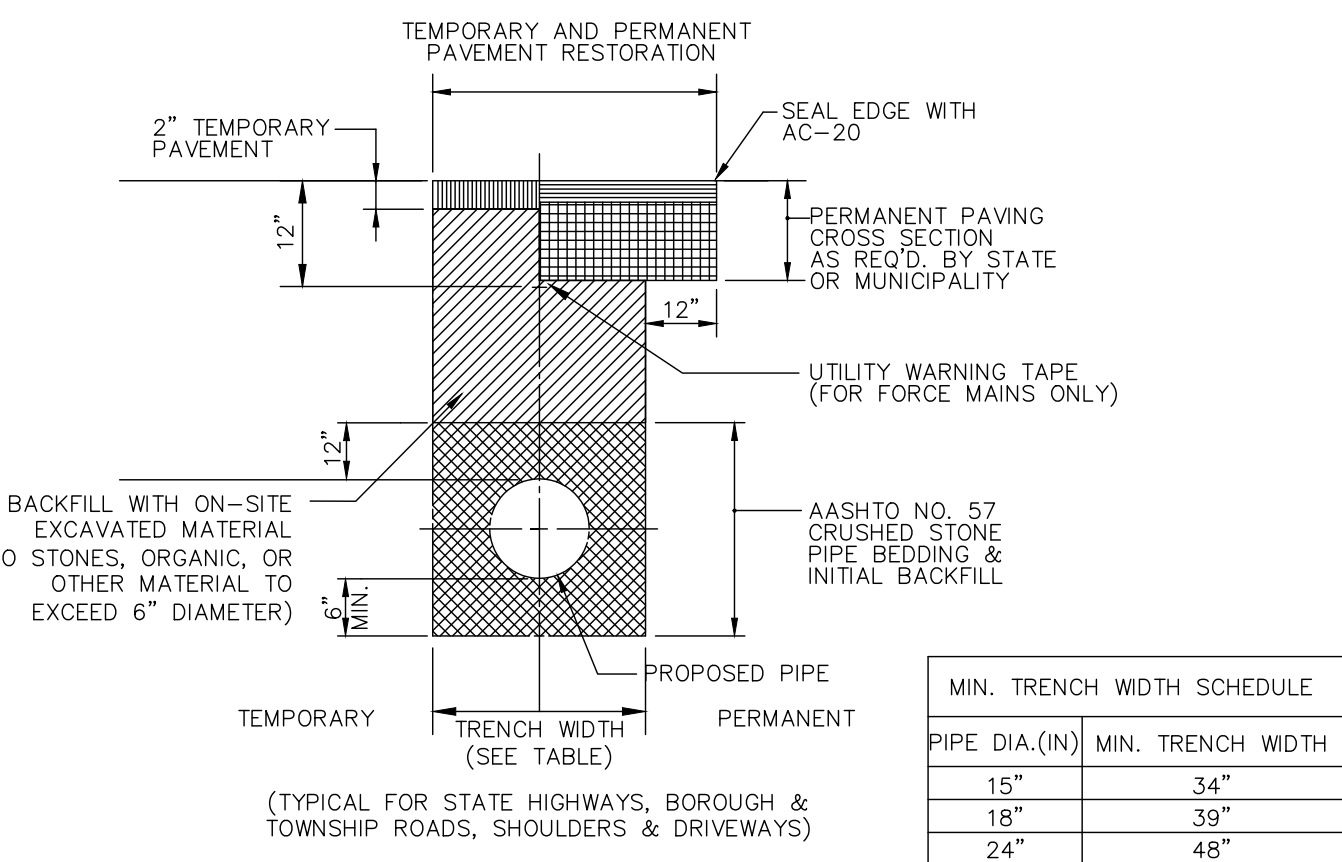


TYPE "C" INLET

NO SCALE

INLET NOTES:

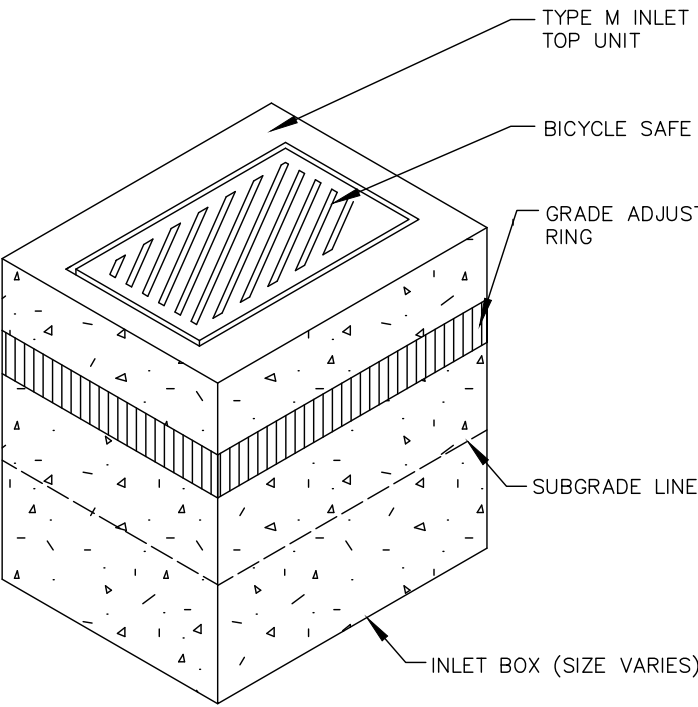
1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PA DOT RC STANDARDS. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
2. PIPES SHALL BE LOCATED AS REQUIRED.
3. GRADE ADJUSTMENT RINGS MAY BE OF MASONRY OR PRECAST CONCRETE CONSTRUCTION, AS APPROVED.
4. INLET BOX SHALL BE PRECAST CONCRETE.
5. ALL STORMWATER INLET BOXES, CONCRETE TOP UNITS, AND INLET GRATES AND FRAMES SHALL CONFORM TO CURRENT PENN DOT RC STANDARDS.



STORM SEWER TRENCH DETAIL

NO SCALE

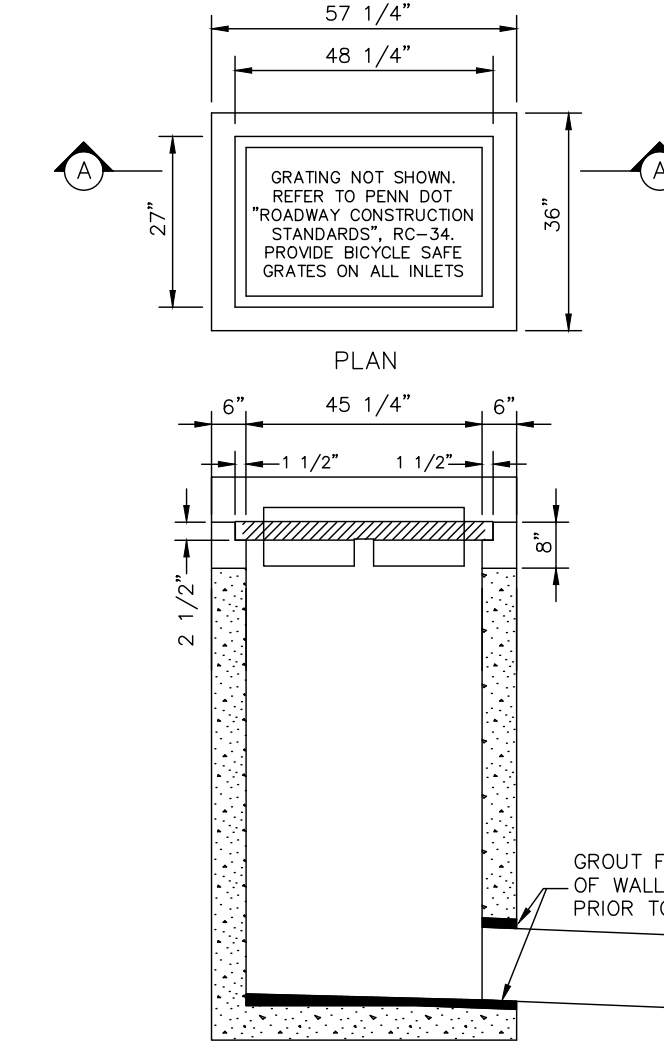
MIN. TRENCH WIDTH SCHEDULE	
PIPE DIA.(IN)	MIN. TRENCH WIDTH
15"	34"
18"	39"
24"	48"



PA DOT TYPE 'M' INLET

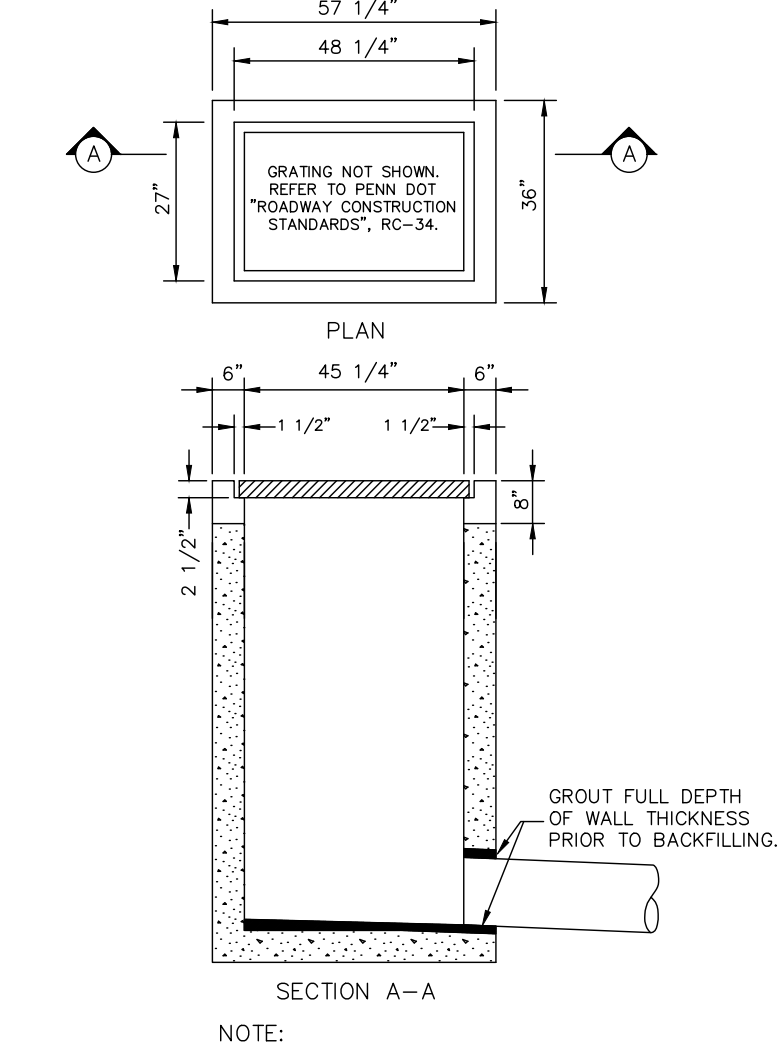
PA DOT TYPE STORM WATER INLETS (TYPE "C", AND TYPE "M")

NO SCALE



TYPE "C" INLET X-SECTION

NO SCALE



TYPE "M" INLET X-SECTION

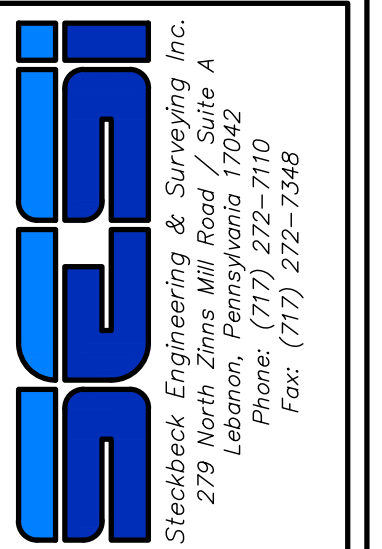
NO SCALE

REVISION	DATE	BY
REVISION PER LCPD LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER NCT ZONING OFFICER LETTER DATED 09/19/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/16/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMH/MFL

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

BYLER REAL ESTATE HOLDINGS LLC

located in
North Cornwall Township
Lebanon County, Pennsylvania

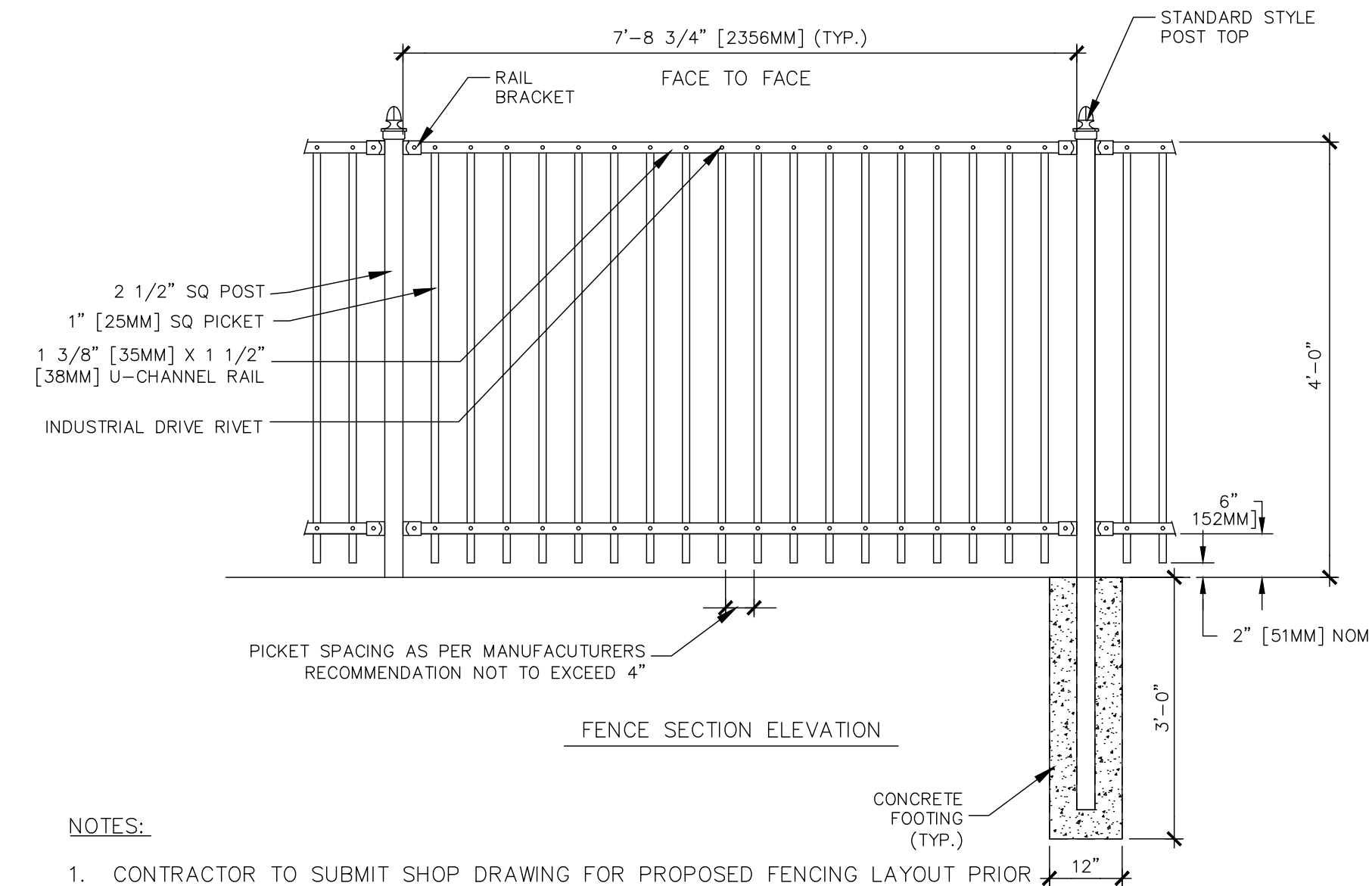


FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001

DETAILS

13

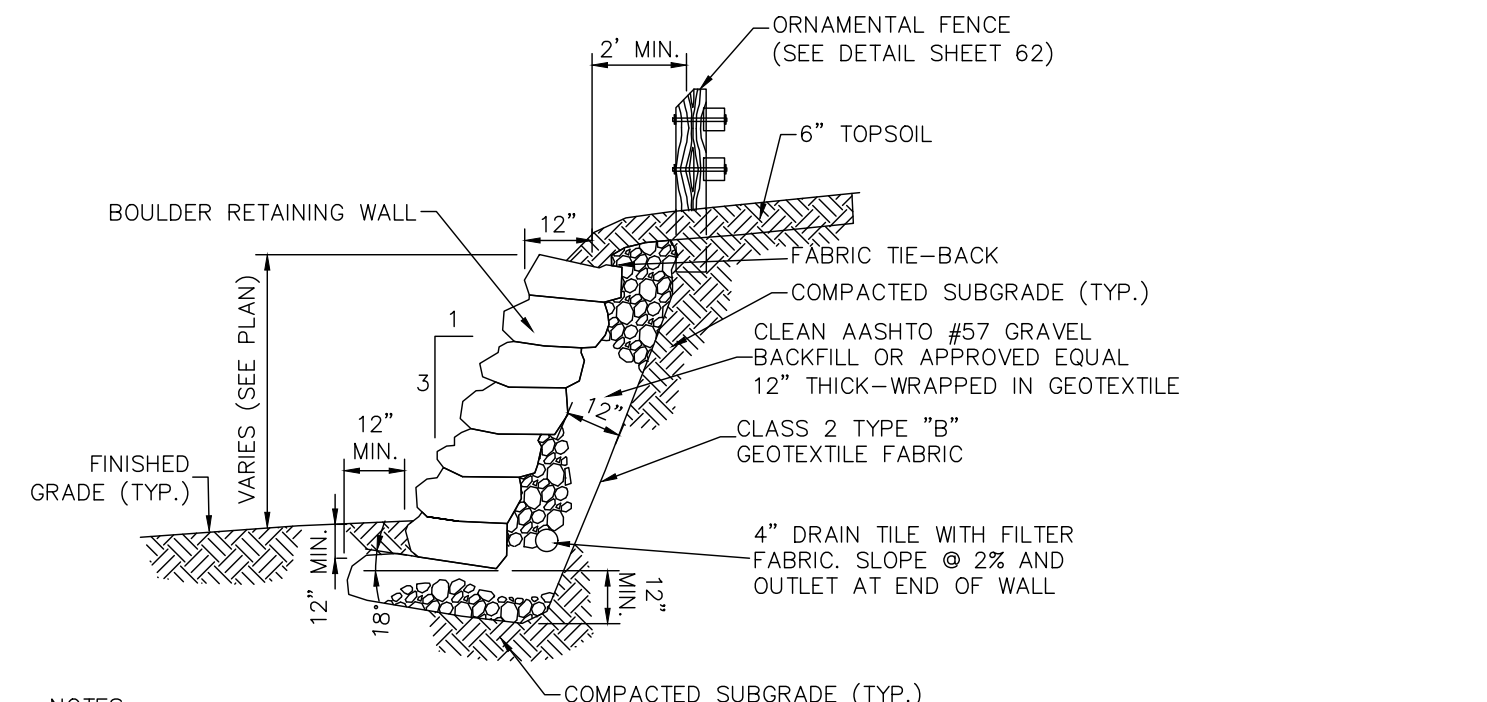
OF 20 SHEETS



- NOTES:**
- CONTRACTOR TO SUBMIT SHOP DRAWING FOR PROPOSED FENCING LAYOUT PRIOR TO INSTALLATION SHOW LOCATION OF ALL POSTS AND GATES.
 - CONTRACTOR TO SUBMIT SHOP DRAWING FOR ALL PROPOSED FENCE SECTIONS, GATES AND HARDWARE.

