



# Cleveland Landmarks Commission

Thursday, October 28, 2021

**\*\* PLEASE MUTE YOUR MICROPHONE \*\***

Julie Trott, Commission Chair  
Donald Petit, Secretary

# Cleveland Landmarks Commission

## Preamble

**IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.**

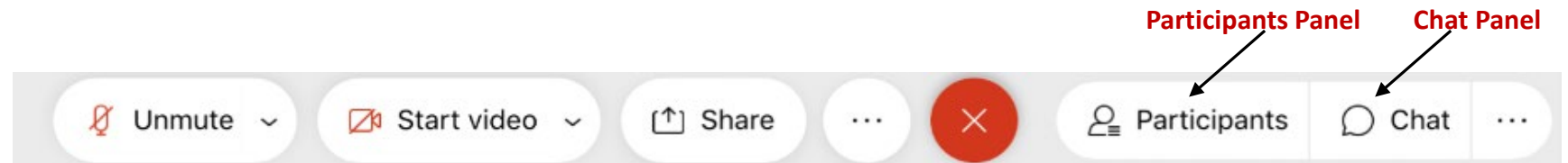
**ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.**

**IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.**

**WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.**



**CALL-IN USERS CAN UNMUTE BY USING \*6**



October 28, 2021

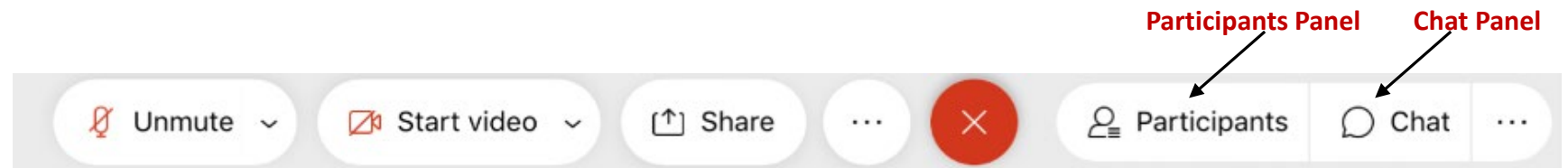
# Cleveland Landmarks Commission

## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL  
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN  
COMMENT ON A PARTICULAR MATTER.**



October 28, 2021

# Cleveland Landmarks Commission

## Public Hearing

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October 28, 2021

# Public Hearing, Cleveland Landmark Nomination

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October 28, 2021



## **Lake Shore and Michigan Southern (Norfolk Southern) Railroad Bridge over Lake Avenue**

Nominated by Commission July 8, 2021

Ward 15: Spencer



# Lake Avenue Bridge (1912)

Cleveland

Landmark Nomination

Cleveland Landmarks Commission  
Meeting July 7, 2021

Julia LaPlaca

Ohio History Service Corps Member 2019-20

[jlaplaca@umich.edu](mailto:jlaplaca@umich.edu) | [jrl183@case.edu](mailto:jrl183@case.edu)

# Description



North Side



South side

Arabesque frieze and bracketed cornice detail



Steel work and pillars from west side



Steel underneath bridge





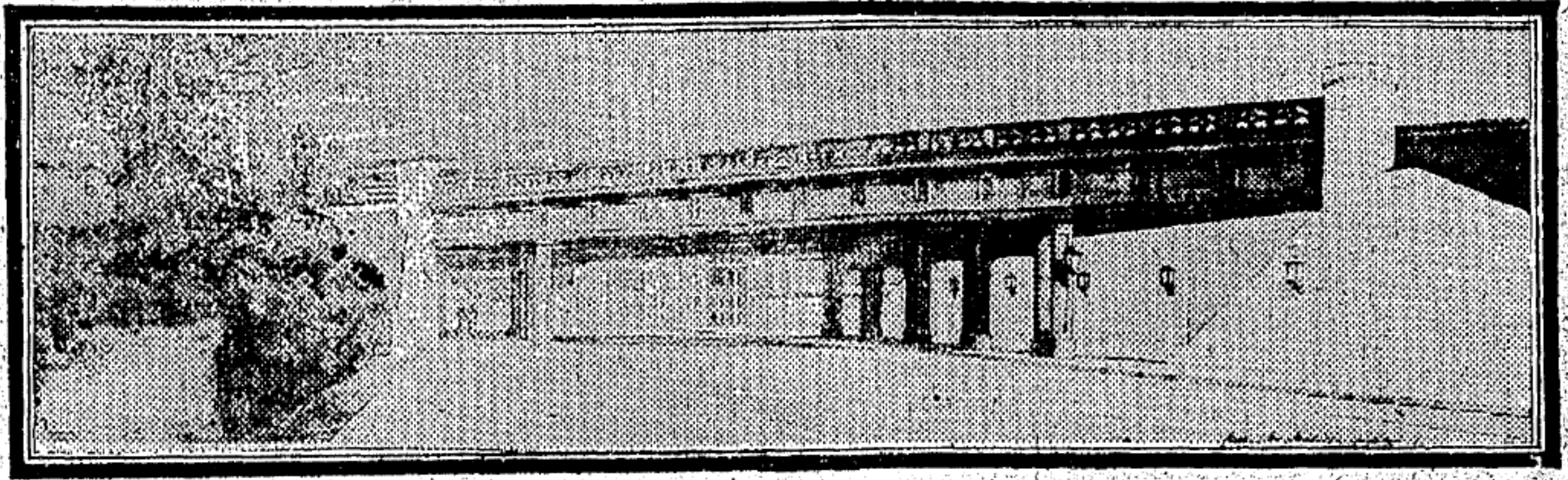
# Origins



1898 Map showing underpass; previous maps show a grade crossing

“Bridges Lake Ave at New York Central Ry 1910s”  
Western Reserve Historical Society (wrhs:4183 )

# BRIDGE THAT IS PLANNED TO DO AWAY WITH TUNNELS



Proposed Lake Shore span over Lake-av N. W., which will aid traffic.

