

Duane Arnold Solar IV, LLC

Local Investment. Jobs. Clean Energy.

Iowa Utilities Commission
Informational Meeting

6:00 p.m.

Wednesday, July 24, 2024

Hawkeye Downs Expo Center

Linn County, Iowa

Kimberly Dickey

Project Director



Agenda

- **Our values**
- **Investing in Iowa**
- **Duane Arnold Solar IV, LLC overview¹**
 - Why Linn County, Iowa?
 - Proposed construction timeline
 - Proposed facility; existing land use
 - Project participation; landowner compensation
 - Construction impact mitigation
 - Project decommissioning
 - Economic benefits
- **Q & A**

We are a values-based company

We are
committed to
excellence



We do the
right thing



We treat
people with
respect



Generating affordable, homegrown energy for Iowa since 1999

Wind and solar sites are compatible with agriculture and are fast becoming an important component of farm viability in many areas across the country.

Our subsidiaries **own and operate 13 wind facilities** as well as a training facility and service and repair facility in Iowa. We also have **two wind projects** and **three combined solar and energy storage projects** in development.



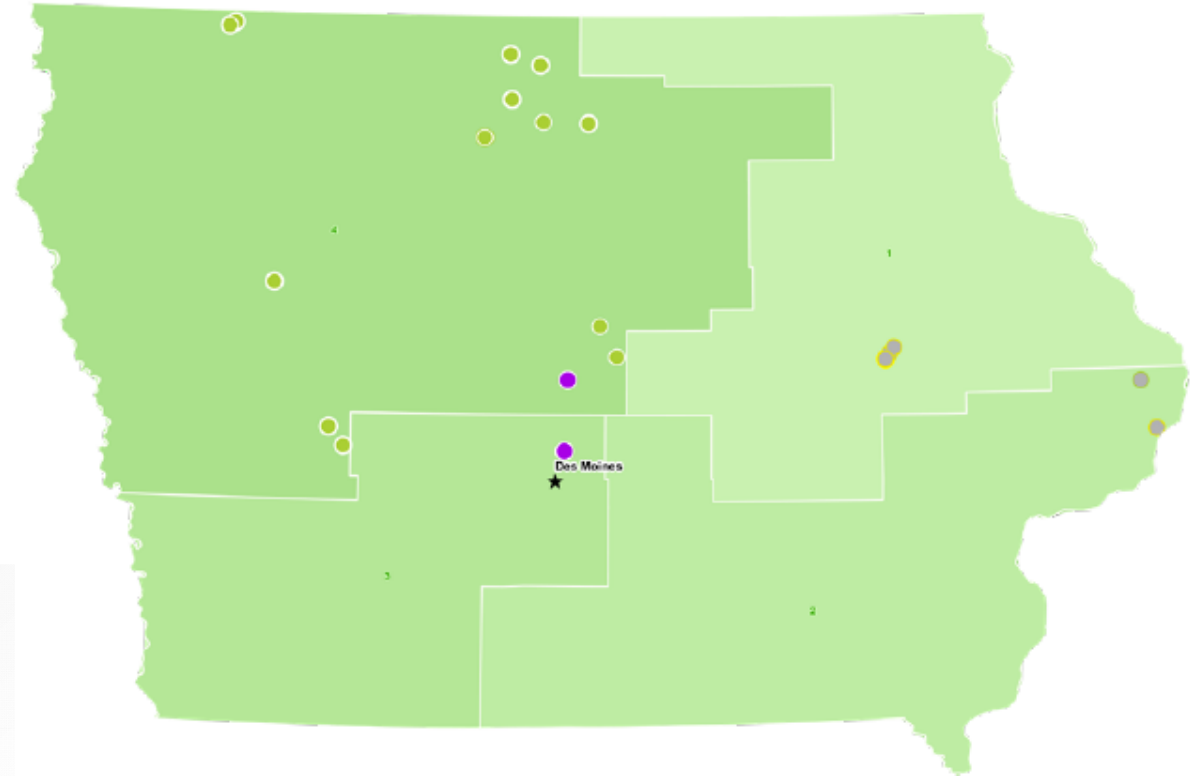
\$3.5 B
total capital
investment



\$68 M
annual payroll



\$10.1 M
annual land
payments



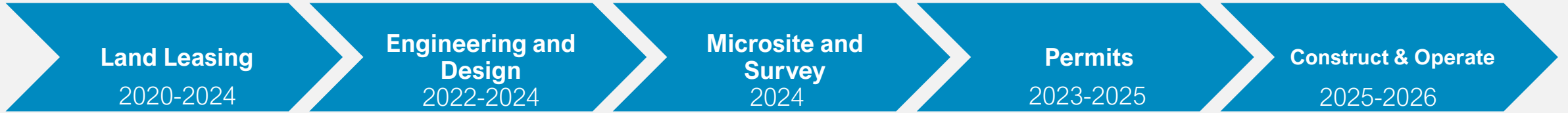
Why Linn County, Iowa?²

- **Solar projects are successful when landowner interest and community support align**
- **Company and project team have extensive knowledge of Eastern Iowa**
- **Solar site assessment indicates strong solar resource**
- **Combination of repurposed and shared Project facilities minimize interconnection and transmission impacts permitting Phase IV to interconnect hundreds of MWs of solar and BESS with minimal new transmission facilities - reducing cost and other impacts**

NextEra Energy Resources is the developer of choice for solar energy projects in Iowa