ORNAMENTAL FENCE DETAIL (FENCE BEHIND RETAINING WALL)

NO SCALE



- NOTES:**
- PROVIDE GEOTEXTILE MATERIAL MEETING THE CONSTRUCTION REQUIREMENTS OF PUBLICATION 408 SPECIFICATION SECTION 212 AND MATERIAL REQUIREMENTS OF SECTION 735.
 - ROCK BOULDER TO BE APPROXIMATELY 2' x 3' SUBJECT TO INSPECTION BY GEOTECHNICAL ENGINEER/LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
 - ROCK BOULDER PLACEMENT SUBJECT TO APPROVAL-BY GEOTECHNICAL ENGINEER.
 - SUB-GRADE BEARING CAPACITY OF 1.5 TSF TO BE VERIFIED PRIOR TO PLACEMENT OF BOULDERS.
 - IF THE HEIGHT OF ANY RETAINING WALL EXCEEDS (3) FEET, DESIGN AND CONSTRUCTION DETAILS OF SUCH MUST BE SUBMITTED TO NORTH CORNWALL TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - NO PART OF THE RETAINING WALL OR THE BACK SHALL ENCRUCH INTO THE PUBLIC ROAD RIGHT-OF-WAY.

BOULDER WALL DETAIL - UP TO 7' HEIGHT

NO SCALE

TOPSOIL APPLICATION

GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENEED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE.

TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION, COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

TABLE 11.1
CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS

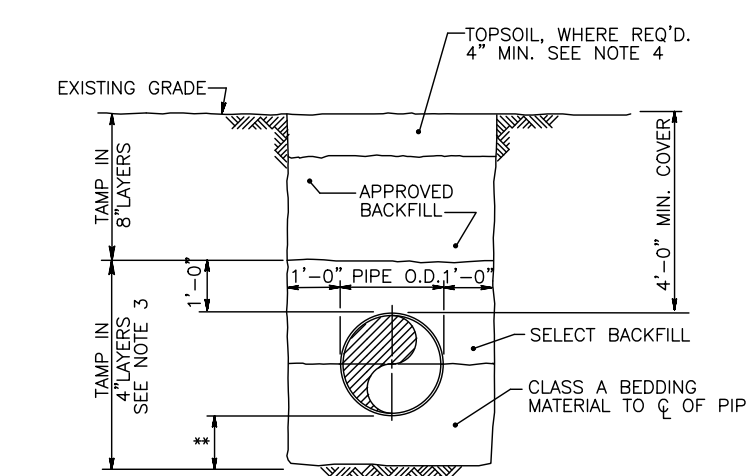
DEPTH (IN.)	PER 1,000 SQUARE FEET	PER ACRE
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

APPLICATION	SPECIES	%	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE	98%	40 LBS/AC	OCT. 15	10-10-10 AC	1 TON/AC AG GRADE
PERMANENT	ANNUAL RYE GRASS	10	P.L.S. IN LBS/AC	MARCH 15 AND OCT. 15	10-10-20 N-P20-K20 /ACRE	6 TON/AC AG GRADE
	PLUS TALL FESCUE					

- FERTILIZER AND LIME SHALL BE APPLIED IN ACCORDANCE WITH SOIL TESTS.
- ALL SEEDED AREAS SHALL BE MULCHED WITH HAY OR STRAW APPLIED AT A RATE OF 3 TONS/ACRE. MULCH TO BE ANCHORED WITH WOOD CELLULOSE FIBER @ 750 LBS/AC.
- ALL DIVERSIONS, CHANNELS, SED TRAPS AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.

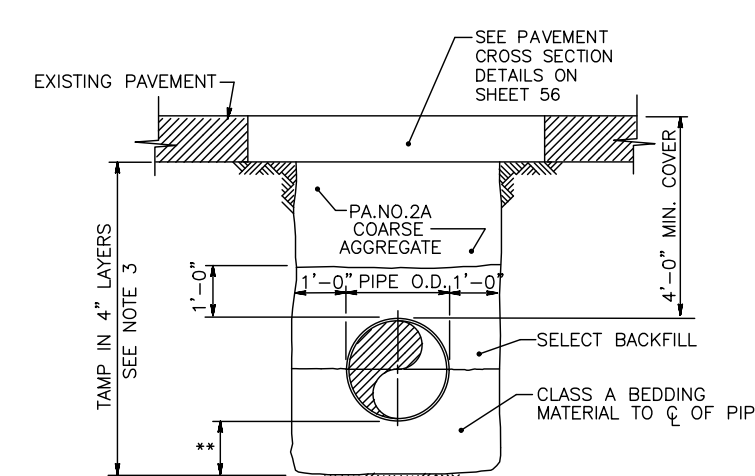
SEEDING SCHEDULE & NOTES

NO SCALE



TYPICAL TRENCH DETAIL UNPAVED AREAS (STDDTL1)

NO SCALE

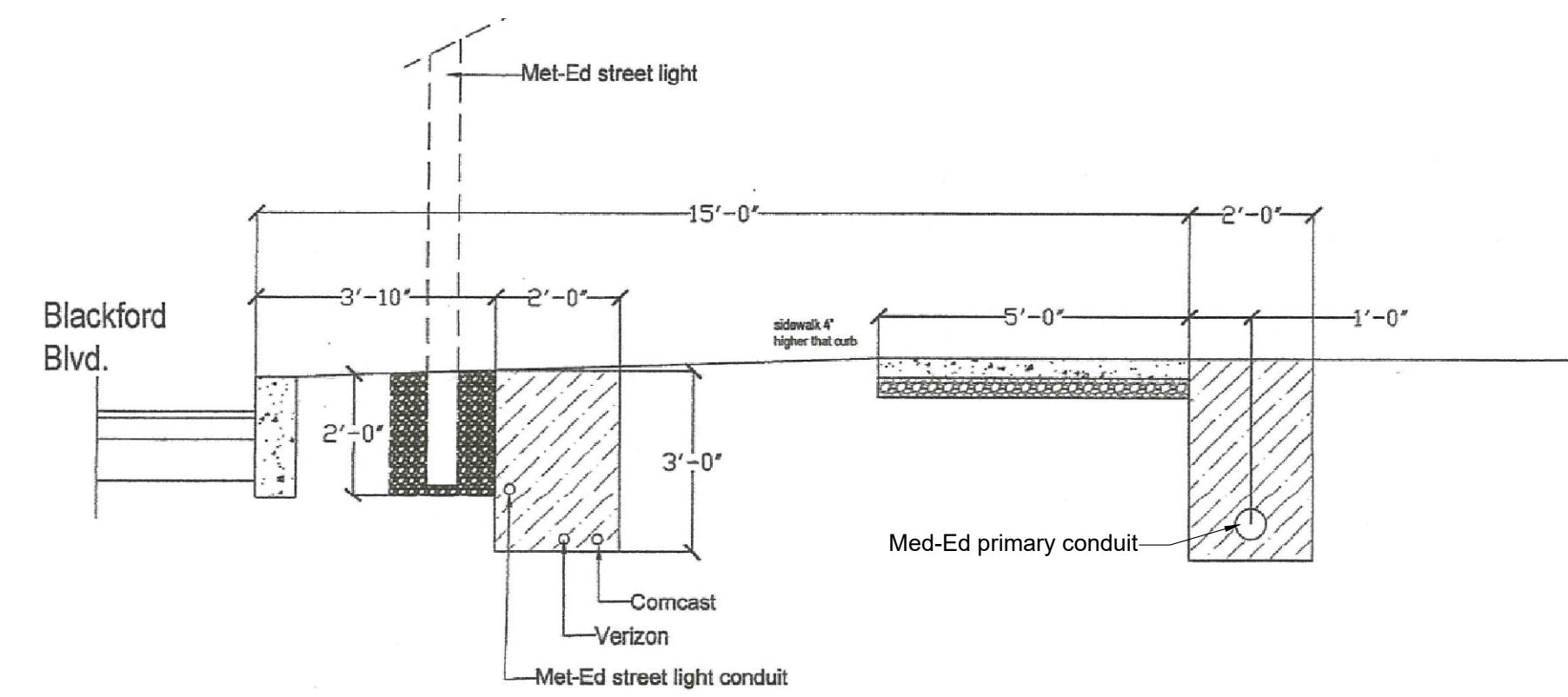


TYPICAL TRENCH DETAIL PAVED AREAS (STDDTL1)

NO SCALE

TRENCH NOTES:

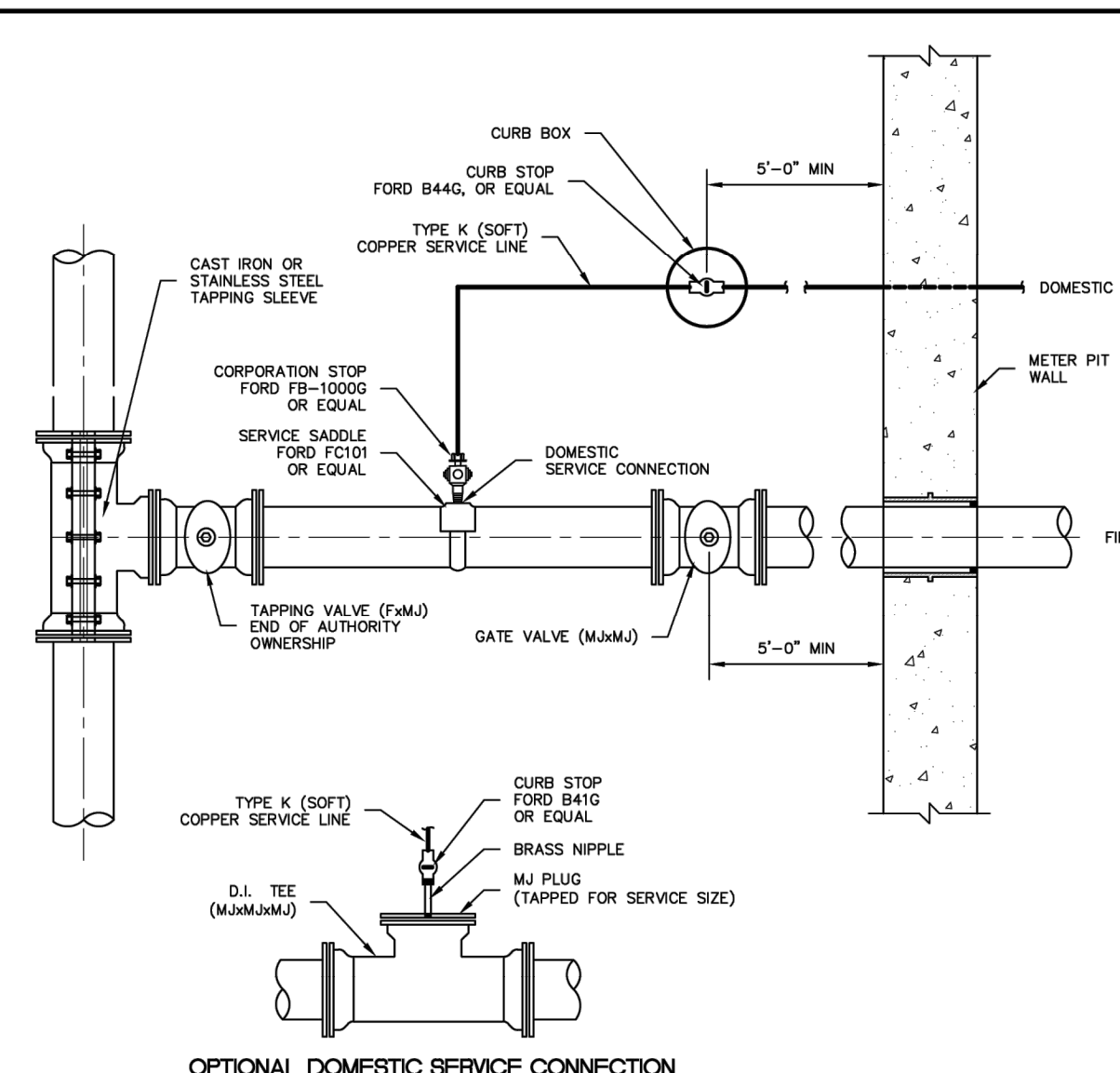
- IF UNSUITABLE SUBSOIL IS ENCOUNTERED AT THE NORMAL TRENCH SUBGRADE, THE CONTRACTOR SHALL REMOVE IT TO THE DEPTH DIRECTED BY THE ENGINEER IN THE FIELD, AND BACKFILL w/ CLASS A BEDDING IN 4" LAYERS.
- BOTTOM OF TRENCH SHALL BE FREE OF WATER PRIOR TO WATER MAIN INSTALLATION.
- IF VIBRATORY COMPACTION EQUIPMENT IS USED BACKFILL MAY BE IN 8" LAYERS.
- PROVIDE 4" OF TOPSOIL WHERE SEEDING IS REQUIRED. SEE NOTE 6 AT GRAVEL DRIVEWAYS.
- CONTRACTOR SHALL SHORE THE TRENCH IN ACCORDANCE WITH SECTION 02151 OF THE SPECIFICATIONS.
- GRAVEL AND PAVED DRIVEWAYS TO BE RESTORED IN KIND.
- CONTRACTOR MAY SUBSTITUTE PA NO. 24 FOR CLASS A BEDDING AT NO INCREASED COST TO THE OWNER WITH WRITTEN PERMISSION FROM THE ENGINEER OR OWNER. FOR DESCRIPTION OF BACKFILL MATERIAL, SEE SPECIFICATION SECTION 02221.
- ALL PAVING RESTORATION TO BE IN ACCORDANCE WITH PENNDOT PUB. 408/2003 AND PUB. 72M.



SECTION

TYPICAL UTILITY CONDUIT INSTALLATION DETAIL FOR BLACKFORD BLVD - ELECTRIC AND TELECOMMUNICATIONS

NO SCALE



PLAN VIEW

FIRE LINE WITH DOMESTIC SERVICE

N.T.S.

NOTES:

- PROTECT TIE RODS, CLAMPS AND OTHER COMPONENTS OF DISSIMILAR METAL AGAINST CORROSION BY HAND APPLICATION OF 2 COATS OF BITUMASTIC PAINT.
- DOMESTIC SERVICE CONNECTION CAN BE MADE USING SERVICE SADDLE OR TEE.
- SEE SPECIFICATIONS FOR METAL REQUIREMENTS.
- ALL COPPER FITTINGS MUST BE COMPRESSION TYPE, NO FLARED OR SOLDERED FITTINGS WILL BE ACCEPTED.
- ALL MECHANICAL JOINTS TO HAVE WEDGE ACTION RETAINER GLANDS.