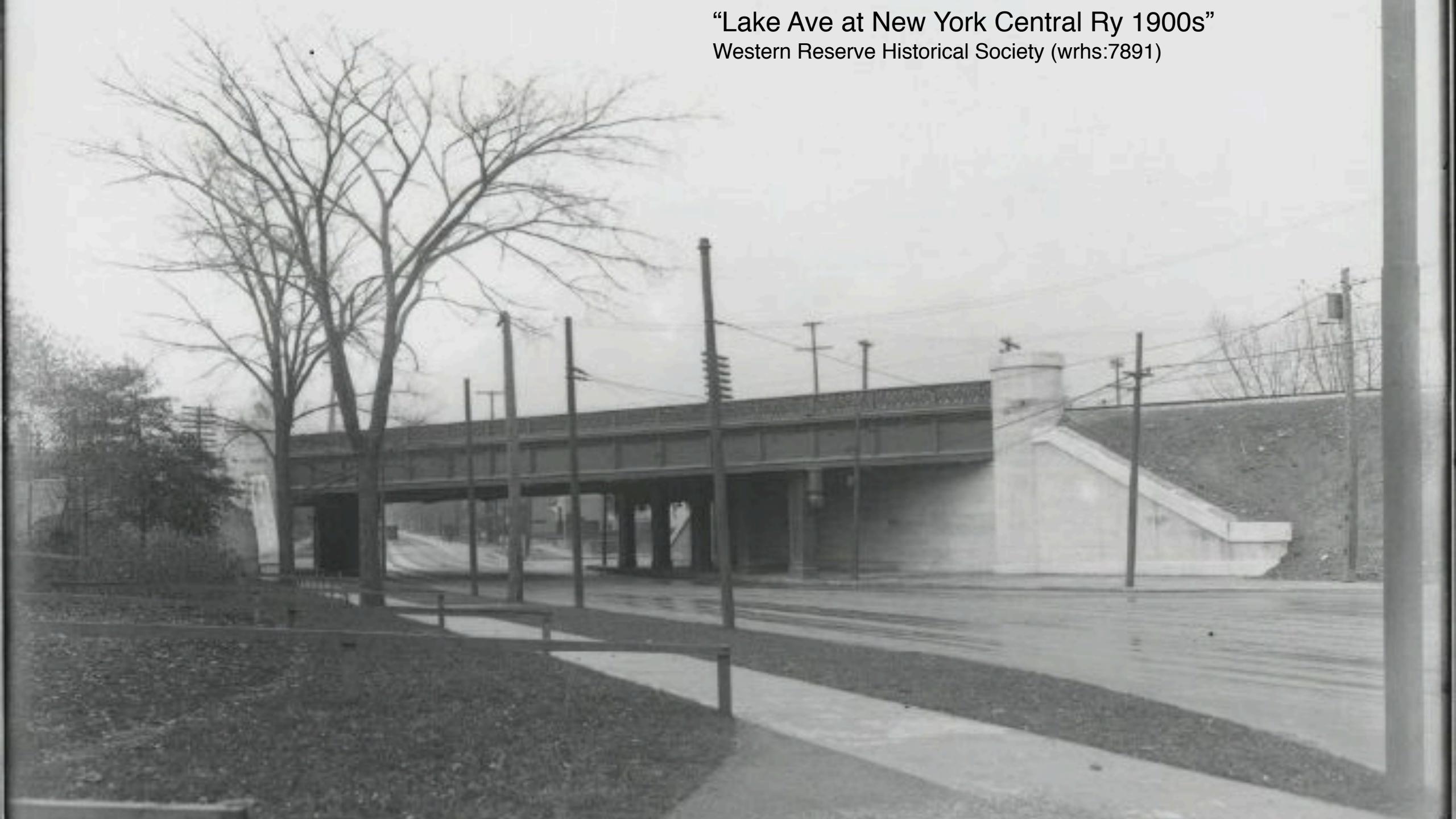
The above sketch, just completed by Frederick W. Striebinger, indicates a treatment for the new Lake Shore bridge over Lake-av N. W. At the present time there is a double tunnel

there, which is dangerous to motorists and pedestrians alike. It is to be removed during the coming year and the street widened.

Architect F. W. Striebinger has

just completed the plan. It is now on exhibition at the show being held by the architects on the fourth floor of the B. of L. E. building. The show is free to the public.

“Lake Ave at New York Central Ry 1900s”  
Western Reserve Historical Society (wrhs:7891)





**Cleveland streetcar passes under the New York Central tracks on Lake Ave. near Clifton. Photo dated June 6, 1946.**

From 'Lake Shore Electric Railway', Thomas, Lamont, and Doane, 2007.

# Architect: Frederick Striebinger (1870-1941)



Bridge detail now and then

Photo credit: (L) Nikki Hudson (2018); (R) Engineering News, V. 73 No. 6, 2/11/1915



The "Tremain-Gallagher House" in Cleveland Heights, one of the many buildings and structure designed by Striebinger in the Cleveland area.

Library of Congress

# Recent History, NRQ Eligibility





## Lake Avenue Bridge (1912)

Cleveland  
Landmark Nomination

Cleveland Landmarks Commission  
Meeting July 7, 2021

Julia LaPlaca

Ohio History Service Corps Member 2019-  
20

[jlaplaca@umich.edu](mailto:jlaplaca@umich.edu) | [jrl183@case.edu](mailto:jrl183@case.edu)

# Cleveland Landmarks Commission

## Adjournment

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October 28, 2021



# Cleveland Landmarks Commission

## Call to Order & Roll Call

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October 28, 2021

# Cleveland Landmarks Commission

## Public Hearing Action

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October 28, 2021

# Public Hearing Action, Cleveland Landmark Nomination

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October 28 , 2021



**Slovenian Workmen's Home and World War II War Memorial**

**15333-15405 Waterloo Road**

Public Hearing October 14, 2021

Ward 8: Polensek

# SLOVENIAN WORKMEN'S HOME AND MEMORIAL

CLEVELAND LANDMARK NOMINATION

15333 - 15405 WATERLOO ROAD

# Slovenians to America

- Slovene settlement in Cleveland beginning in the 1880s
- Immigration heaviest in 1890-1914, 1919-1924 and 1949-60
- 1910 Census – 14,332 in Cleveland
- 1970 Census – 46,000 foreign born or mixed parentage Slovenes in Cleveland



# Significance

- Its character, interest or value is part of the development, heritage or cultural characteristics of the City, State or the United States.
- The historic property exemplifies the cultural, economic, social or historic heritage of the City.
- The historic property embodies elements of architectural design, detail, materials, or craftsmanship which represent a significant architectural innovation.
- The historic property relates to other distinctive areas which are eligible for preservation activities, based on a historic, cultural, or architectural motif
- The historic property's location or its singular physical characteristics represent the establishment or are a familiar visual feature of a neighborhood, community or City.