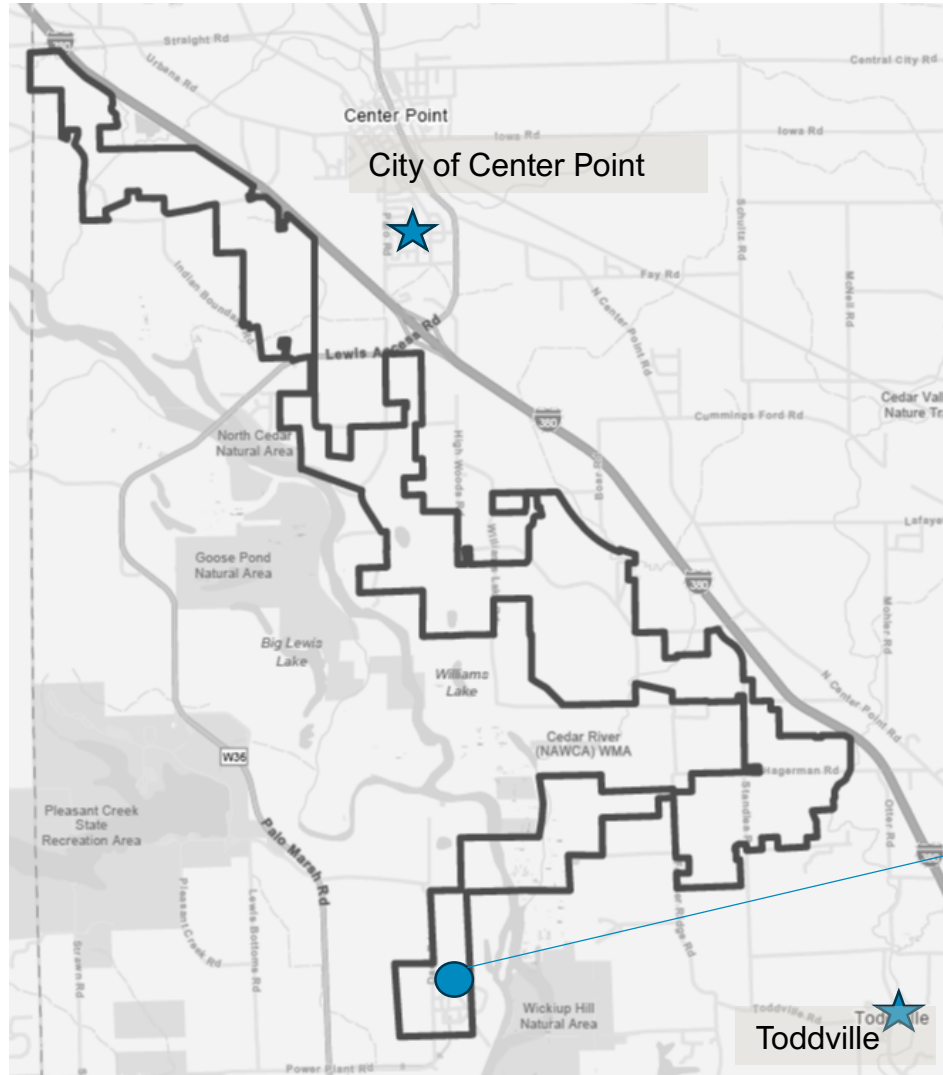


Project timeline³



3. Addresses requirements of 199 Iowa Administrative Code (IAC) 24.7(5)b.

Proposed facilities; existing land use⁴



220 MW
of clean
energy

Up to 180
MW
battery
energy
storage

Point of
interconnection

Minimizing community and environmental impacts



Fenced Area ~ 1,460 acres
Panel Area ~ 390 acres



Solar modules installed on single-axis horizontal trackers supported by steel H-piles



50 ft. setback: Property lines and public right-of-way (solar and BESS)
300 ft. setback: Non-participating landowner dwellings (solar)
120 ft. setback: Centerline of stream corridors and open ditches (solar and BESS)
200 ft. setback: Property line or public right-of-way setback (BESS)
500 ft. setback: Property line with occupied structure not located on the subject property (BESS)



Panel areas: avoid 100 and 500-year FEMA flood zones
Minimizes impacts: mapped wetlands, tree removal
Noise levels: not to exceed 55 dBA (day) or 50 dBA (night)
CSR: 77% of site <65% CSR

Staging and construction



Pile driven piers and racking⁶



Installation⁷



Underground collection lines⁸



Project collection substation and shared facilities⁹

- **Underground medium voltage collection lines will travel underground from the solar array and BESS to the collection substation**
- **Less than two acres, located less than one half mile from underground boring location near the Cedar River**
- **Interconnects with shared facility collection substation and transmission line to interconnect into the grid**



Project participation; landowner compensation¹⁰



More than 50 private landowners participating in the project



Duane Arnold Solar IV, LLC is working to achieve full site control

Includes: solar leases, underground collection easements, purchase options, tenant farmer, good neighbor, and private screening agreements



Affected parties contacted prior to this meeting

If you believe you are qualified and have not been contacted, please reach out



Progressing towards 100% voluntary easements

Eminent domain is not anticipated to be sought in application

Respecting the land

- **Strong and consistent communication throughout the process**
- **Roads require careful planning and coordination with local road authorities and landowners**