CITY OF LEBANON AUTHORITY
 2311 Ridgeview Road Lebanon, PA 17042
 Phone (717) 272-2841 Fax (717) 675-2121
 www.Lebanonauthority.org

**GENERAL SPECIFICATIONS
 PRECAST CONCRETE METER PIT
 FIRE LINE and DOMESTIC SERVICE
 SHEET 2**
 May 2022

WATER NOTES - CITY OF LEBANON AUTHORITY
 (REVISED 1/14/22)

- CONTACT INFORMATION FOR THE CITY OF LEBANON AUTHORITY
 CITY OF LEBANON AUTHORITY, 2311 RIDGEVIEW ROAD, LEBANON, PA 17042
 BOB SENTZ, bsentz@lebanonauthority.org, 717-272-2841
- WATER SYSTEMS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CURRENT CITY OF LEBANON AUTHORITY "GENERAL SPECIFICATIONS FOR WATER SYSTEM CONSTRUCTION".
- THE CONSTRUCTION OF WATER MAINS REQUIRES A WATER MAIN EXTENSION AGREEMENT BETWEEN THE DEVELOPER AND THE AUTHORITY.
- EXISTING WATER MAINS ARE SHOWN AT AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL EXCAVATE TEST PITS TO DETERMINE ACTUAL LOCATIONS AND VERIFY WATER MAIN SIZES AND DEPTHS AT UTILITY CROSSINGS, EXCAVATED AREAS, AND TIE-IN LOCATIONS.
- WATER SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE WATER TAPS.
- FIRE SERVICE CONNECTION REQUIRES AN APPLICATION AND PAYMENT OF REQUIRED FEES WITH THE AUTHORITY PRIOR TO MAKING THE FIRE LINE TAP. FIRE LINE AGREEMENT ALSO REQUIRED.
- ANY WORK WITHIN PENNDOT RIGHT-OF-WAY REQUIRES A PENNDOT HIGHWAY OCCUPANCY PERMIT (HOP). THE PERMIT TYPICALLY IS REQUIRED TO BE IN THE AUTHORITY'S NAME AND THE AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE A FINANCIAL GUARANTEE UNTIL PENNDOT SIGNS OFF ON THE PERMIT AFTER CONSTRUCTION IS COMPLETE.
- ANY WORK WITHIN MUNICIPAL RIGHT-OF-WAYS MIGHT REQUIRE A MUNICIPAL PERMIT. THE PERMIT SHALL BE ACQUIRED IN THE CONTRACTOR'S NAME.
- THE AUTHORITY SHALL APPROVE ALL MATERIAL PRIOR TO CONSTRUCTION.
- A MANDATORY PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE AUTHORITY AND WATERLINE CONSTRUCTION CONTRACTOR.
- THE CITY OF LEBANON AUTHORITY WILL INSPECT THE WATER MAIN INSTALLATION AND ASSIST IN COORDINATING TESTING. THERE ARE FEES CHARGED TO THE DEVELOPER / CONTRACTOR FOR INSPECTION SERVICES. WATER MAIN CONSTRUCTION AND FEES SHALL BE COORDINATED WITH THE AUTHORITY.

WATER NOTES - CITY OF LEBANON AUTHORITY (CONT.)
 (REVISED 1/14/22)

- THE PROPERTY OWNER / DEVELOPER SHALL INSTALL THE WATER TAP AND SERVICE LINE TO THE CURB STOP UNDER THE INSPECTION OF THE CITY OF LEBANON AUTHORITY. THE PROPERTY OWNER IS RESPONSIBLE FOR THE WATER SERVICE AFTER THE CURB STOP. THE CITY OF LEBANON AUTHORITY WILL INSTALL THE WATER METER WITHIN THE BUILDING OR AN APPROVED METER PIT AS INSTRUCTED. CONTACT THE CITY OF LEBANON AUTHORITY METER DEPARTMENT FOR METER INSTALLATION, 2200 WEST CHESTNUT STREET, 717-273-2508.
- METER PIT INSTALLATIONS ARE MANDATORY. ANY EXCEPTION TO METER PIT INSTALLATION IS AT THE DISCRETION OF THE CITY OF LEBANON AUTHORITY. METER PIT TO BE INSTALLED WITHIN 10- FEET OF INSTALLATION. METER PITS SHALL BE APPROVED BY THE METER DEPARTMENT PRIOR TO INSTALLATION.
- SEWER AND WATER MAINS SHALL HAVE A MINIMUM OF AN 18-INCH SEPARATION, OR THE SEWER MAIN SHALL BE CONCRETE ENCASED IN THE AREA WHERE THE 18-INCH SEPARATION CANNOT BE MAINTAINED.
- WATER MAINS AND LATERALS THAT ARE LESS THAN 18-INCHES FROM A STORM SEWER OR CULVERT SHALL BE INSULATED WITH A FOAM WRAP.
- AT THE CONCLUSION OF THE INSTALLATION OF THE WATER SYSTEM AND SERVICE LINES, AND SUCCESSFUL TESTING THEREOF, THE WATER SYSTEM WILL BE OFFERED FOR DEDICATION TO THE CITY OF LEBANON AUTHORITY.
- ALL EXISTING WATER SERVICE INSTALLATION SHALL BE AT THE WATER MAIN BY TURNING OFF THE CORPORATION STOP AT THE MAIN AND THE SERVICE LINES CUT AND GRIPPED WITHIN ONE FOOT OF THE CORPORATION STOP. ALL WORK, INCLUDING SAW CUTTING, EXCAVATION, LATERAL TERMINATION, BACKFILL, AND PAVING, SHALL BE DONE BY THE CONTRACTOR AND INSPECTED BY THE CITY OF LEBANON AUTHORITY.

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

for
BYLER REAL ESTATE HOLDINGS LLC
 located in
 North Cornwall Township
 Lebanon County, Pennsylvania

is
 Steadbeck Engineering & Surveying Inc.
 279 Lebanon, Pennsylvania 17042
 Phone: (717) 272-7110
 Fax: (717) 272-7348

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001

DETAILS
14
 OF 20 SHEETS

Technical Specifications

Date: Location:
Type: Project:
Catalog #:



GALAXY G Series High Performance Garage Series

Product Description GALAXY G Series is a ruggedized high performance IP66 garage canopy. The three wattages and lumen packages available uniquely service the most abundant applications in the field. Available Occupancy Sensor and Battery Backup options round out this versatile package.

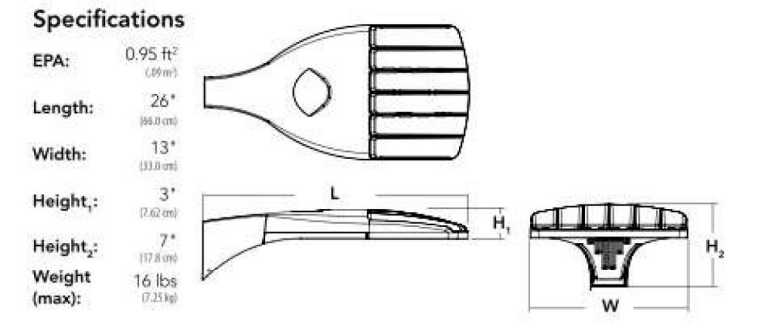
- Applications: Parking garages
Product Performance
Wattage Range: 25W-80W
Input Voltage: 120-277V or 277-480V
CCT: 3000K, 4000K or 5000K (Amber and custom CCT available)
CRI: Minimum 70 CRI standard (custom CRI available)
IP66 Rated Luminaires
UL 1598 Compliant
DesignLights Consortium® Premium Qualified Product
10kV Surge Suppression available
0-10V Dimmable Power Supply
5 year Warranty

Key Data table with columns: Key Data, Value. Includes Lumen Range (2,543-10,505), Wattage Range (25-80), Efficacy Range (Up to 158 LPW), Fixture Life (L70@25°C > 100,000 hours), Dimensions (12.0" x 12.0" x 2.8"), Weight (7.5-8.0 lbs), Patent (US Patent D702268).

- Product Specifications
Construction & Materials
Aluminum housing with multi stage pre-treatment and high-durability TGIC powder coat finish
UV Stabilized single PMMA Lens - Tamper resistant
Robust low profile design with active thermal management
Flush J-box mounting or Pendant mounting standard
This fixture has one 1/2" conduit knock out
Testing & Certifications
cETLus listed
UL 1598, CSA STD 22.2 compliant
IP66 Rated Luminaires
FHS Compliant
Driver complies with FCC Part 15 Class B/EN55015, EN61000-3-2 Class C, EN61000-3-3
DesignLights Consortium® Premium Qualified Product
Can meet AIAA Buy America requirements as required
Lumen Maintenance
L90@25C 190,000 hours
Operating Temperature Range: -40°C to 60°C



D-Series Size 0 LED Area Luminaire



Ordering Information EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DBXBD

Table with columns: Series, LFL, Color temperature, Distribution, Voltage, Mounting, Shipped separately. Includes DSX0 LED series options.

Table with columns: Option, Description, Other options, Finish. Includes options for mounting, housing, and lens.

ACO DRAIN 4" width - ductile iron longitudinal grate

- Product Features
Certified to EN 1433 Load Class F - 200,000 lbs - 4,182 psi
Uses PowerLock® boltless locking system
Suitable for use with S100K and H100K channels
Manufactured from ductile iron to ASTM A 536-84 - Grade 304 65-45-12
Anti-Shunt lugs



Specifications

General The surface drainage system shall be ACO PowerDrain or SlabDrain, complete with ACO ductile iron longitudinal grate with PowerLock locking as manufactured by ACO, Inc. or similar approved.
Materials The covers shall be manufactured from ductile iron and have minimum properties as follows:
Independently certified to meet Load Class F to EN 1433 - 200,000 lbs - 4,182 psi
Ductile iron to ASTM 536-84 - Grade 65-45-12
Intake area of 154 sq. cm per 1/2 meter of grate
The overall width of 5.43" (138mm) and overall length of 19.68" (500mm). Slots measure at a maximum of 1.35" (34mm).

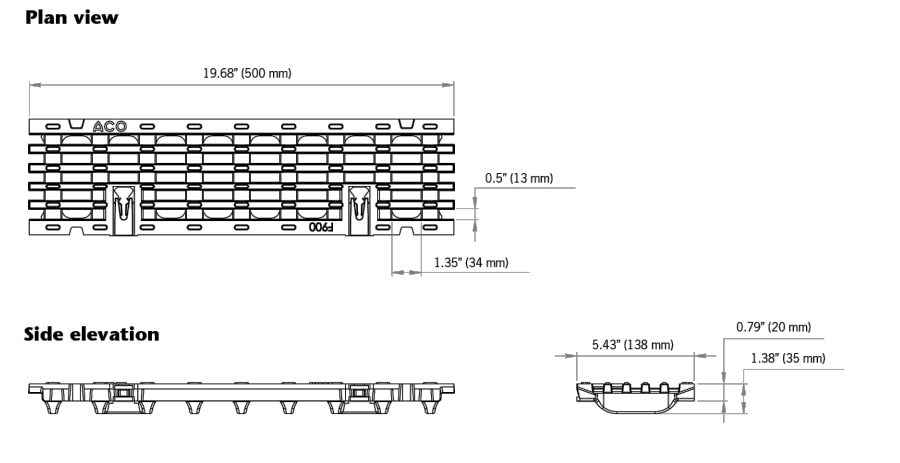
Installation The trench drain system and grates shall be installed in accordance with the manufacturer's installation instructions and recommendations.

April 2018

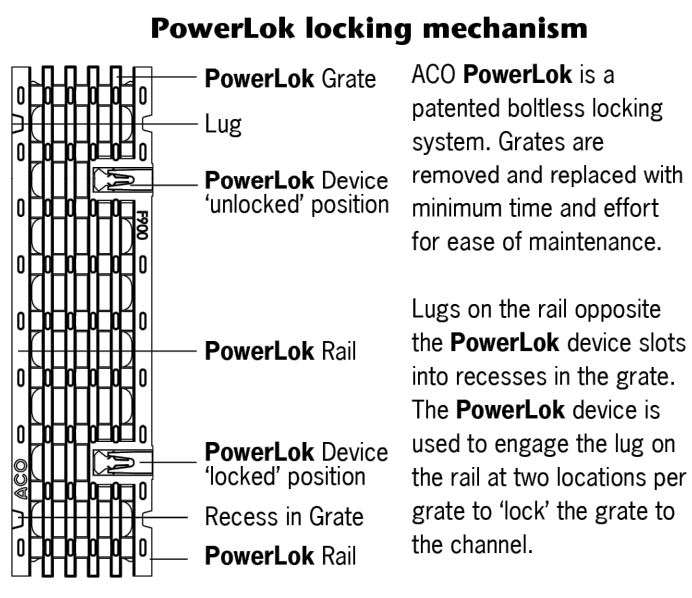
www.ACODrain.us



ACO DRAIN 4" width - ductile iron longitudinal grate



Description Part No. Length (mm) Width (mm) Weight lbs.
PowerLock grate SK1 ductile iron longitudinal grate - CI F 96096 19.68 (500) 5.43 (138) 13.6



PowerLock locking mechanism
ACO PowerLock is a patented boltless locking system. Grates are removed and replaced with minimum time and effort for ease of maintenance.
Lugs on the rail opposite the PowerLock device slots into recesses in the grate. The PowerLock device is used to engage the lug on the rail at two locations per grate to 'lock' the grate to the channel.

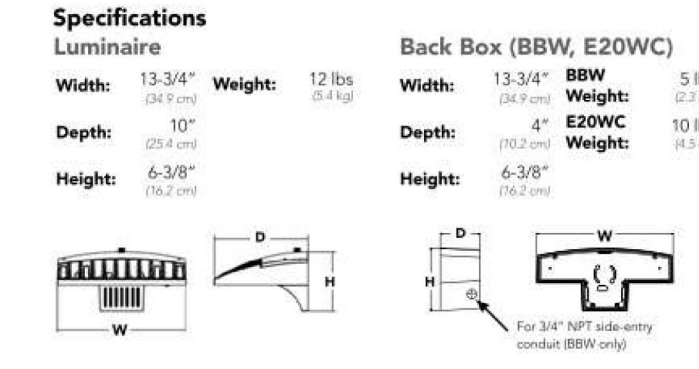
ACO, Inc.
Northeast Sales Office 5470 Pinecone Drive, Manter, Ohio 44860
West Sales Office 4231 Pleasant Road, Casa Grande, AZ 85122
Southwest Sales Office 4211 Pleasant Rd, Fort Mill, SC 29708
Electronic Contact: info@acodrain.us, www.acodrain.us

April 2018

www.ACODrain.us



D-Series Size 1 LED Wall Luminaire



Introduction The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

Ordering Information EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DBXBD

Table with columns: Series, LFL, Drive Current, Color temperature, Distribution, Voltage, Mounting, Shipped installed, Shipped separately.

Table with columns: Other Options, Finish, Shipped separately.

- Accessories
1. 20C, 300V not available with PIR, PIRN, PIRFCW or PIRHCCW
2. MOCV driver operates on any line voltage from 120-277V (50/60Hz)
3. Single bay (S) includes 120, 277 or 347 voltages. Double bay (DB) requires 20C, 240 or 480 voltage option.
4. Only available with 20C, 700mA or 1800mA. Not available with PIR or PIRN
5. Back box (BBW) includes a Neutral Ground for field-installed. Cannot be ordered as an accessory.
6. Photocell (PH) requires 120, 208, 240, 277 or 347 voltages. Not available with motor/balloon light sensors (PIR or PIRN).
7. Reference Manual Series table page 12
8. Series with ELCN Cold weather (LCCW) rated. Not compatible with outdoor applications. Not available with BEM mounting option. Not available with Sling, Not available with SPS.
9. Not available with E20WC.
10. Not available with E20WC.
11. Not available as an accessory to other accessories.

Technical Specifications

Date: Location:
Type: Project:
Catalog #:



TWP1 Series Full-Cutoff LED Wallpack

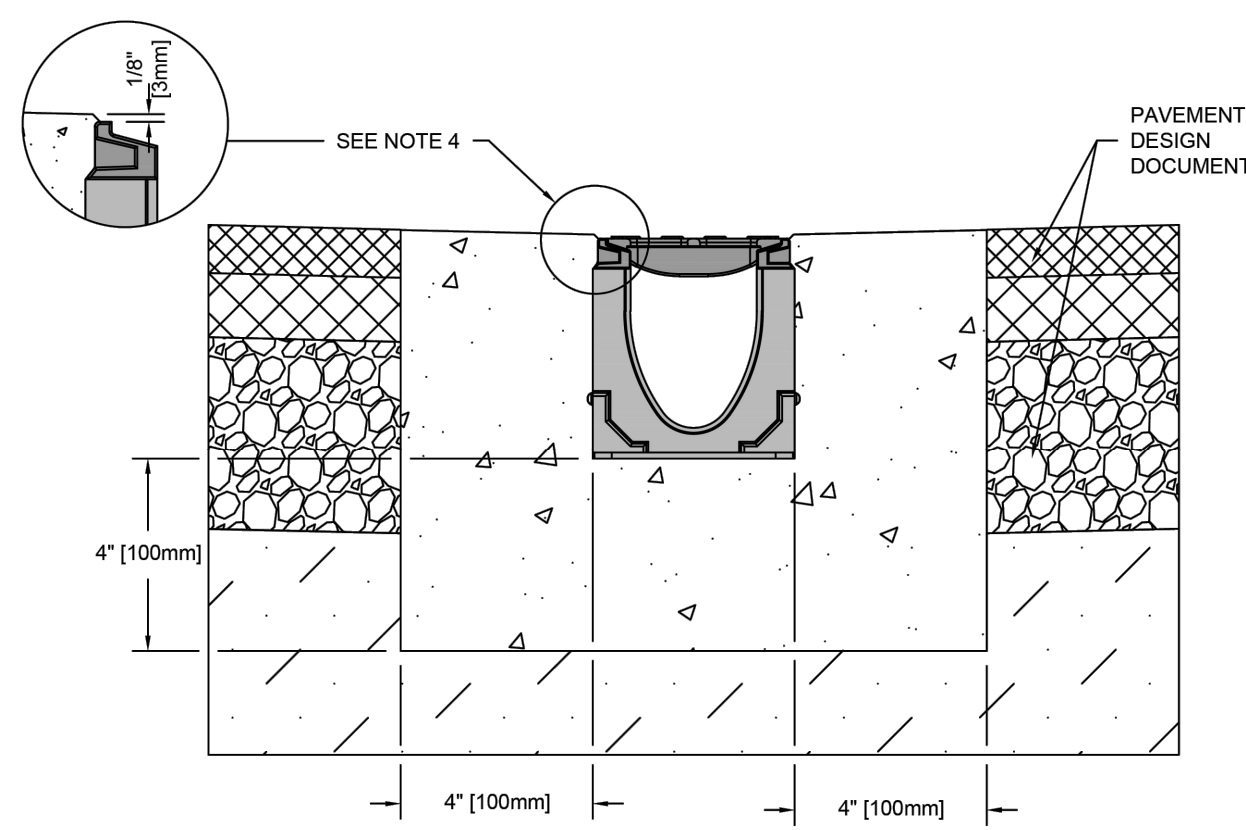
Product Description The traditional styling of the TWP1 Series is designed to fit into any architectural application. With LED packages ranging from 4,800 to 18,000 lumens, this versatile wallpack is engineered to illuminate any demanding environments. Installation is easy; the TWP1 can be wall mounted directly to a J-box or conduit mounted. Delivering up to 135 lumens per watt, it is the ideal low power, high efficiency wallpack.
Applications: Security lighting, landscape lighting, parking lots
Product Performance
Wattage Range: 40W-150W
4,800 to 18,000 lumens
Input Voltage: 120-277V
CCT: 4000K, 4500K or 5000K
CRI: Minimum 70 CRI
IP65 Rated
UL 1598 Compliant
5-10V Dimmable Power Supply
5 year Warranty



Key Data table: Lumen Range (4,800-18,000), Wattage Range (40-150), Efficacy Range (Up to 130 LPW), Fixture Life (L70@25°C > 100,000 hours), Dimensions (14.17" x 9.25" x 6.54" or 14.17" x 9.25" x 9.65"), Weight (6.8-8.0 lbs).