- August 5, 1925 – Plans to start building
  - Total Cost - \$86,700 (\$1.35 million in 2021)
- Architect Alexander C. Wolf
  - Active from 1911 – 1954
  - Member of the City Planning Commission 1922-1927
  - Architect with Cleveland Transit System during WWII
- May 31, 1926 – Groundbreaking
- July 25, 1926 – Laying of cornerstone
- January 1, 1927 – Grand Opening

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**SLOVENIAN HALL**  
**TO COST \$76,000**


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***Eighteen Societies Will  
Lay Stone July 25.***

Eighteen Slovenian fraternal societies will unite in building a \$76,000 hall at Waterloo and Shiloh roads N. E., two stories high. It will be financed by a bond issue.

Lodge rooms will occupy the 60 by 150-foot basement, with an auditorium seating 400 on the first floor. Offices, janitor's suite and two lodge rooms will occupy the second floor.

Slovenian organizations from other cities have been invited to the cornerstone laying July 25. Several bands will be present.

John Rozence, 15721 Waterloo road N. E., is president of the representatives of the fraternal organizations.

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**Warren Iron & Steel Sold**

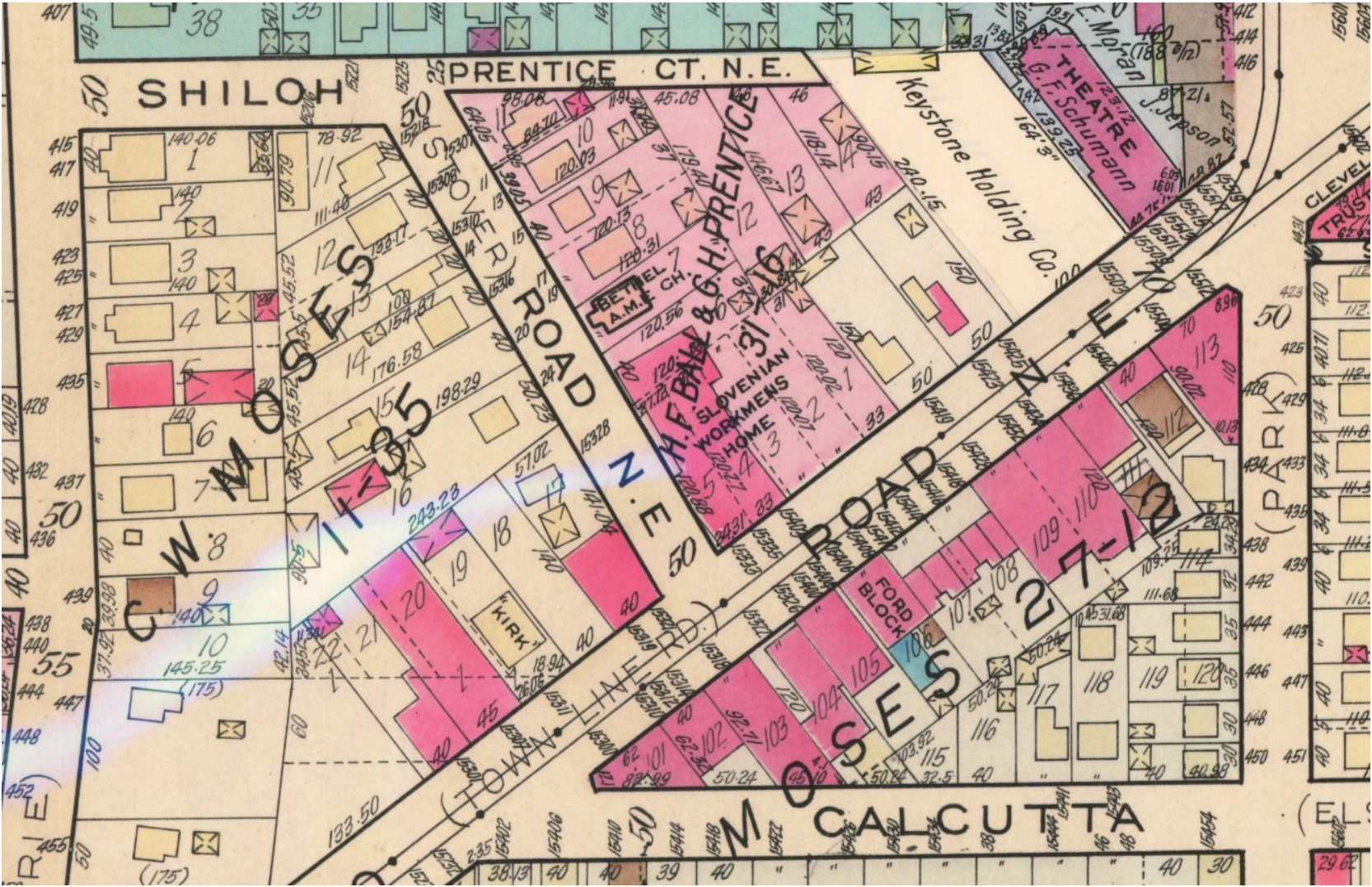
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- 1935 – Addition of Public Bar Room
  - R.P. Brosch (?)
- 1939 – Addition of Bowling Alleys
  - Architect Harry B. Hoener
  - Dedicated September 16-17, 1939
- 1945 – Ladies of the Progressive Slovene Women of America Circle No. 1 helped with the installation of the monument honoring the deceased war veterans
- 1947 – Addition of second story to 1935 addition
  - Architects Paul Matzinger and Rudolph Grosel
  - Croatian Liberty Home (1949)



- 1958 – Storefront plate glass removed and replaced with glass block and brick face in tavern only
- 1973 – Purchased the property next door to tear down the house for parking
- 1977 – Alteration to west storefront to match
- 1980s – Murals in windows added
- 2014 – Removal of glass block for new storefront windows

# Map 1927





# Monument

- Gold Star
  - 14 Killed in Action
- 548 Service members from the neighborhood
  - Names on bronze plaques

**Unveil War Memorial Sunday**



One of the first monuments to be built in honor of World War II veterans will be dedicated Sunday by Slovene organizations meeting in the Slovene Workman's Home, 15335 Waterloo Rd.