- **Drain tile locations are also very important; we have been gathering tile maps to help us lay out the project improvements**
- **Erosion control measures include permanent vegetative cover including native grasses and pollinator-friendly species**



Key compensation terms¹¹



Market rate for solar leases and good neighbor participation agreements with annual inflation escalator



Market rate for tenant farmer participation payments and custom cover crop farming



30-year lease/participation agreements ‘run with the land,’ with option to extend 10 years



Market rate compensation terms for crop and private drain tile damage included in solar leases, as applicable¹²

11. Addresses requirements of 199 Iowa Administrative Code (IAC) 24.7(5)(d) through (g).

12. Addresses requirements of 199 Iowa Administrative Code (IAC) 24.7(5)h.

Decommissioning

- **Duane Arnold Solar IV will decommission above ground facilities and restore properties to pre-existing conditions**
 - Solar panels, racking, piles, cabling, inverters removed
- **Financial security issued to local jurisdictional authority prior to construction mobilization**
 - 25% step-ups every five years with 100% at facility year fifteen
 - Net costs of decommissioning are determined by a third-party engineer, annual proof of recertification and re-estimated every five years
 - Security covers estimated decommissioning costs in the unlikely event Duane Arnold Solar IV does not decommission on its own
- **Solar facility components will be evaluated for use in secondary markets, sold for scrap or recycled**



Expected community benefits



~ 200 construction jobs
1-2 high-paying, full-time jobs to operate the facility



\$1.9 million annually in new local long-term output
for Linn County



\$7.7 million in property taxes over the life of the project



\$4.5 million in total school district revenue over the life of
the project

Next steps

- **Micrositing**
- **Detailed design**
- **Ongoing local and state permitting**
- **Ongoing landowner and agency coordination prior to construction**

Project will fully comply with local, state and federal requirements

Questions?

- **Visit our local office**

606 First Street
Palo, Iowa 52324

- **Online**

www.DuaneArnoldSolar.com





Questions