Ordering Guide table with columns: Series, Output Type, CCT Code, Mtg Rev Code, Optic Type, Surge Protection, Photocell, Fixture Color.

*Standard stock - other CCTs and CRIs available, consult factory for details
**Standard stock - other colors available, consult factory for details



SPECIFICATION CLAUSE POWERDRAIN S100K - LOAD CLASS A

GENERAL THE SURFACE DRAINAGE SYSTEM SHALL BE POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN DUCTILE IRON RAIL AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.
MATERIALS CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN DUCTILE IRON RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL AS FOLLOWS:
COMPRESSIVE STRENGTH: 14,000 PSI
FLEXURAL STRENGTH: 4,000 PSI
TENSILE STRENGTH: 1,500 PSI
WATER ABSORPTION: 0.07%
FROST PROOF: YES
DILUTE ACID AND ALKALI RESISTANT: YES
B117 SALT SPRAY TEST COMPLIANT: YES
THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 6.29" (160mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.
THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.
CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION.
GRATES SHALL BE SECURED USING EITHER POWERLOCK BOLTLESS LOCKING SYSTEM, OR THE 4 BOLT LOCKING OPTION. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- NOTES:
1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

ACO logo, POWERDRAIN - S100K- LOAD CLASS: A Exposed Asphalt Pavement, INSTALLATION DRAWING - ACO DRAIN, DATE: 11/04/16, Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4764 www.acousa.com

ACO Polymer Products, Inc., 825 W. Beechcraft St, Casa Grande, AZ 85122, 9470 Pinecone Dr, Manter, OH 44860, 4211 Pleasant Rd, Fort Mill, SC 29708

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

BYLER REAL ESTATE HOLDINGS LLC for North Cornwall Township Lebanon County, Pennsylvania

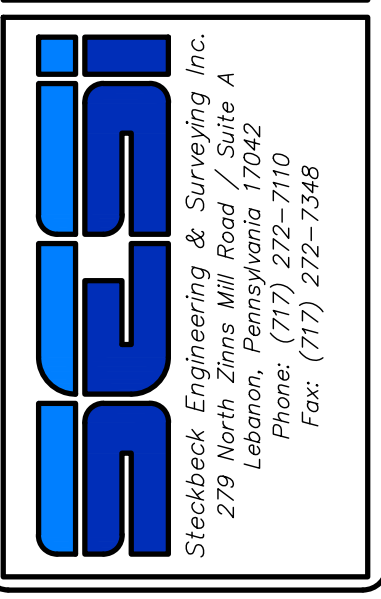
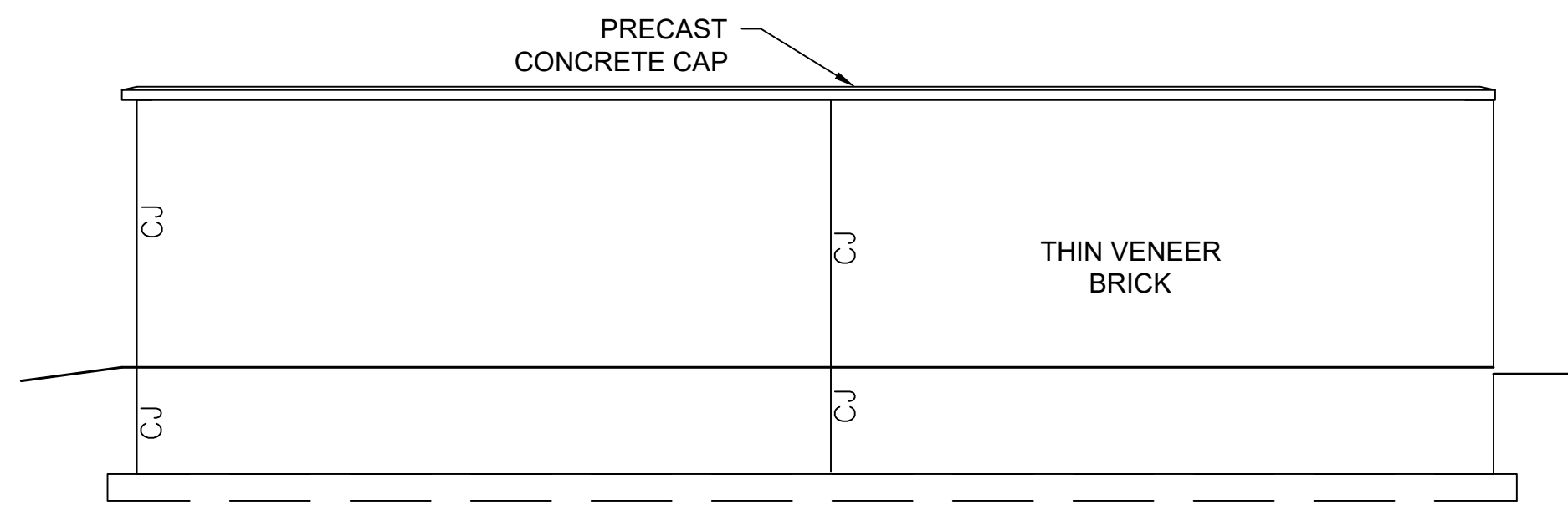
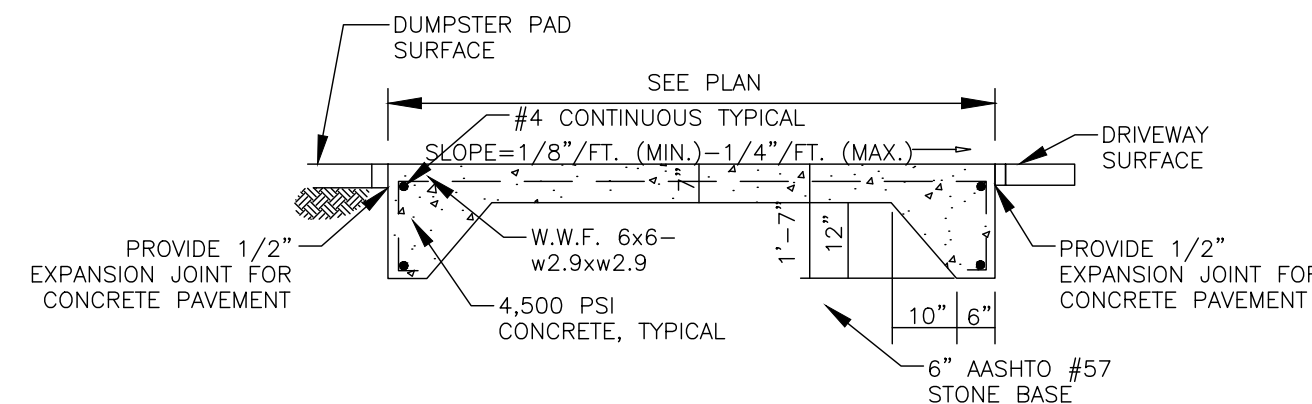


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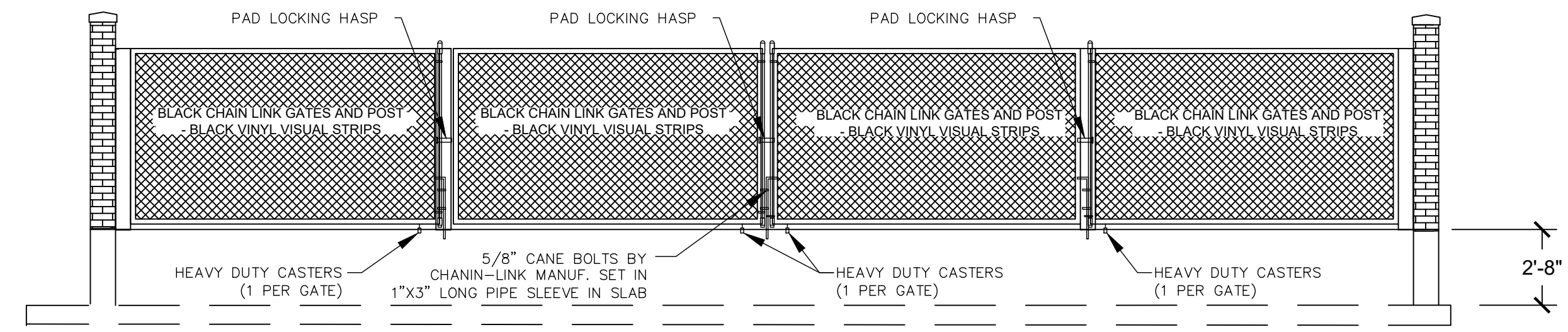
DETAILS 15 OF 20 SHEETS