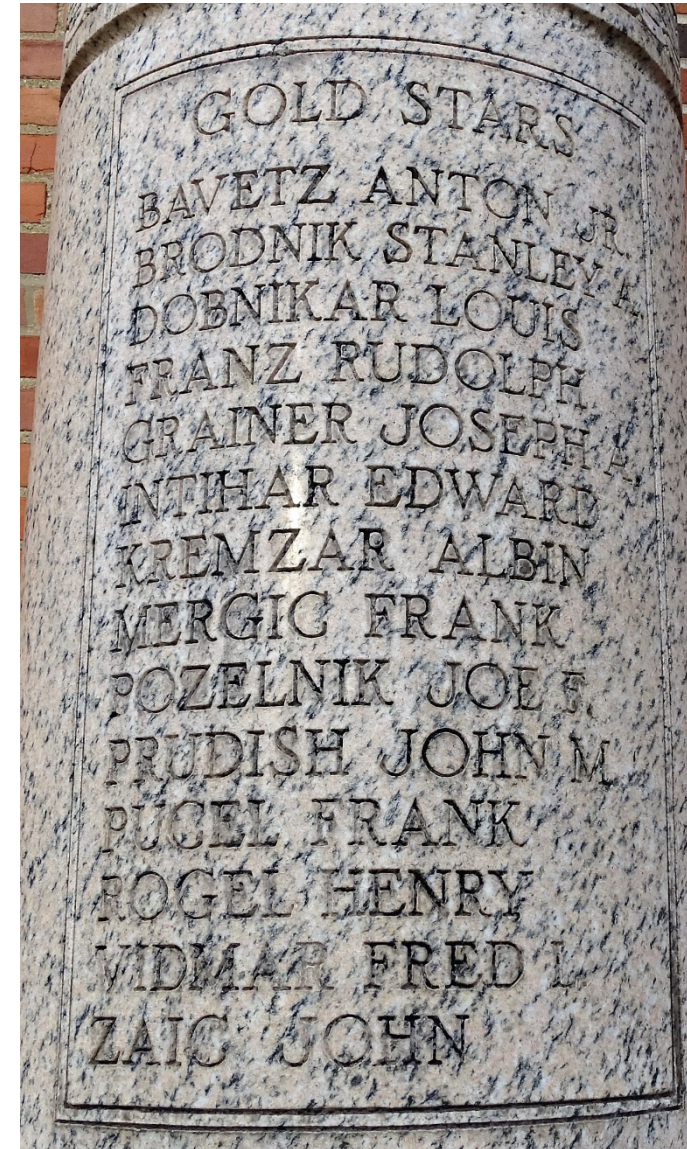
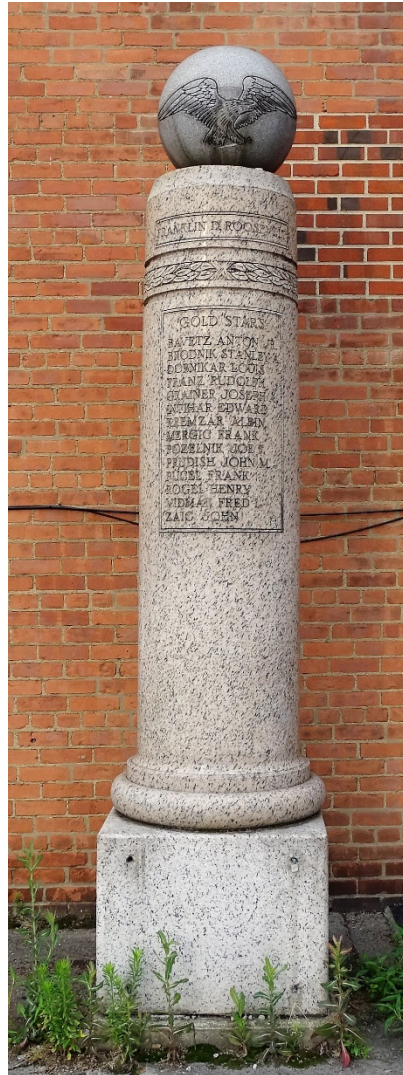
Financed by the combined lodges of the Slovene Workmen's Home, the monument is 13 feet high. A pillar eight feet high contains names of 14 men in the neighborhood who were killed in action. The 15th name is that of President Roosevelt.

The base of the monument contains four bronze plaques with names of 548 men of the neighborhood who served. The monument was built by Frank Kosich of 15425 Waterloo Rd.

Sunday's dedication program will include a parade at 1:30 p. m. and a speaking program in front of the monument at 2 p. m.

**FRANK KOSICH** stands at the foot of the monument to servicemen to be dedicated by Slovenes Sunday at 15335 Waterloo Rd.

# Monument



# Current Conditions





**AVAILABLE** David Wagner **216.839.2002**  
Mixed Use, Historic Re-Development

Shiloh

SPEED  
LIMIT  
25

NO  
PARKING  
ANY  
TIME









# Cleveland Landmarks Commission

## Certificates of Appropriateness

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October 28, 2021



October 28, 2021

**Case 21-071:** Ohio City Historic District (8/26/21 Concept Plan)

**Franklin Yards / Cook-Bousfield House 3105 Franklin Boulevard**

Renovation

Ward 3: McCormack

Project Representatives: Andrew Iarussi, Dalad Group; Jeffrey Gibbon, Gibbon Architecture

PROPOSED HISTORIC REHABILITATION & RENOVATION:

# FRANKLIN YARDS

3105 FRANKLIN BOULEVARD  
CLEVELAND, OH 44113

## APPROVALS RECEIVED:

<i>date</i>	<i>description</i>	<i>approving entity</i>	<i>record</i>
08/26/2019	INTERIOR DEMOLITION	CITY OF CLEVELAND	APPROVAL #19023735
07/30/2020	HISTORIC TAX CREDITS	NPS	NPS #41695
08/05/2020	HISTORIC TAX CREDITS	SHPO	ROUND 24 APPROVALS

### SHEET INDEX

	COVER
	CONCEPT RENDERING
1 of 2	ALTA/NSPS INFORMATION
2 of 2	ALTA SURVEY, 2018
	SURVEY UPDATE, 2021
G0.01	SITE & LOCATION INFORMATION
G0.02	SITE & LOCATION INFORMATION - AERIAL & PHOTOS
G0.03	SITE & LOCATION INFORMATION - EXISTING PHOTOS
G0.04	SITE & LOCATION INFORMATION - EXISTING PHOTOS
G0.05	SITE & LOCATION INFORMATION - HISTORIC PHOTOS
G1.00	GENERAL NOTES
G1.10	KEYED NOTES
G1.11	KEYED NOTES, FINISH INFORMATION
G1.12	DOOR ELEVATIONS & NOTES
G1.13	WINDOW ELEVATIONS & NOTES
G1.14	WINDOW ELEVATIONS & NOTES
D1.00	DEMOLITION: SITE PLAN
D2.10	DEMOLITION: BASEMENT PLAN (BUILDING 1)
D2.11	DEMOLITION: FLOOR 1 PLAN (BUILDING 1)
D2.12	DEMOLITION: FLOOR 2 PLAN (BUILDING 1)
D2.13	DEMOLITION: ATTIC PLANS (BUILDING 1)
D2.20	DEMOLITION: BASEMENT PLAN (BUILDING 2)
D2.21	DEMOLITION: FLOOR 1 PLAN (BUILDING 2)
D2.22	DEMOLITION: FLOOR 2 PLAN (BUILDING 2)
D2.23	DEMOLITION: FLOOR 3 PLAN (BUILDING 2)
D2.24	DEMOLITION: FLOOR 4 PLAN (BUILDING 2)
D3.00	DEMOLITION: ELEVATIONS & SECTIONS (BUILDING 1)
D3.01	DEMOLITION: ELEVATIONS & SECTIONS (BUILDING 2)
D3.02	DEMOLITION: ELEVATIONS & SECTIONS (BUILDING 2)
A1.00	PROPOSED SITE PLAN
A1.10	PROPOSED SITE PLAN - EXISTING TREES & PROPOSED AMENITIES
A1.11	PROPOSED SITE PLAN - LIGHTING & SIGNAGE
A2.10	PROPOSED BASEMENT PLAN (BUILDING 1)
A2.11	PROPOSED FLOOR 1 PLAN (BUILDINGS 1 & 3)
A2.12	PROPOSED FLOOR 2 PLAN (BUILDING 1)
A2.20	PROPOSED BASEMENT PLAN (BUILDING 2)
A2.21	PROPOSED FLOOR 1 PLAN (BUILDING 2)
A2.22	PROPOSED FLOOR 2 PLAN (BUILDING 2)
A2.23	PROPOSED FLOOR 3 PLAN (BUILDING 2)
A2.24	PROPOSED FLOOR 4 PLAN (BUILDING 2)
A3.00	PROPOSED ELEVATIONS & SECTIONS (BUILDING 1)
A3.01	PROPOSED ELEVATIONS & SECTIONS (BUILDING 2)
A3.02	PROPOSED ELEVATIONS & SECTIONS (BUILDING 2)
A3.03	PROPOSED ELEVATIONS & SECTIONS (BUILDING 3)
L1	LANDSCAPE PLAN
L2	PLANT PALETTE
L3	PLANT PALETTE
L4	PLANT PALETTE

### PROJECT TEAM

Owner:  
**TDG FRANKLIN REALTY, LLC**  
 6055 ROCHSIDE WOODS BOULEVARD, SUITE 100  
 INDEPENDENCE, OH 44131  
 contact: Andrew Iarussi  
 email: aiarussi@daladgroup.com

Architect:  
**GIBBON ARCHITECTURE**  
 3012 CHADBOURNE ROAD  
 SHAKER, OH 44120  
 contact: Jeff Gibbon  
 email: jeff@gibbonarchitecture.com

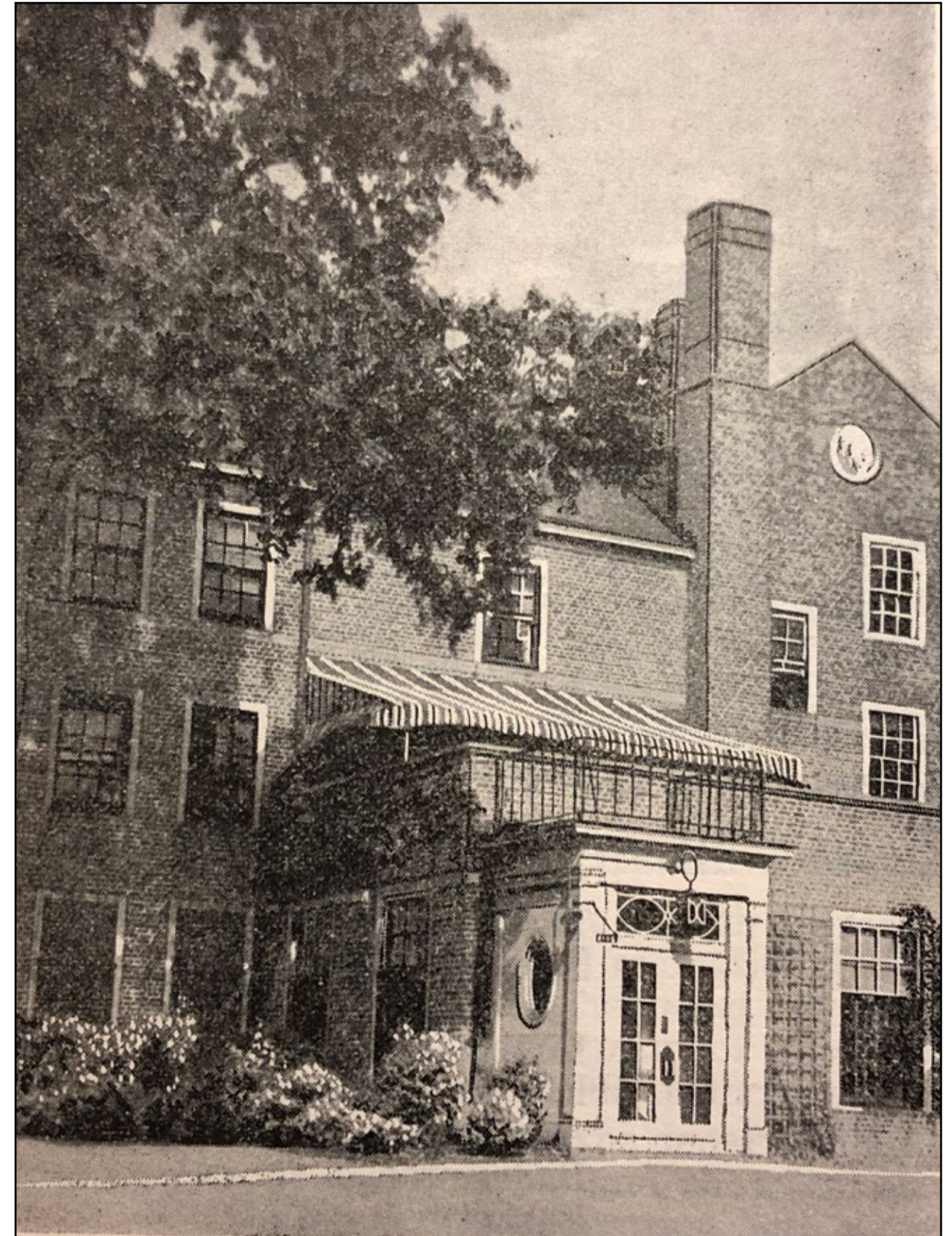
Preservation Consultant:  
**HISTORIC PRESERVATION GROUP LLC**  
 2425 W. 11TH STREET, SUITE 4  
 CLEVELAND, OH 44113  
 contact: Heather Rudge  
 email: heather@hpgroup-llc.com