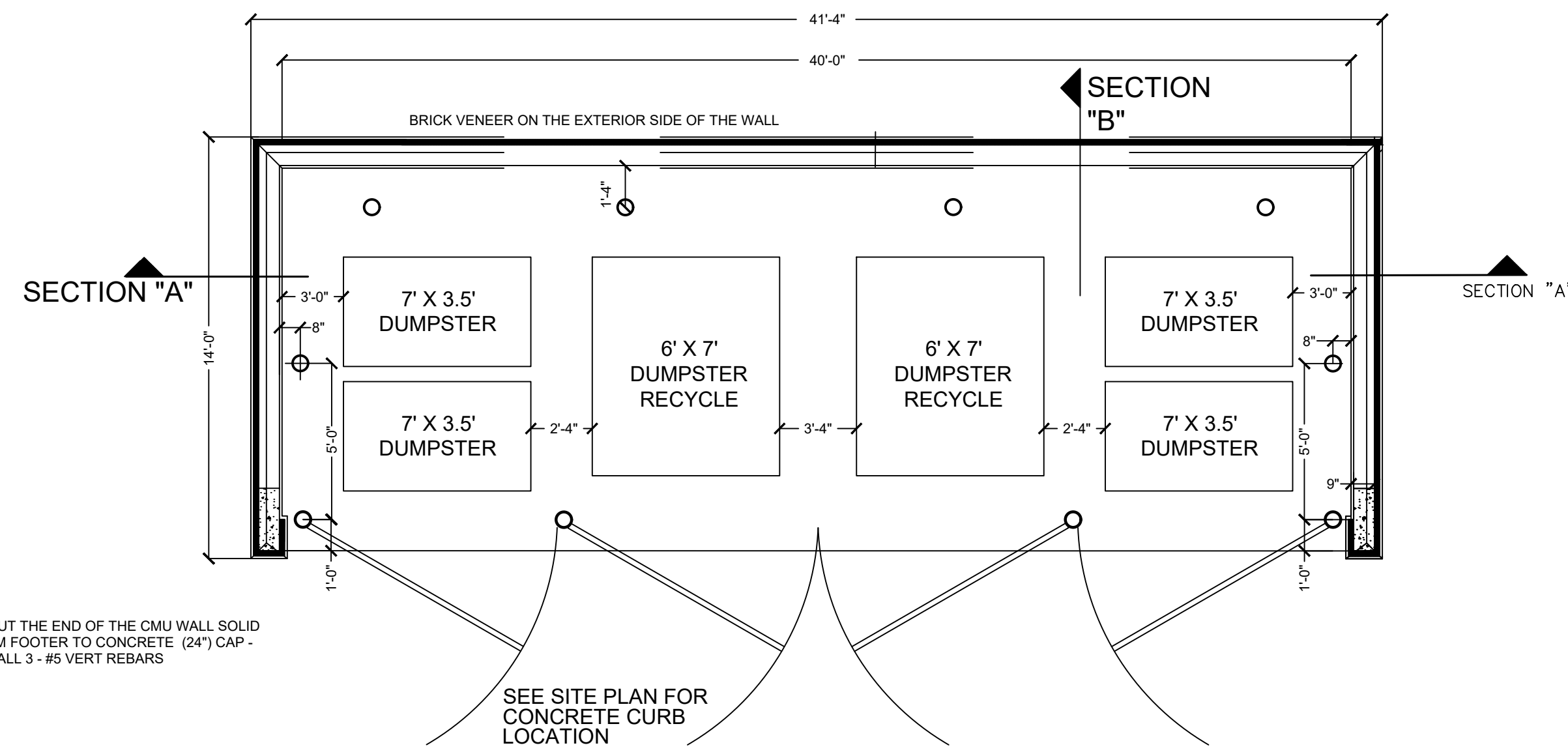
REAR ELEVATION



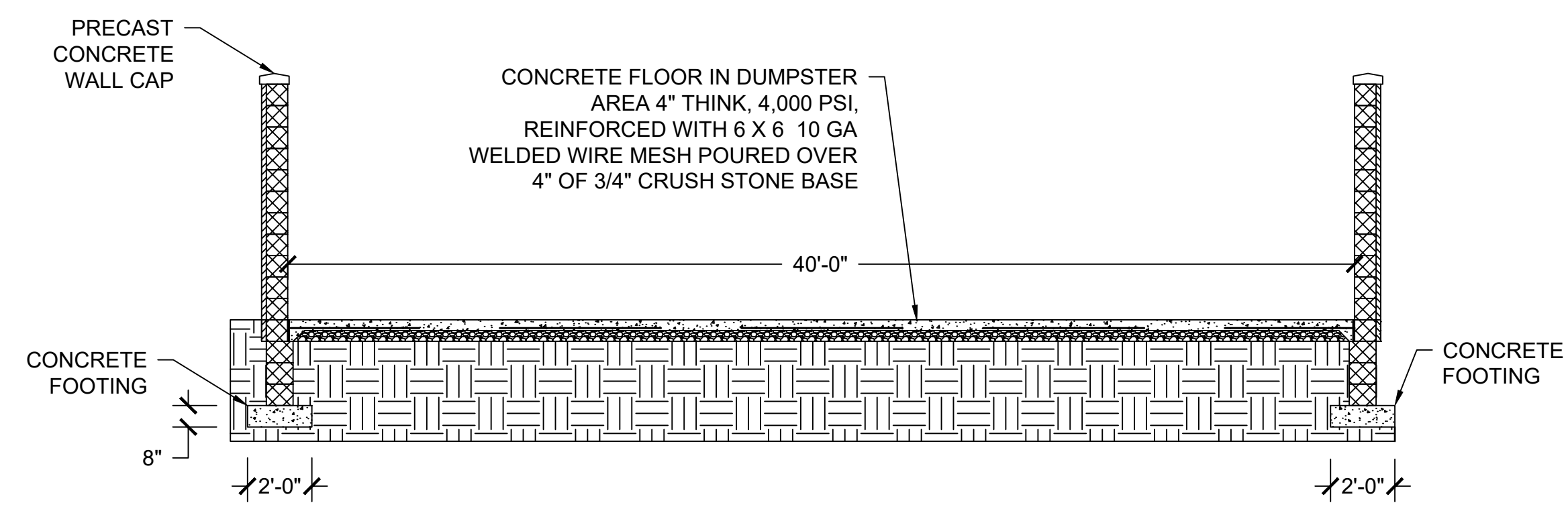
DUMPSTER PAD APRON CROSS SECTION



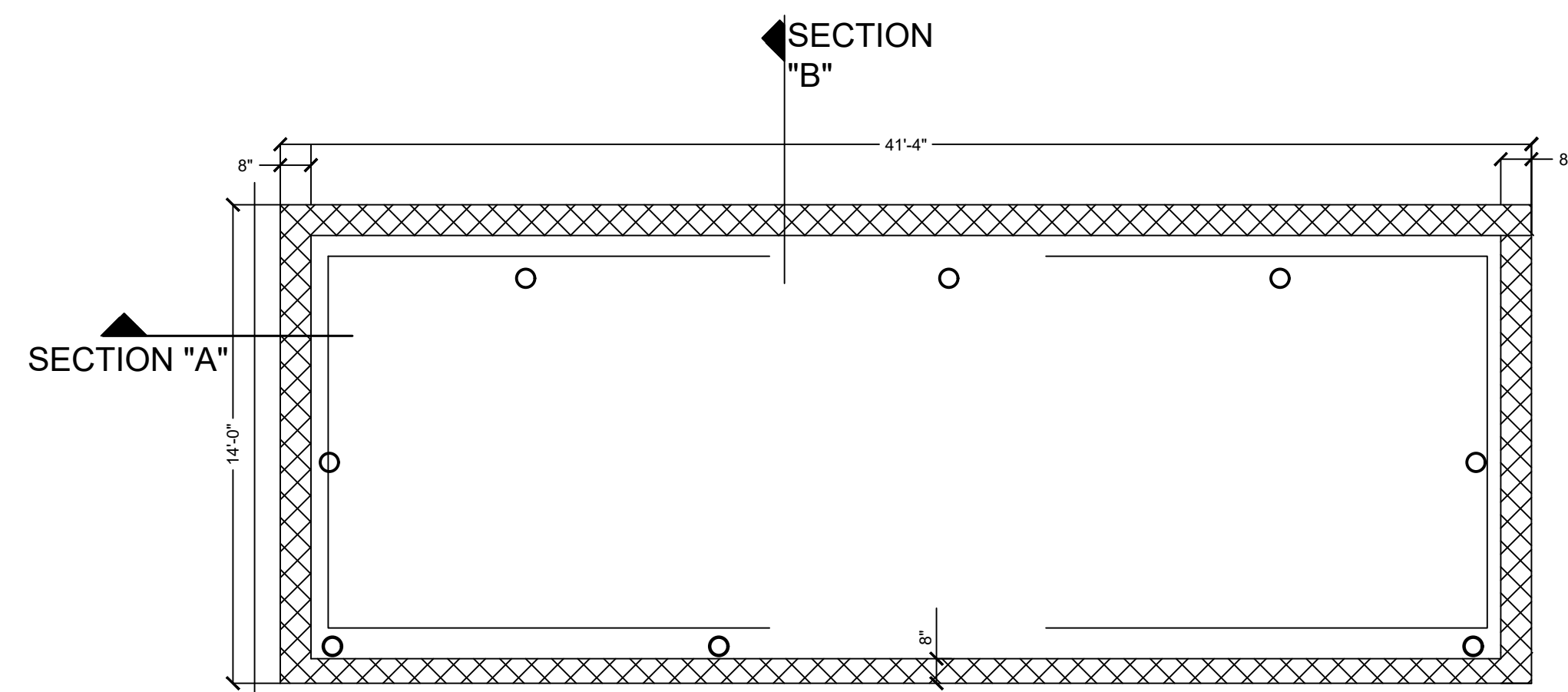
FRONT ELEVATION



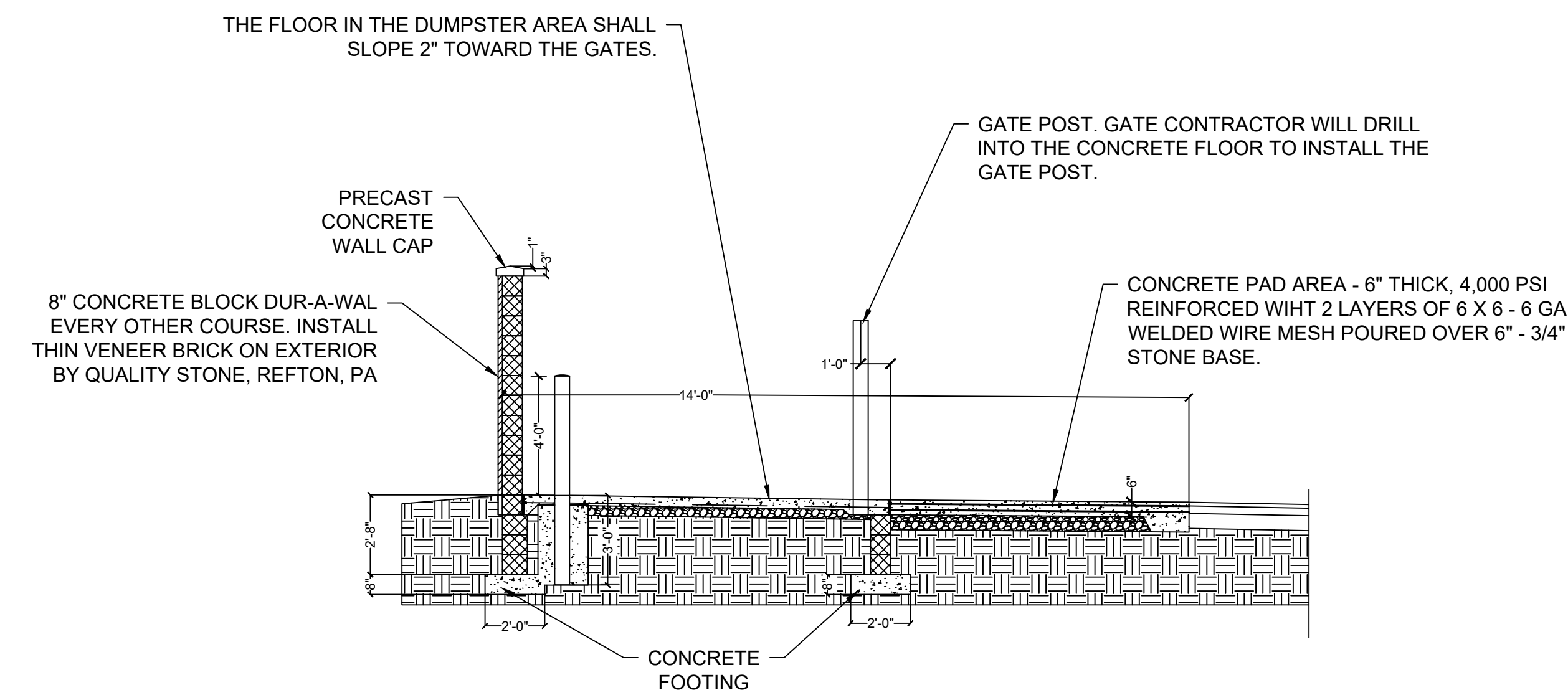
LAYOUT PLAN



SECTION "A"



FOUNDATION PLAN



SECTION "B"

DUMPSTER DETAILS
NO SCALE

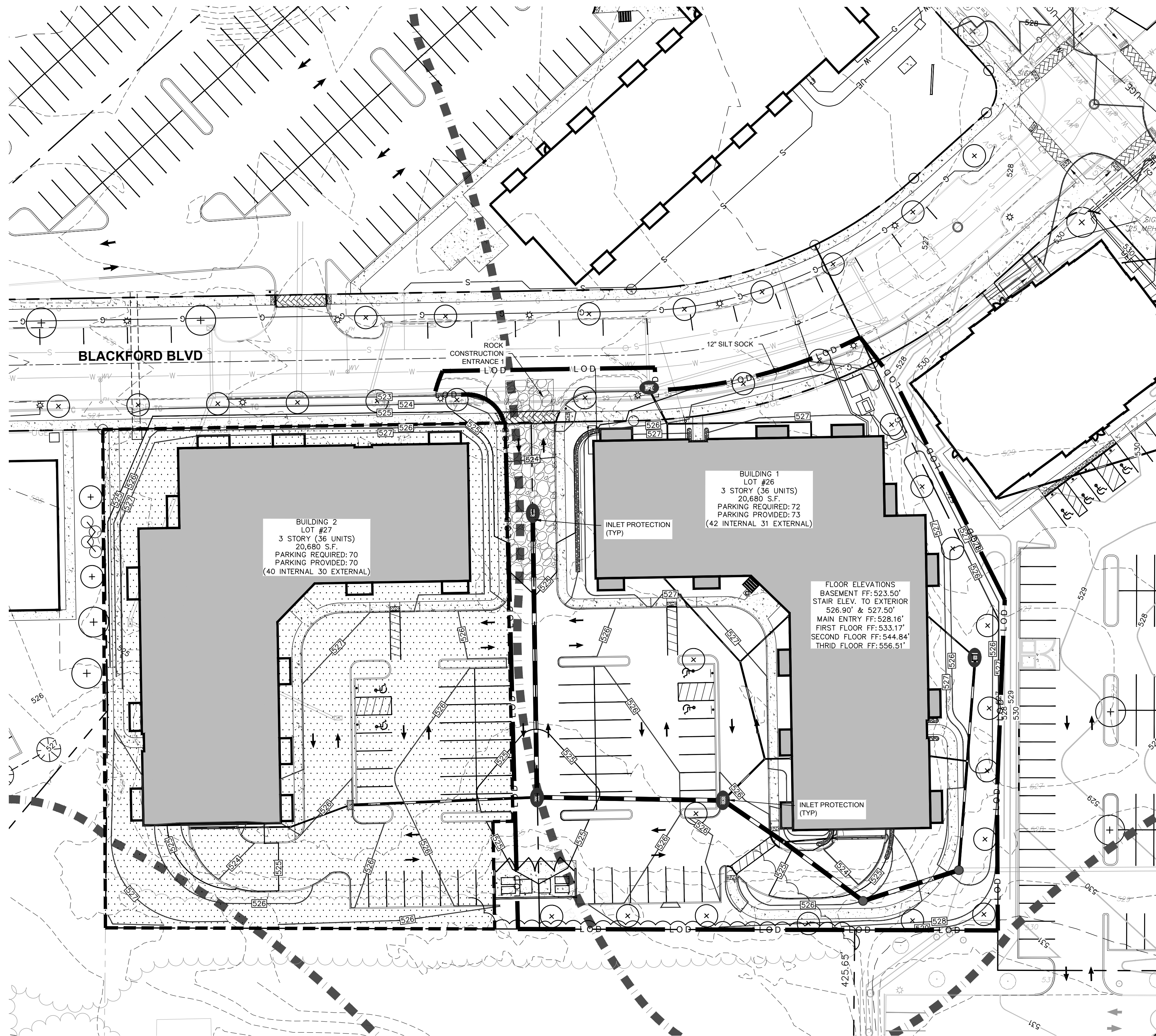
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REVISION PER LCPD LETTER DATED 9/10/24	9/16/24	TMMHFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMMHFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMMHFL
REVISION PER NCT ENGINEER LETTER DATED 9/16/24	9/16/24	TMMHFL
REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMMHFL
REVISION PER NCT ENGINEER LETTER DATED 9/16/24	9/23/24	TMMHFL

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

for
BYLER REAL ESTATE HOLDINGS LLC
located in
North Cornwall Township
Lebanon County, Pennsylvania

is
Steckbeck Engineering & Surveying, Inc.
279 Lebanon, Pennsylvania 17042
Phone: (717) 272-7110
Fax: (717) 272-7348

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMM
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001

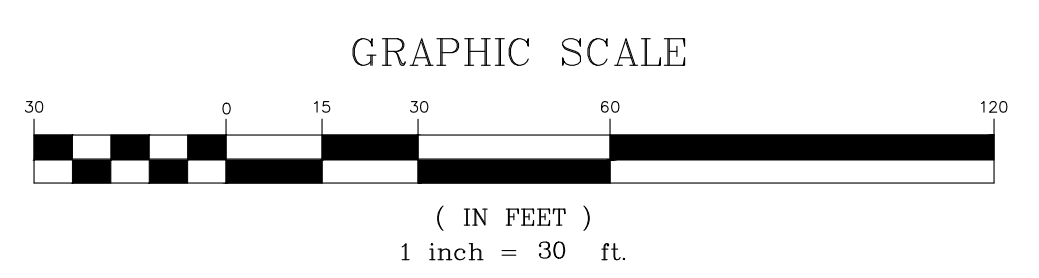
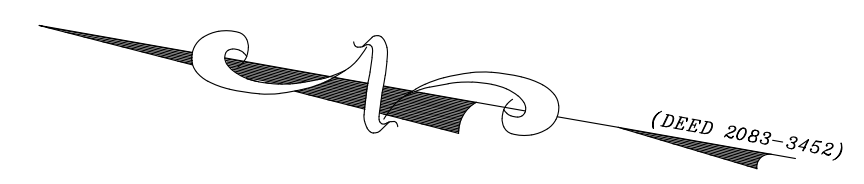


LEGEND

- | | |
|--|---|
| | EXISTING FEATURES |
| | EXISTING ADJOINER LINE |
| | EXISTING BOUNDARY LINE AND CORNERS |
| | EXISTING EDGE OF PAVEMENT AND CURB LINE |
| | EXISTING RIGHT-OF-WAY |
| | EXISTING FENCE |
| | EXISTING SEWER |
| | EXISTING STORMWATER |
| | EXISTING WATERLINE |
| | EXISTING GASLINE |
| | EXISTING SIDEWALK |
| | EXISTING CONTOURS |
| | EXISTING TREELINE |
| | EXISTING UTILITY POLE |
| | EXISTING LIGHT POLE |
| | PROPOSED FEATURES |
| | PROPOSED BUILDING SETBACK |
| | PROPOSED BOUNDARY LINE AND CORNERS |
| | PROPOSED EDGE OF PAVEMENT AND CURB LINE |
| | PROPOSED RIGHT-OF-WAY |
| | PROPOSED FENCE |
| | PROPOSED SEWER |
| | PROPOSED STORMWATER |
| | PROPOSED WATERLINE |
| | PROPOSED GASLINE |
| | PROPOSED CONCRETE/SIDEWALK |
| | PROPOSED CONTOURS |
| | PROPOSED PHASE LINE |

E&S LEGEND

- | | |
|--|--|
| | SILT SOCK OR EQUAL |
| | LIMIT OF DISTURBANCE |
| | INLET PROTECTION |
| | ROCK CONST. ENTRANCE |
| | TOPSOIL STOCKPILE |
| | N.A.G. S75 OR EQUAL EROSION CONTROL LINING |



REVISION	DATE	BY
REVISION PER LCPO LETTER DATED 9/10/24	9/16/24	TMMWFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMMWFL
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REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMMWFL
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMMWFL

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

for
BYLER REAL ESTATE HOLDINGS LLC
 located in
 North Cornwall Township
 Lebanon County, Pennsylvania

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001

E&SPC PLAN
17
 OF 20 SHEETS

EROSION AND SEDIMENT CONTROL LIABILITY NOTE:
 Failure to correctly install sediment control facilities or failure to prevent sediment laden runoff from leaving the construction site or failure to take corrective actions to immediately resolve failure of sediment control facilities may result in administrative, civil and/or criminal penalties being instituted by the Pennsylvania Department of Environmental Protection as defined in Section 602 of the Clean Streams Law of Pennsylvania. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.

MEADOW AREAS (TO BE MOWED 1-3 TIMES/YEAR)						
APPLICATION	SPECIES	% PURE LIVE SEED	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE OR WINTER RYE	98%	80 LBS/AC	VARIES WITH SEASONAL CONDITIONS	50-50-50/AC	1 TON/AC AG GRADE
PERMANENT	30% CREEPING RED FESCUE	98%	P.L.S. IN LBS/AC 50	SEED BETWEEN MARCH 1 - MAY 1 AND SEPTEMBER 1 - OCTOBER 1	50-100-100 N-P-K /ACRE	1-3 TON/AC AG GRADE*
	25% HARD FESCUE	98%	44		0-82-0 N-P-K /ACRE	
	25% CHEWINGS FESCUE	98%	44		40% OR MORE SLOW RELEASE NITROGEN (MN)	
	15% PERENNIAL RYE	98%	26			
	5% WHITE CLOVER	98%	8			

STEEP SLOPE AREAS (GREATER THAN 3H:1V)						
APPLICATION	SPECIES	% PURE LIVE SEED	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE OR WINTER RYE	98%	80 LBS/AC	VARIES WITH SEASONAL CONDITIONS	50-50-50/AC	1 TON/AC AG GRADE
PERMANENT	ERNAK-181 NATIVE STEEP SLOPE MIX W/ ANNUAL RYE OR 30% CREEPING RED FESCUE	98%	P.L.S. IN LBS/AC 60	SEED BETWEEN MARCH 1 - MAY 1 AND SEPTEMBER 1 - OCTOBER 1	50-100-100 N-P-K /ACRE	1-3 TON/AC AG GRADE*
	30% HARD FESCUE	98%	68		0-82-0 N-P-K /ACRE	
	25% CHEWINGS FESCUE	98%	68		40% OR MORE SLOW RELEASE NITROGEN (MN)	
	15% PERENNIAL RYE	98%	34			

LAWN AREAS						
APPLICATION	SPECIES	% PURE LIVE SEED	APPLICATION RATE	FINAL SEEDING DATE	FERTILIZER	LIMING RATE
TEMPORARY	ANNUAL RYE OR WINTER RYE	98%	40 LBS/AC	VARIES WITH SEASONAL CONDITIONS	50-50-50/AC	1 TON/AC AG GRADE
PERMANENT	60% PERENNIAL RYE	98%	P.L.S. IN LBS/AC 150	SEED BETWEEN MARCH 1 - MAY 1 AND SEPTEMBER 1 - OCTOBER 1	50-100-100 N-P-K /ACRE	1-3 TON/AC AG GRADE*
	20% KENTUCKY BLUE GRASS	98%	50		0-82-0 N-P-K /ACRE	
	20% CREEPING RED FESCUE	98%	50		40% OR MORE SLOW RELEASE NITROGEN (MN)	

* LIMING RATE SHALL BE IN ACCORDANCE WITH SOIL TEST RESULTS. APPLY 1-3 TONS OF AGRICULTURAL GRADE LIMESTONE/AC OF LAND DISTURBED BY DIVERSIONS AND DAMS.
 - IF TOPSOIL IS NOT PLACED IN THE SWALES AND/OR IN BASIN AREA THE RATE OF SEED SHOULD BE 10, 35, 3 LBS/ACRE.
 - ALL SEEDED AREAS SHALL BE MULCHED WITH HAY OR STRAW APPLIED AT A RATE OF 3 TONS/ACRE. MULCH TO BE ANCHORED WITH WOOD CELLULOSE FIBER @ 750 LBS/AC.
 - ALL DIVERSIONS, CHANNELS, SED TRAPS AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.
 - ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MAY BE STABILIZED IN TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
 - SEEDING AND FERTILIZER SPECIFICATIONS AS PROVIDED BY ANDY GRAYBILL, ROHRER SEEDS (PHONE: 717-299-2571)

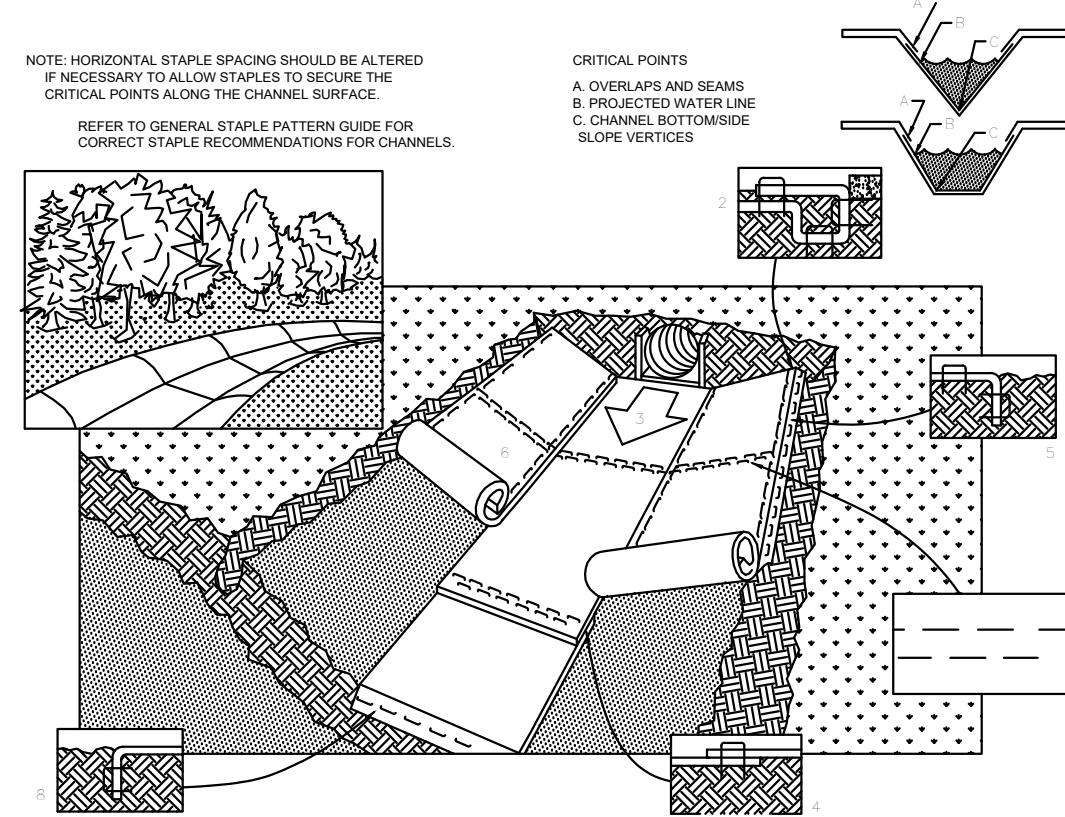
SEEDING & FERTILIZER SPECIFICATIONS

NO SCALE



STAPLE PATTERN GUIDE DETAILS

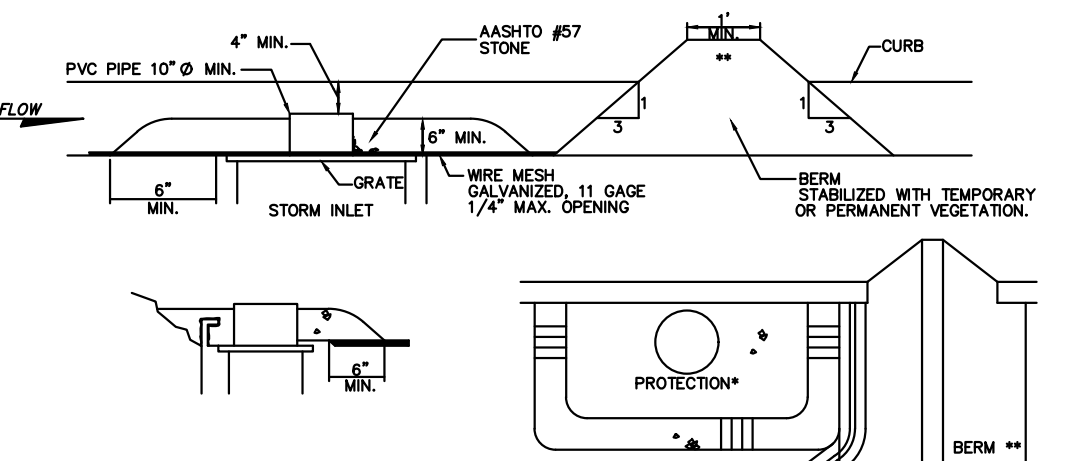
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- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
- SEED AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 4" DEEP X 4" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
- PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 4" DEEP X 4" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLED (2" FOR C/SO MATTING).
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER THE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 4" DEEP X 4" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

EROSION LINING INSTALLATION DETAIL

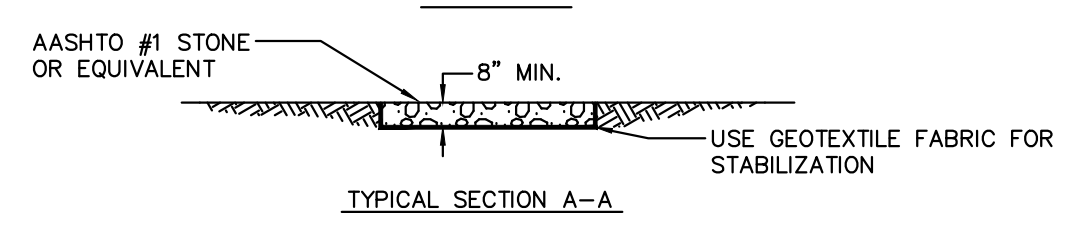
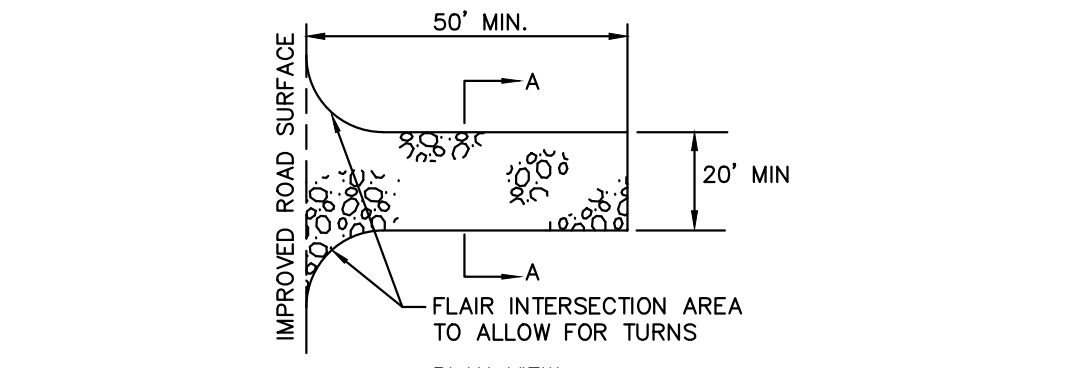
NO SCALE



- STONE PROTECTION IS NOT REQUIRED FOR INLETS TRIBUTARY TO SEDIMENTATION BASINS AND SEDIMENT TRAPS. BERMS ARE REQUIRED FOR ALL INSTALLATIONS.
- EARTHEN BERM TO BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM TO BE MAINTAINED UNTIL ROADWAY IS PAVED.
- SIX INCH MINIMUM HEIGHT ASPHALT BERM TO BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
- SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT.

CURBED ROADWAY - INLET PROTECTION

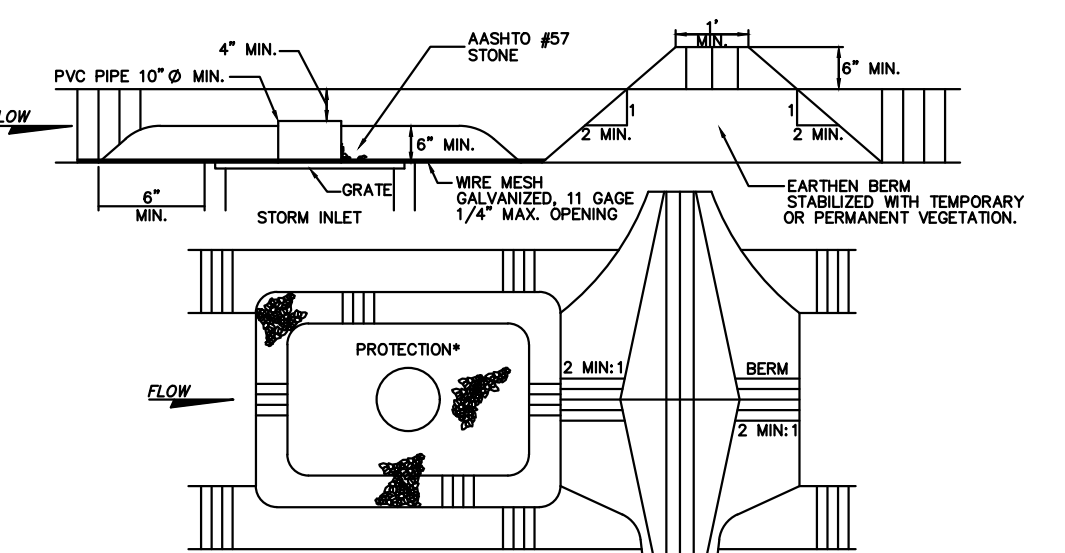
NO SCALE



MAINTENANCE: THE STRUCTURES THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK. A STOCKPILE OF ROCK WILL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE SITE. WASHING OF THE ROADWAY IS NOT PERMITTED.

STABILIZED CONSTRUCTION ENTRANCE

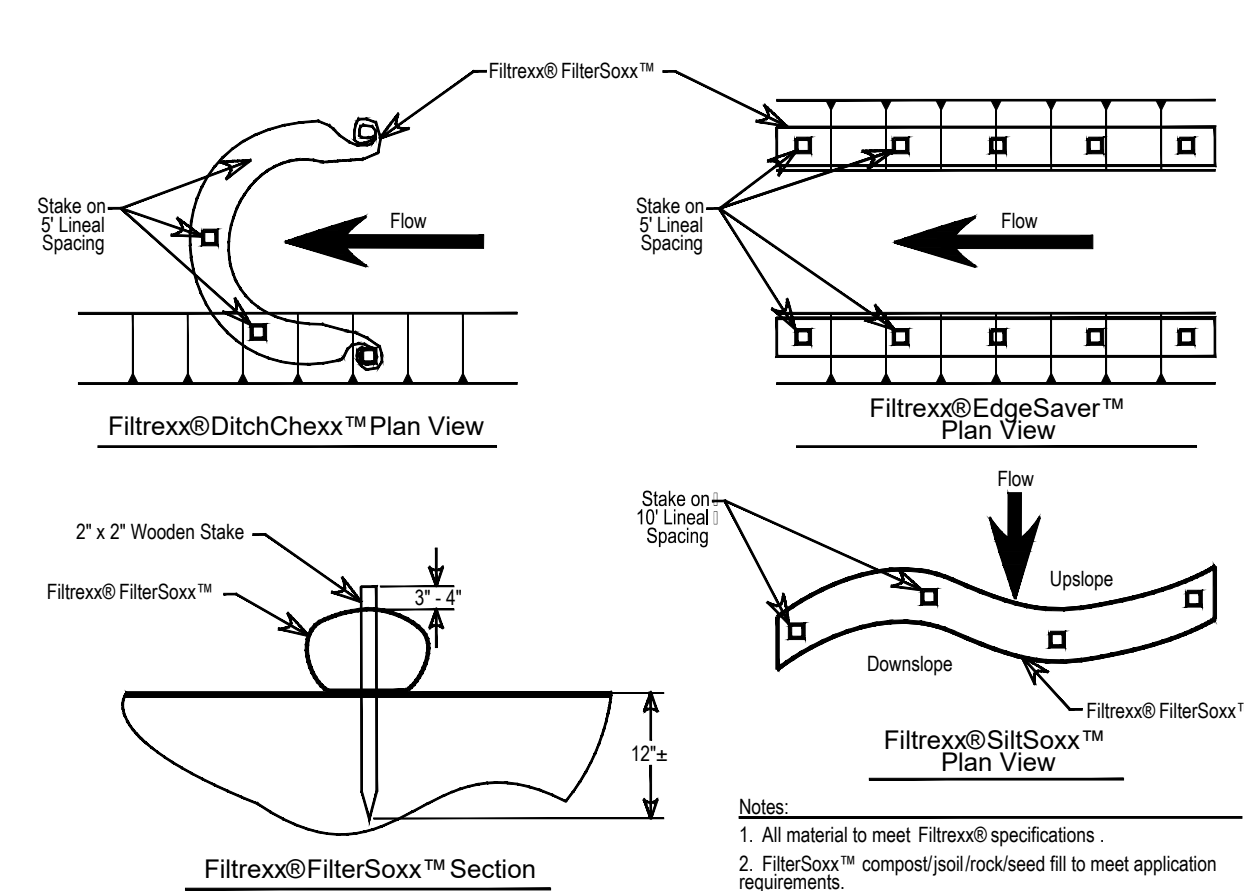
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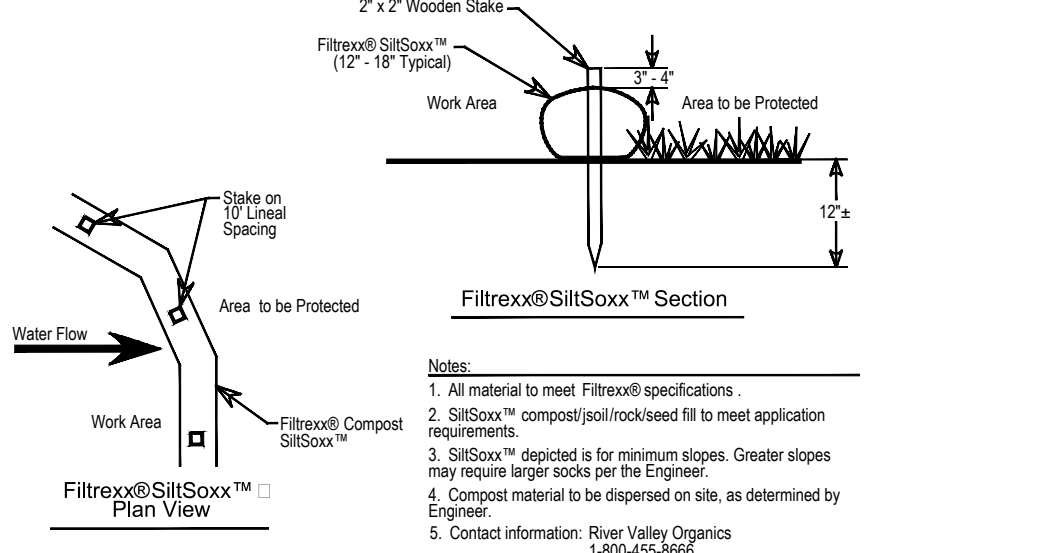
CHANNEL OR ROADSIDE SWALE - INLET PROTECTION