Civil Engineering:  
**CESO**  
 175 MONTROSE WEST AVENUE, SUITE 400  
 AKRON, OH 44321  
 contact: Robert Papotto  
 email: papotto@cesoinc.com

Structural Engineering:  
**BARBER & HOFFMAN, INC**  
 2217 EAST 9TH STREET, SUITE 200  
 CLEVELAND, OH 44115  
 contact: Brad Boomer  
 email: bboomer@barberhoffman.com

MEP Engineering:  
**T/E/S ENGINEERING**  
 25760 FINE STREET  
 CLEVELAND, OH 44145  
 contact: dan jackson  
 email: djackson@tesengineering.com

Landscape Architect:  
**DERU LANDSCAPE ARCHITECTURE**  
 812 HURSON ROAD, SUITE 411  
 CLEVELAND, OH 44115  
 contact: Jayme Schwartzberg  
 email: jayme@deru-la.com



YWCA, CIRCA 1937



PROPOSED HISTORIC REHABILITATION & RENOVATION:

## FRANKLIN YARDS

3105 Franklin Blvd, Cleveland, OH 44113

© 2021 Gibbon Architecture



DRAWING ISSUE INFORMATION:

## CITY LANDMARKS REVIEW

OCTOBER 21, 2021 TDG FRANKLIN REALTY, LLC



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
**FRANKLIN YARDS**  
3105 Franklin Blvd, Cleveland, OH 44113  
© 2021 Gibbon Architecture

**CONCEPT RENDERING**  
PROPOSED RESIDENTIAL DEVELOPMENT



DRAWING ISSUE INFORMATION:  
**CITY LANDMARKS REVIEW**  
OCTOBER 21, 2021 TDG FRANKLIN REALTY, LLC

**LEGAL DESCRIPTION**

Omni Title LLC and Chicago Title Insurance Company  
Commitment No. 20180717, Effective July 17, 2018

Situated in the City of Cleveland, County of Cuyahoga, and State of Ohio:

Parcel 1:

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio: and known as being part of Sublot No. 13 of Cyrus Bosworth's Allotment of Sublot No. 3 of the Taylor Farm Allotment of part of Original Brooklyn Township Lot No. 51, as shown by the recorded plat in Volume 11 of Maps, Page 45 of Cuyahoga County Records, and bounded and described as follows: Beginning at the intersection of the Southerly line of Franklin Avenue, with the Easterly line of Duane Street; Thence Southerly along the Easterly line of Duane Street, 218 feet to a stone; Thence Easterly on a line deflecting to the left, 87 degrees 56' 00", 54 feet to a stone; Thence Southeasterly on a line deflect to the right 54 degrees, 34 1/10 feet to a stone; Thence Easterly on a line deflecting to the left, 51 degrees 9', 44.68 feet to a point on the Easterly line of said Sublot No. 13, 4.45 feet Northerly from the Southeast corner thereof; Thence Northerly along said Easterly line 265.72 feet to the Southerly line of Franklin Avenue; Thence Southerly along the Southerly line of Franklin Avenue, 128.04 feet to the place of beginning, be the same more or less, but subject to all legal highways.

Parcel 2:

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio: and known as being Sublot Nos. 25 and 26 in Wright and Coffinberry's Re-Allotment of all of Sublot No. 2 and a part of Sublot No. 1 in the Taylor Farm Allotment of a part of Original Brooklyn Township Lot No. 51, as shown by the recorded plat in said Re-Allotment in Volume 10 of Maps, Page 17 of Cuyahoga County Records. Said Sublot Nos. 25 and 26 together form a parcel of land having a frontage of 65 feet 3-3/4 inches on the Southerly side of Franklin Avenue, N.W., extending back 250 feet on the Westerly line, 259 feet 4 inches on the Easterly line, said Easterly line being the Westerly line of West 31st Place (formerly Franklin Court) and being a rear line of 64 feet 2 inches, as appears by said plat be the same more or less, but subject to all legal highways.

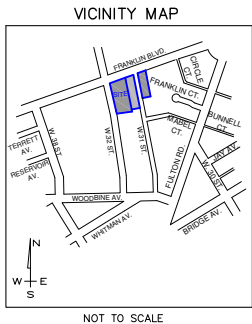
Parcel 3:

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio: and known as being part of Sublot No. 13 in Bosworth's Allotment of part of Original Brooklyn Township Lot No. 51, as shown by the recorded Plat in Volume 11 of Maps, Page 45 of Cuyahoga County Records and bounded and described as follows: Beginning at the intersection of the Southerly line of Franklin Boulevard, N.W., and the Easterly line of West 32nd Street, formerly Duane Street; Thence Southerly along the Easterly line of West 32nd Street, 218 feet to a stone and the principal place of beginning of the premises herein intended to be described; Thence Easterly on a line deflecting to the left 87 degrees 56', 54 feet to a stone; Thence Southeasterly on a line deflecting to the right 54 degrees, 34.1 feet to a stone; Thence Easterly on a line deflecting to the left 51 degrees, 9', 44.68 feet to a point on the Easterly line of said Sublot No. 13, 4.45 feet Northerly from the Southeast corner thereof; Thence Westerly parallel with the Southerly line of said Sublot No. 13, and 4.45 feet Northerly therefrom about 118 feet to the Easterly line of West 32nd Street; thence Northerly along the Easterly line of West 32nd Street about 22.77 feet to the place of beginning, be the same more or less, but subject to all legal highways.