NO SCALE



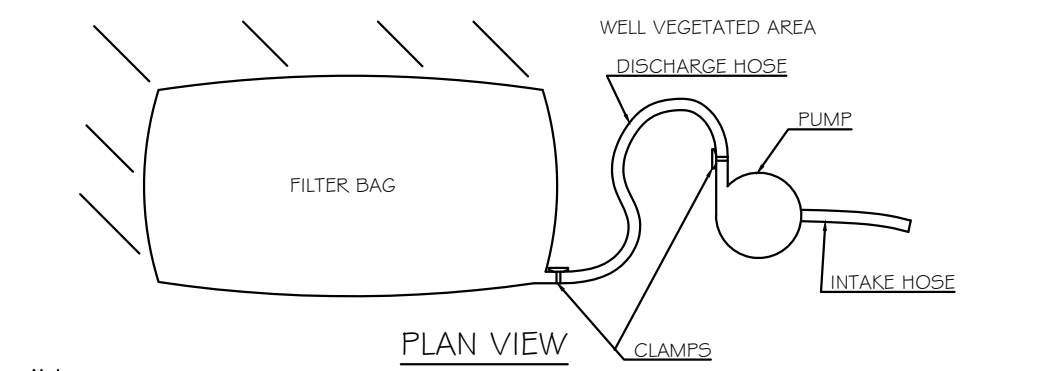
Filtrexx® FilterSoxx™ Staking

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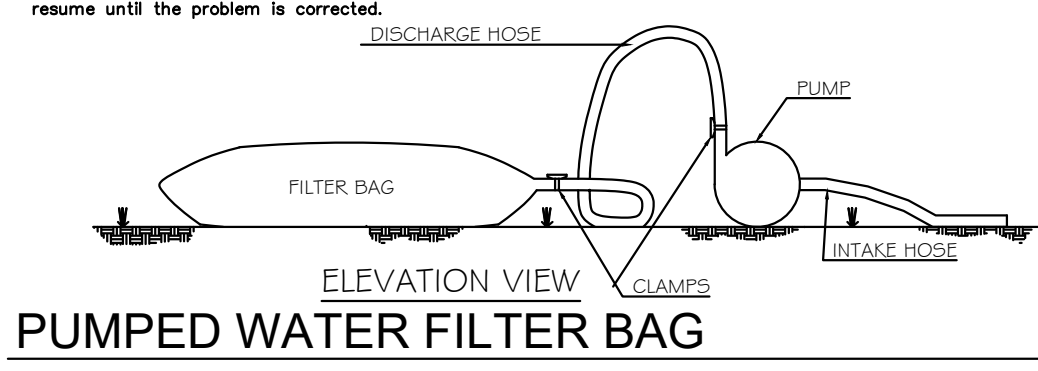
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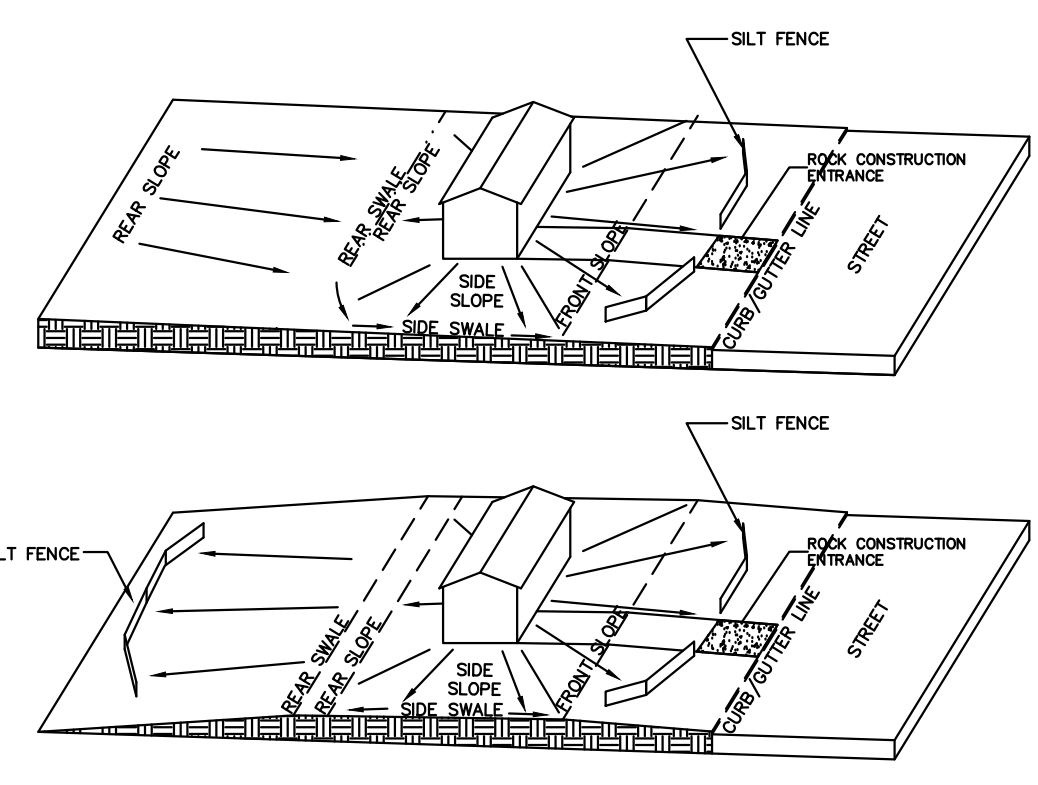
PUMPED WATER FILTER BAG

NO SCALE



ROCK FILTER OUTLET

NO SCALE



TYPICAL LOT E & S PLAN

NO SCALE

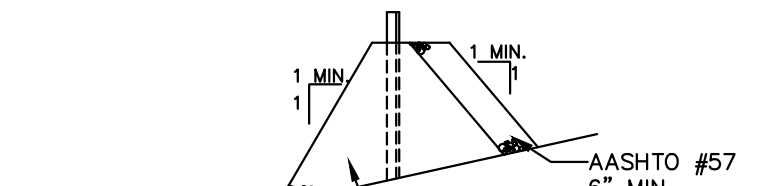
UTILITY LINE INSTALLATION

CONSTRUCTION REQUIREMENTS

- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF THE PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING AREA WILL BE DONE AT THE END OF EACH WEEK.
- IN CERTAIN CASES WHERE TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED, REQUIREMENTS 1-6 WILL APPLY WITH THE FOLLOWING EXCEPTIONS:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.
- THE TOPSOIL EXCAVATED FROM THE TRENCH SHALL BE CAREFULLY REMOVED AND STOCKPILED SEPARATELY FROM THE SUBSOIL. THE TOPSOIL SHALL BE RESTORED TO THE GRADED AREAS TO PRE-CONSTRUCTION CONDITIONS.

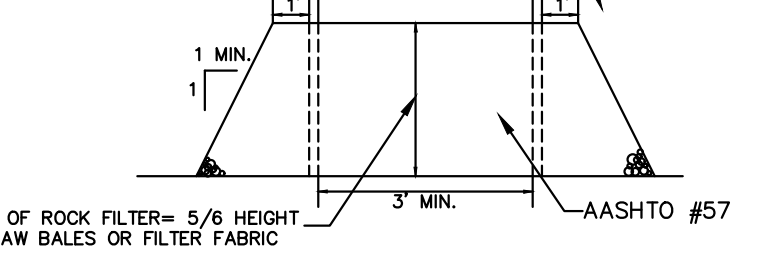
SILT SOXX MAINTENANCE NOTES:

- THE CONTRACTOR SHALL MAINTAIN THE SILT SOXX IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
- IF THE SILT SOXX HAS BEEN DAMAGED, IT SHALL BE REPAIRED, OR REPLACED IF BEYOND REPAIR.
- THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOXX WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOXX, OR AS DIRECTED BY THE LEBANON COUNTY CONSERVATION DISTRICT. ALTERNATELY, A NEW SILT SOXX CAN BE PLACED ON TOP OF AND SLIGHTLY BEHIND THE ORIGINAL ONE CREATING MORE SEDIMENT STORAGE CAPACITY WITHOUT SOIL DISTURBANCE.
- SILT SOXX SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.
- THE FILTER MEDIA WILL BE DISPERSED ON SITE ONCE DISTURBED AREA HAS BEEN PERMANENTLY STABILIZED, CONSTRUCTION ACTIVITY HAS CEASED, OR AS DETERMINED BY THE LEBANON COUNTY CONSERVATION DISTRICT.
- FOR LONG-TERM SEDIMENT AND POLLUTION CONTROL APPLICATIONS, SILT SOXX CAN BE SEEDED AT THE TIME OF INSTALLATION TO CREATE A VEGETATIVE FILTERING SYSTEM FOR PROLONGED AND INCREASED FILTRATION OF SEDIMENT AND SOLUBLE POLLUTANTS (CONTAINED VEGETATIVE FILTER STRIP). THE APPROPRIATE SEED MIX SHALL BE DETERMINED BY THE DESIGN PROFESSIONAL.



ROCK FILTER OUTLET

NO SCALE



TOPSOIL STOCKPILE

NO SCALE

NOTE:

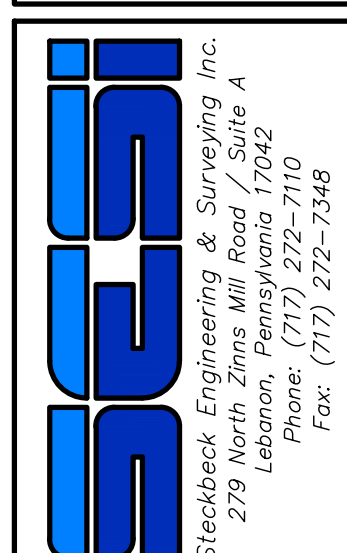
- A STOCKPILE SHALL BE USED TO CONTAIN ALL STRIPPED TOPSOIL IN A LIMITED AREA IN ORDER TO KEEP DISTURBANCE TO A MINIMUM.
- STOCKPILES ARE TO BE STABILIZED IMMEDIATELY.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.
- STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- STOCKPILES SHALL BE LOCATED SO THAT ALL SWALES CAN FUNCTION AS DESIGNED.

TOPSOIL STOCKPILE

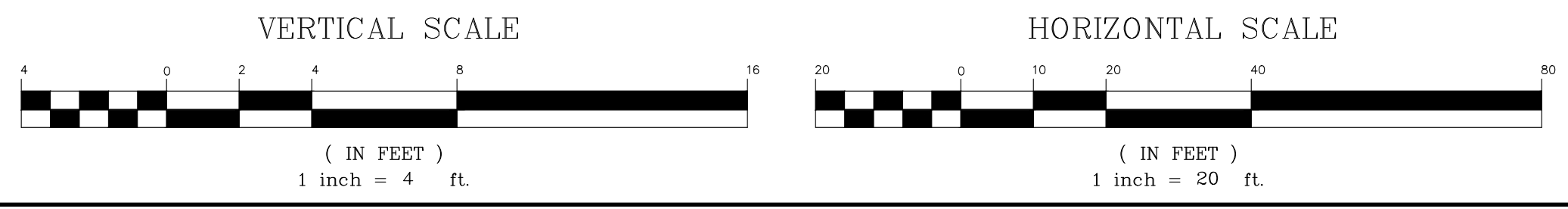
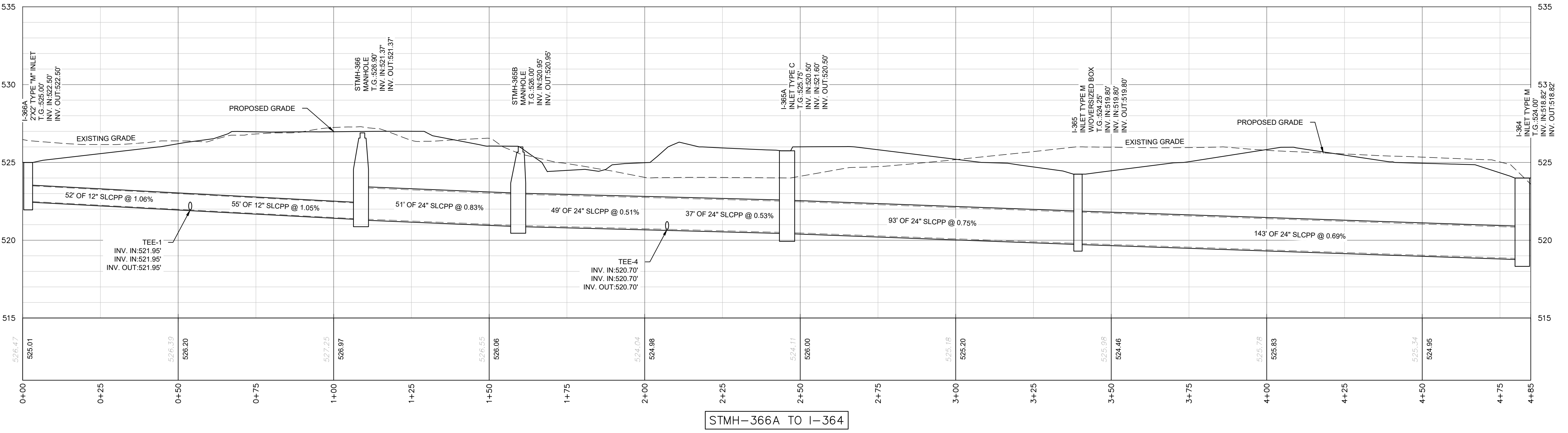
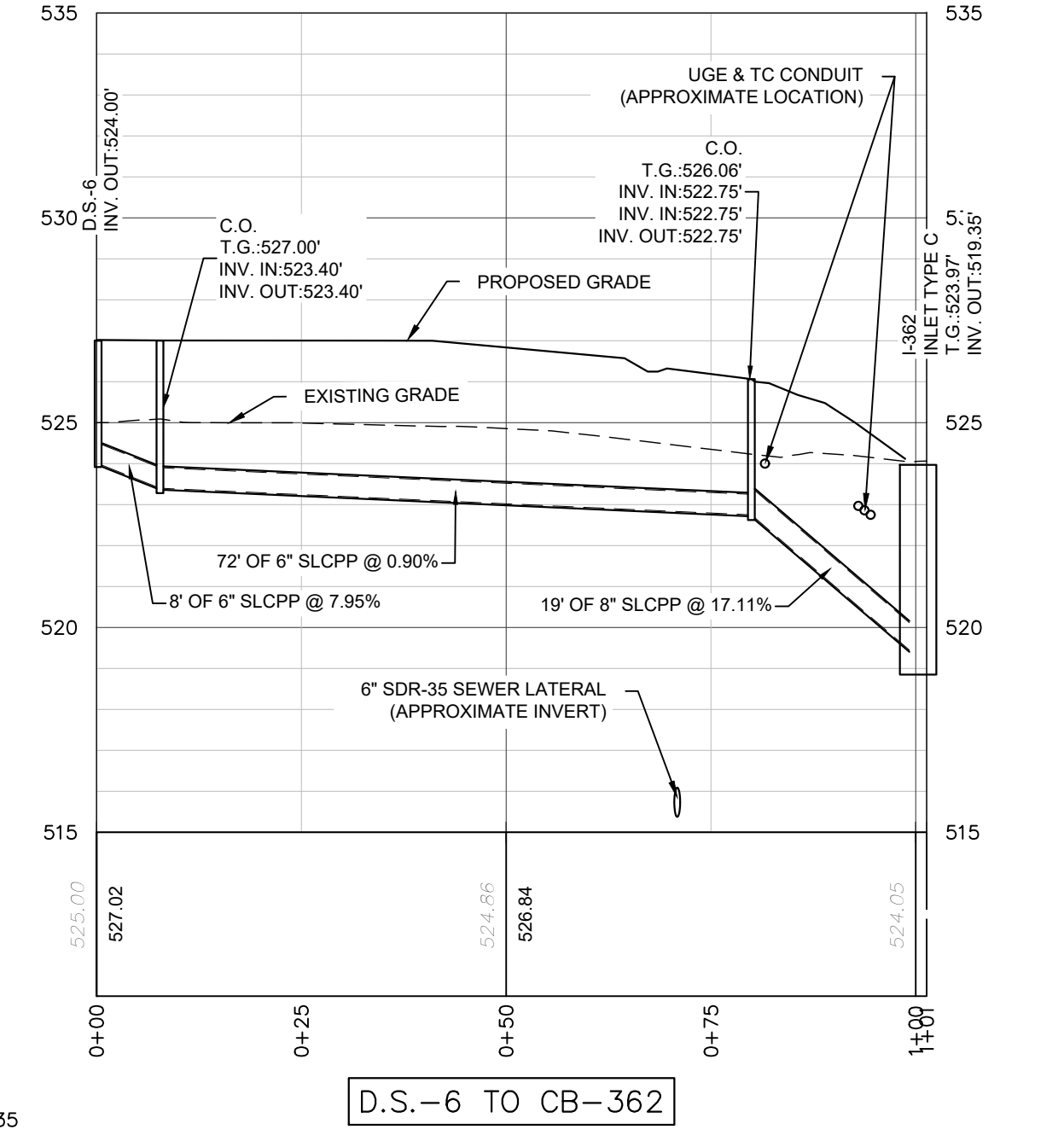
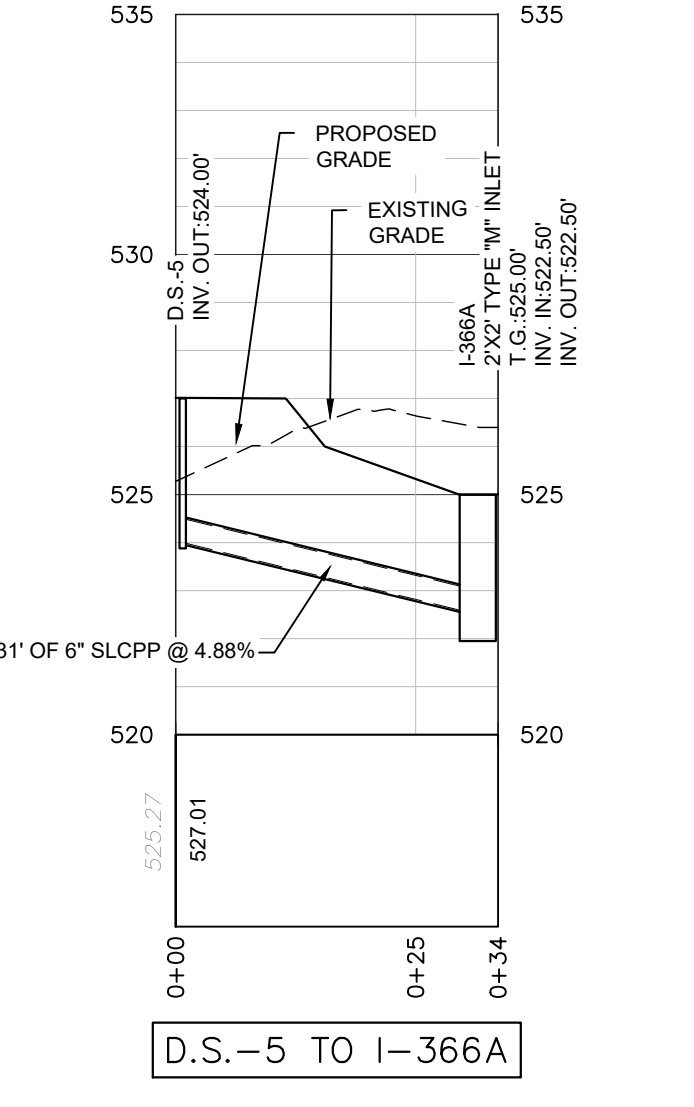
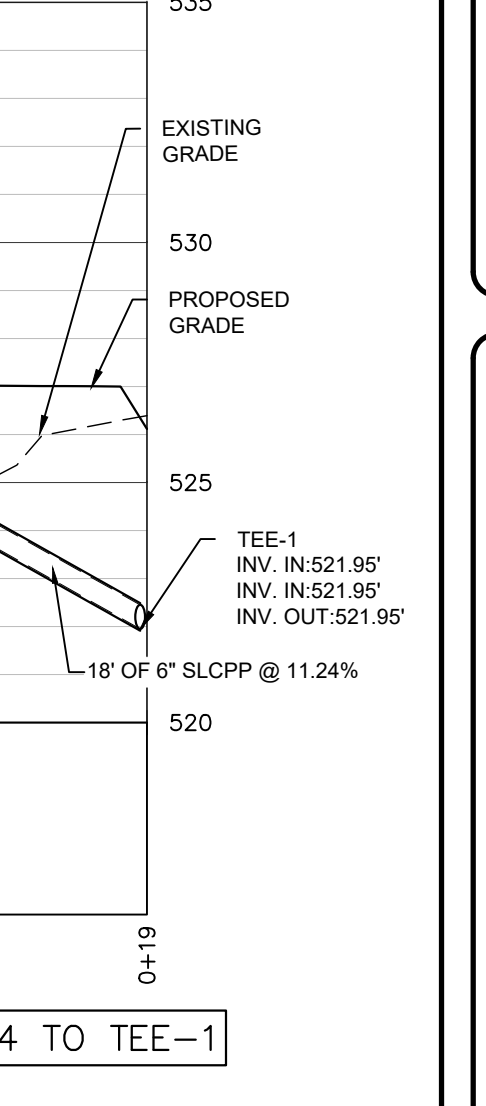
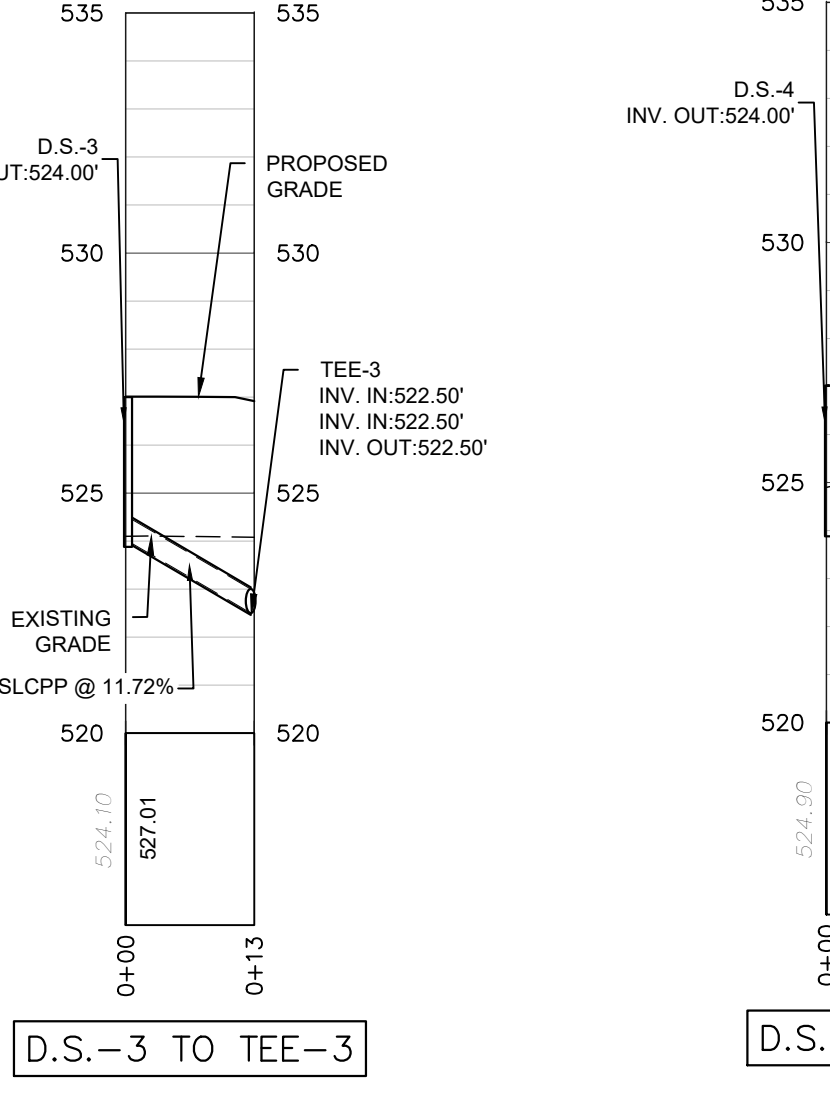
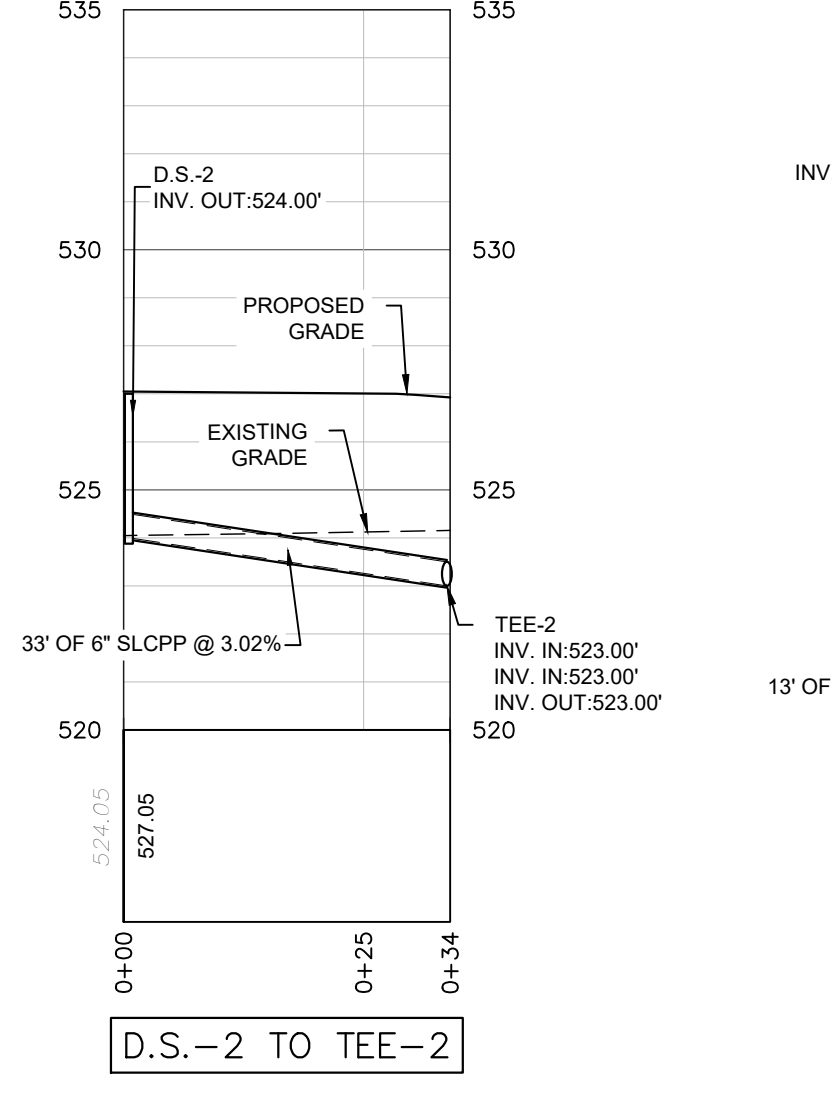
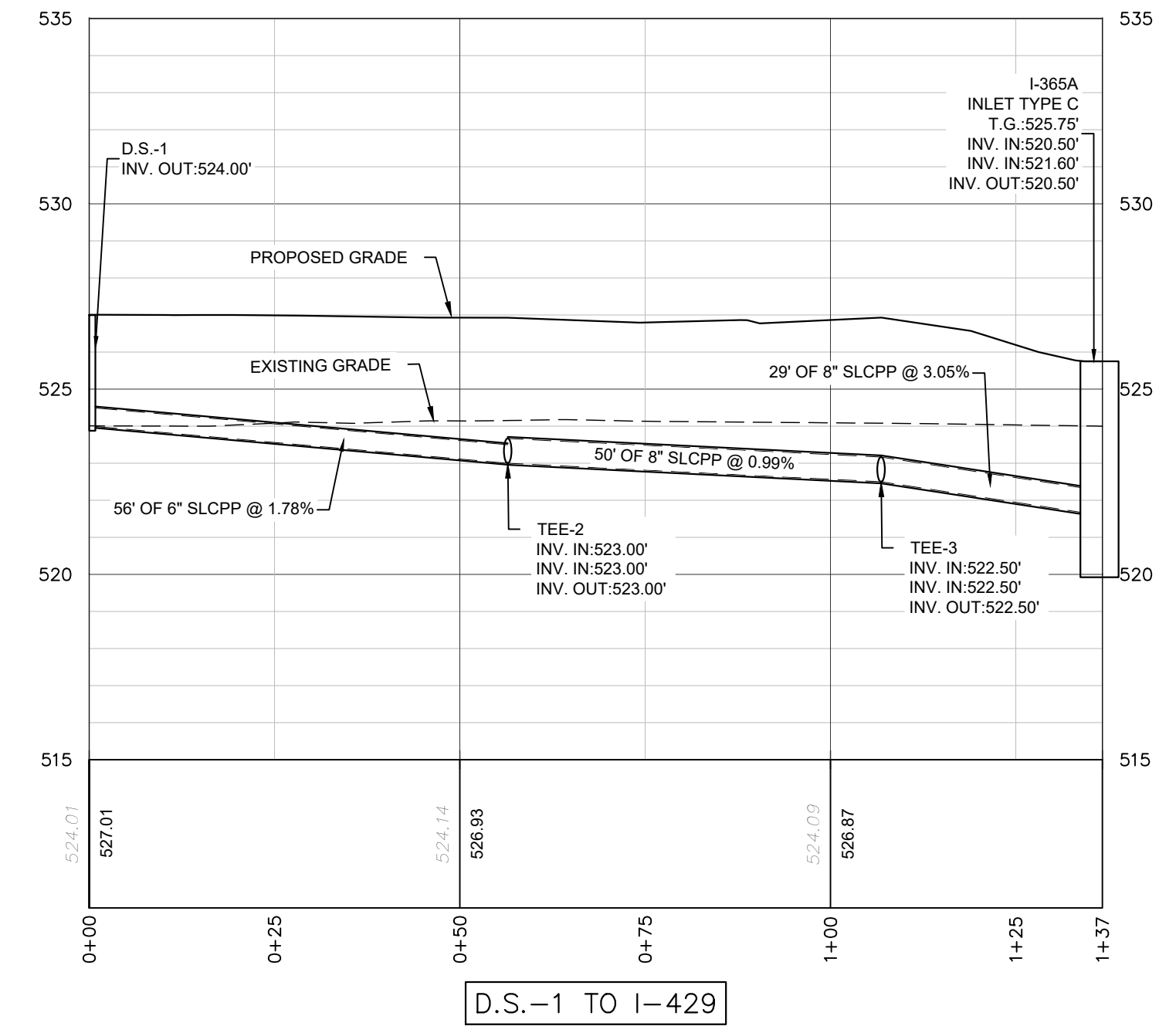
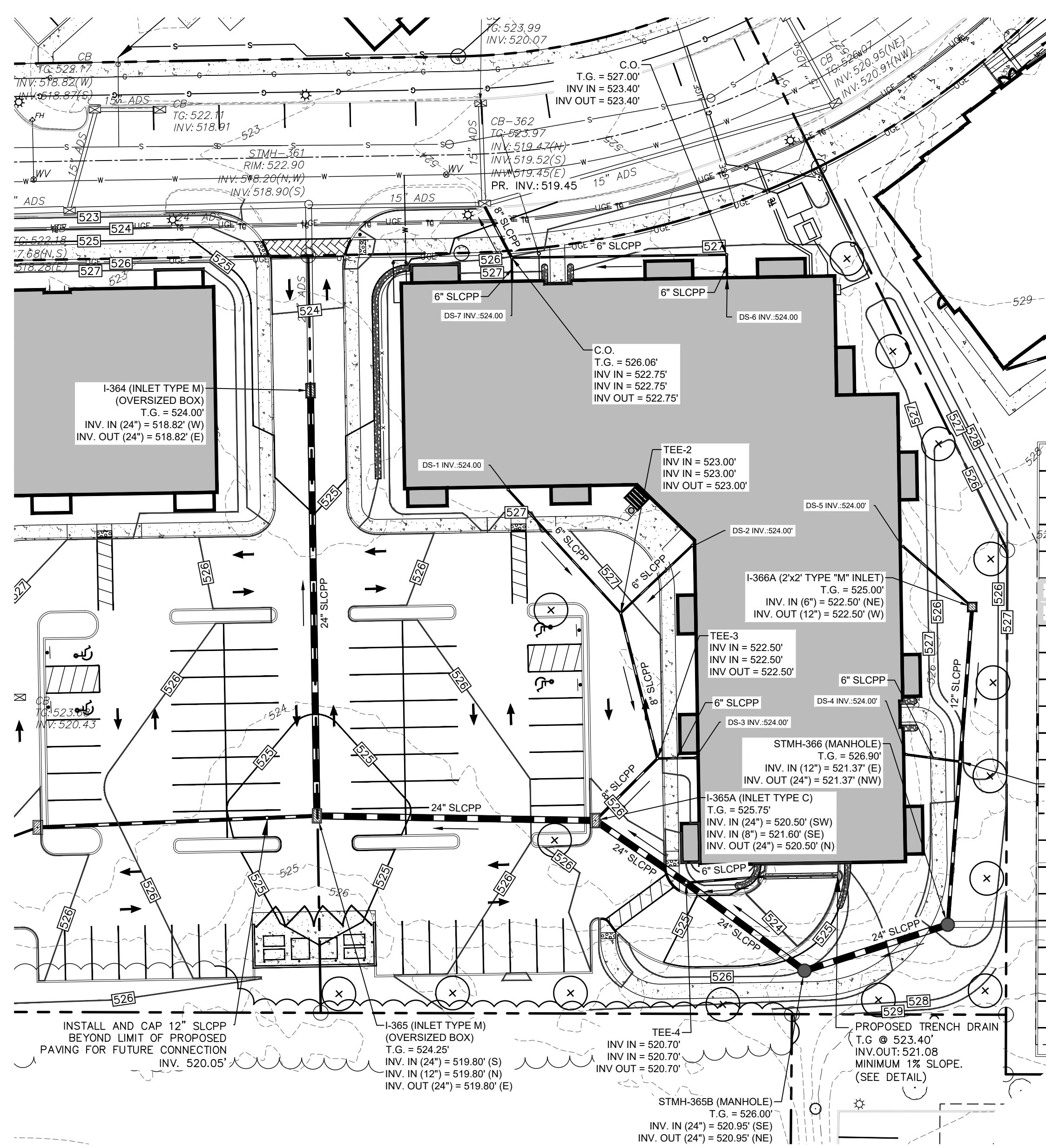
NO SCALE

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

BYLER REAL ESTATE HOLDINGS LLC
 located in
 North Cornwall Township
 Lebanon County, Pennsylvania



FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
CHECKED:	MRS
DATE:	8/8/24
PROJECT #	907-24-001



PROPOSED PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=4'

REVISION	DATE	BY
REVISION PER LCPD LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER NCT ZONING OFFICER LETTER DATED 8/21/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 8/30/2024	9/16/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/10/24	9/16/24	TMH/MFL
REVISION PER ACT ONE & ASSOCIATES DATED 9/19/2024	9/23/24	TMH/MFL
REVISION PER NCT ENGINEER LETTER DATED 9/19/24	9/23/24	TMH/MFL

REVISED FINAL LAND DEVELOPMENT PLANS (LOT 26)

for
BYLER REAL ESTATE HOLDINGS LLC
located in
North Cornwall Township
Lebanon County, Pennsylvania

Steadbeck Engineering & Surveying, Inc.
279 North Zionsville Road, Suite A
Lebanon, PA 17042
Phone: (717) 272-7110
Fax: (717) 272-7348

FIELD CREW:	SESI
BASE MAP:	MPO
DRAWN:	TMH
DESIGN:	MFL
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PROFILES

20

OF 20 SHEETS