Parcel 4:

Situated on the City of Cleveland, County of Cuyahoga and State of Ohio: and known as being Sublots No. 1 and 2 in Wright and Coffinberry Allotment of Part of Original Brooklyn Township Lot No. 51, as shown by the recorded Plat in Volume 10 of Maps, Page 17 of Cuyahoga County Records and being a parcel of land 65.312 feet front on the Southerly side of Franklin Avenue, N.W. (formerly Franklin Street) and extending back 229.50 feet on the Easterly line, 219.533 feet on the Westerly line, which is also the Easterly side of West 31st Place and having a rear line of 63.969 feet, as appears by said plat, be the same more or less, but subject to all legal highways.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL:  
Situated in the City of Cleveland, Count of Cuyahoga and State of Ohio: and known as being part of Sublot No. 2 in Wright and Coffinberry Allotment of part of Original Brooklyn Township, Lot No. 51 as shown by the recorded plat in Volume 10 of Maps, Page 17 of Cuyahoga County Records and is further bounded and described as follows: Beginning in the Southerly line of Franklin Boulevard N.W. (formerly Franklin Street) 66 feet wide at the intersection with the Easterly line of West 31 Place (formerly Franklin Court) variable width; Thence South 00 degrees 10' 53" West, along the Easterly line of said West 31st Place, 195.41 feet to a drill hole and cross set. Said point being 24.14 feet Northerly measured along the Easterly line of said West 31st Place from the Southwesterly corner of said Sublot No.2 and the principal place of beginning of the land herein described: Course 1: Thence, South 00 degrees 10' 53" West, continuing along the Easterly line of said West 31st Place, 24.14 feet to the Southwesterly corner thereof; Course 2: Thence, South 89 degrees 52' 07" East, along the Southerly line of said Sublot No. 2, 63.969 feet to the Southeastery corner thereof; Course 3: Thence, North 00 degrees 19' 15" East, along the Easterly line of said Sublot No. 2, 24.14 feet to a railroad spike set; Course 4: Thence North 89 degrees 52' 07" West, parallel with the Southerly line of said Sublot No. 2, 64.63 feet to the principal place of beginning, according to a survey by Charles J. Neff, Reg. Surveyor No. 4548-Ohio in April of 1985, be the same more or less, but subject to all legal highways.



**SCHEDULE B, SECTION II ITEMS**

Table of Exceptions  
Omni Title LLC and Chicago Title Insurance Company  
Commitment No. 20180717, Effective July 17, 2018

The title commitment does not contain any items pertaining to survey matters therefore not are shown hereon.

**DEED OF RECORD**

Land conveyed TSCS Real Estate LLC by deed dated April 2, 2012 and recorded in AFN. 201204020269 of Cuyahoga County Deed Records.

**PROPERTY AREA**

1.3820 Acres 60,203 Sq.Ft.  
(Total Area of Parcels)

**UTILITY PROVIDERS**

OUPS Reference No. A825603706  
Date: September 13, 2018

A1&T  
13630 Lorain Road, Room #200  
Cleveland, OH 44111  
Phone: (216) 476-6148  
Plans Not Received

(CE) The Illuminating Company  
8896 Miller Road, Suite 101  
Brecksville, Ohio 44141  
Phone: 1-800-589-9800  
Plans Received

City of Cleveland Public Power  
1300 Lakeside Avenue  
Cleveland, Ohio 44114  
Phone: (216) 664-4277  
Plans Not Received

City of Cleveland Division of  
Water Pollution Control  
12302 Kirby Avenue  
Cleveland, Ohio 44108  
Phone: (216) 664-3785  
Plans Received

City of Cleveland Division of Water  
2nd Floor Engineering / Mapping Unit  
1201 Lakeside Avenue  
Cleveland, Ohio 44114  
Phone: (216) 664-2444 Ext. 5558  
Plans Received

Dominion Energy Ohio  
1201 East 55th Street  
Cleveland, Ohio 44103  
Phone: (877) 542-2630  
Plans Received

Northeast Ohio Regional Sewer District  
4747 East 49th Street  
Cuyahoga Heights, OH 44125  
Phone: (216) 641-6000  
Plans Received

Spectrum/Time Warner Cable  
Plans Not Received

**UTILITY NOTE**

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. The centerline of known utility lines shown hereon do not represent the true width of the utility line.

**FLOOD NOTE**

The Subject property is situated in Zone "X", a minimum flood zone, and is not in a Special Flood Hazard Area as shown on the Federal Flood Map Community Number 390104 and Community Panel No. 39035C-0177E, Effective: December 3, 2010.

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. APPROXIMATE SCALED LOCATION FROM FEMA FLOOD MAPS.

**ZONING INFORMATION AND NOTES**

CITY OF CLEVELAND  
601 Lakeside Avenue, #501  
Cleveland, Ohio 44114  
216-664-2211

ZONING REQUIREMENTS ARE SUBJECT TO INTERPRETATION. FOR FURTHER VERIFICATION OF ZONING INFORMATION CONTACT THE CITY OF CLEVELAND. THE RIVERSTONE COMPANY WAS PROVIDED A PLANNING AND ZONING REPORT AT THE DATE OF THE SURVEY PERFORMED BY GRS GROUP, DATED OCTOBER 3, 2018 AND SITE NO. 18-36677.1

GENERAL DESCRIPTION  
2F-B1 (Two Family Max Gross Floor Area 1/2 of Lot Area 35; Height Limit)  
Local Landmark & National Landmark Overlay Districts

ADJACENT PROPERTY ZONING DISTRICT  
2F-B1 Two Family

USE'S PERMITTED  
REFER TO CHAPTER 337  
The use is permitted as per the One Family District with Board of Zoning Appeals approval

OBSERVED USE  
RESIDENTIAL CARE FACILITY

MINIMUM LOT AREA  
REFER TO CHAPTER 337  
20,000 Sq. Ft. minimum, not less than 800 Sq. Ft. per patient (as per Sec. 337.24), (66 Residents X 800 Sq. Ft. = 52,800 Sq. Ft.)

OBSERVED AREA  
1,3820 Acres 60,203 Sq.Ft.  
(Total Area of Parcels)

HEIGHT RESTRICTIONS  
REFER TO CHAPTER 337  
2 stories (as per Sec. 337.24),  
35 feet maximum height per chapter 353 Height District B-1

SETBACK REQUIREMENTS  
REFER TO CHAPTER 337

OBSERVED SETBACKS  
Front- 9.9 feet Franklin Boulevard  
Side- 7.1 feet West 32nd Street  
Rear- 0.0 feet West 31st Place  
1.1 feet

Front: 35 feet (landscaped)  
(as per Sec. 337.24)  
Side: 30 feet (as per Sec. 337.24)  
Rear: 15% of lot depth, not less than 20 feet (Institutional H Occupancy Classification)  
Parcel 1, 2 & 3 = 38.69 feet  
Parcel 4 = 30.06 feet  
Street: 5 feet or 10% of average lot width whichever is less

PARKING REQUIREMENTS  
REFER TO CHAPTER 349  
Each such use shall provide space on the premises to the rear of the structure or building for the parking or garaging of motor vehicles so that there shall be one (1) such space for each professional staff member, including doctors and nurses, one (1) space for each three (3) other employees and one (1) space for each six (6) beds. (as per Sec. 337.24)

OBSERVED STRIPED PARKING  
Regular- No Striped Parking  
H/C- 02  
Total- 02

CONFORMANCE STATUS: THE RIVERSTONE COMPANY WAS PROVIDED A PLANNING AND ZONING REPORT AT THE DATE OF THE SURVEY PERFORMED BY GRS GROUP, DATED OCTOBER 3, 2018 AND SITE NO. 18-36677.1

Conformance Status: Pending municipal confirmation of Conformance status.

Nonconforming Characteristics:  
The Use requires Board of Zoning Appeals approval. The Building Encroaches into the Front, Side, Street Side and Rear Setbacks. The Building Height is in excess by 1 Story. The Lot Frontage is deficient by 6.65 Feet. The Gross Floor Building Area is in excess by 23,893.5 Square Feet, and the Parking is compliance indeterminate.

**SURVEYORS NOTES**

- 1. All of the various survey monuments shown on this survey as found and/or used are in good condition, undisturbed, unless otherwise noted. 5/8" iron pins shown hereon as set will be set upon closing. (Table A, Item 1)
- 2. The Riverstone Company was provided a Planning and Zoning Report (PZR) at the date of the survey. (Table A, Item 6a)
- 3. At the time of survey the Riverstone Company did not make any observations to determine the location of party walls or if the walls were plumb. (Table A, Item 10)
- 4. At the time of the field surveying there was no observable evidence of earth moving work, building construction or building additions within recent months. (Table A, Item 16)
- 5. At the time of the field surveying there was no observable evidence of changes in street right of way lines. (Table A, Item 17)
- 6. At the time of the field surveying there was no observable evidence of recent sidewalk construction or repairs. (Table A, Item 17)
- 7. The Riverstone Company was not provided a wetlands delineation report at the time of the survey. (Table A, Item 18)
- 8. Some buildings in the vicinity of the surveyed property are known to have underground vaults that extend out under the sidewalk into the right of way. It is beyond the scope of an ALTA/NSPS Land Title Survey to enter into the building to determine if such a situation exists on the surveyed property.
- 9. At the time of the field surveying there was no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- 10. At the time of the field surveying there was no observable evidence of cemeteries or burial grounds.
- 11. Ownership of fences are unknown unless otherwise noted.
- 12. Dimensions on this plot are expressed in feet and decimal parts thereof unless otherwise noted.
- 13. This plot was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown hereon are to an assumed meridian and are intended to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code.
- 14. Due to future liability concerns the Riverstone Company cannot add the wording "its successors and/or assigns as their respective interests may appear" after private entities.
- 15. Subject Parcel Nos. 1,2, and 3 as direct automobile access to West 32nd Street a public right of way. Subject Parcel No. 4 as direct automobile access to Franklin Boulevard a public right of way.

**ALTA / NSPS  
LAND TITLE SURVEY**  
OF  
**VANTAGE PLACE**  
**3105 FRANKLIN BOULEVARD**  
**P.P.N. 003-31-004**  
**P.P.N. 003-31-063**  
**P.P.N. 003-32-001**  
**CITY OF CLEVELAND**  
**COUNTY OF CUYAHOGA**  
**STATE OF OHIO**

FOR  
**TSCS REAL ESTATE LLC**  
**DALAD REALTY COMPANY**  
**ROCKSIDE CORNERS LTD.**  
**OMNI TITLE LLC**  
**CHICAGO TITLE INSURANCE COMPANY**

**2016 ALTA/NSPS CERTIFICATION**

To TSCS Real Estate LLC, Dalad Realty Company, Rockside Corners Ltd., Omni Title LLC and Chicago Title Insurance Company:

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 and 20 of Table A thereof. The fieldwork was completed on September 20, 2018.

**Preliminary  
for Review**

October 11, 2018

Peter J. Gauriloff

P.S. No. 8646

Date

**DRAWN BY**

BS, PG, BDK

**SURVEYORS**

BS

**APPROVED**

PJC PS 8646



LAND SURVEYING - ENGINEERING - DESIGN  
601 LAKESIDE AVENUE - SUITE 100  
CLEVELAND - OHIO - 44114  
(216) 491-2000 FAX: (216) 491-9640  
WWW.RIVERSTONEURVEY.COM

**ALTA / NSPS  
LAND TITLE SURVEY**  
OF  
**VANTAGE PLACE**  
3105 FRANKLIN BOULEVARD  
P.P.N. 003-31-004  
P.P.N. 003-31-063  
P.P.N. 003-32-001

**REFERENCE SURVEYS**

- Survey of a Portion of the Barber & Lord, and Taylor Farm Allotments by J.W. Strvetar dated July 1899. (SURVEY)
- Lot Consolidation for The Board of County Commissioners, Volume 320, Page 21 of Cuyahoga County Map Records. (Neff)
- Plot of Partition and Consolidation, Volume 350, Page 41 of Cuyahoga County Map Records. (Bruckner)
- Cyrus Bosworth's Re-Allotment, Volume 11, Page 45 of Cuyahoga County Map Records. (R.)
- Wright and Coffinberry's Re-Subdivision, Volume 10, Page 17 of Cuyahoga County Map Records. (R.)
- City of Cleveland Survey Records. (CSR)

**BASIS OF BEARINGS**

The centerline of Franklin Boulevard as North 70°20'00" East as shown in the Map of Lot Split as recorded in AFN. 201804090608 of Cuyahoga County Map Records.

**LINE TABLE**

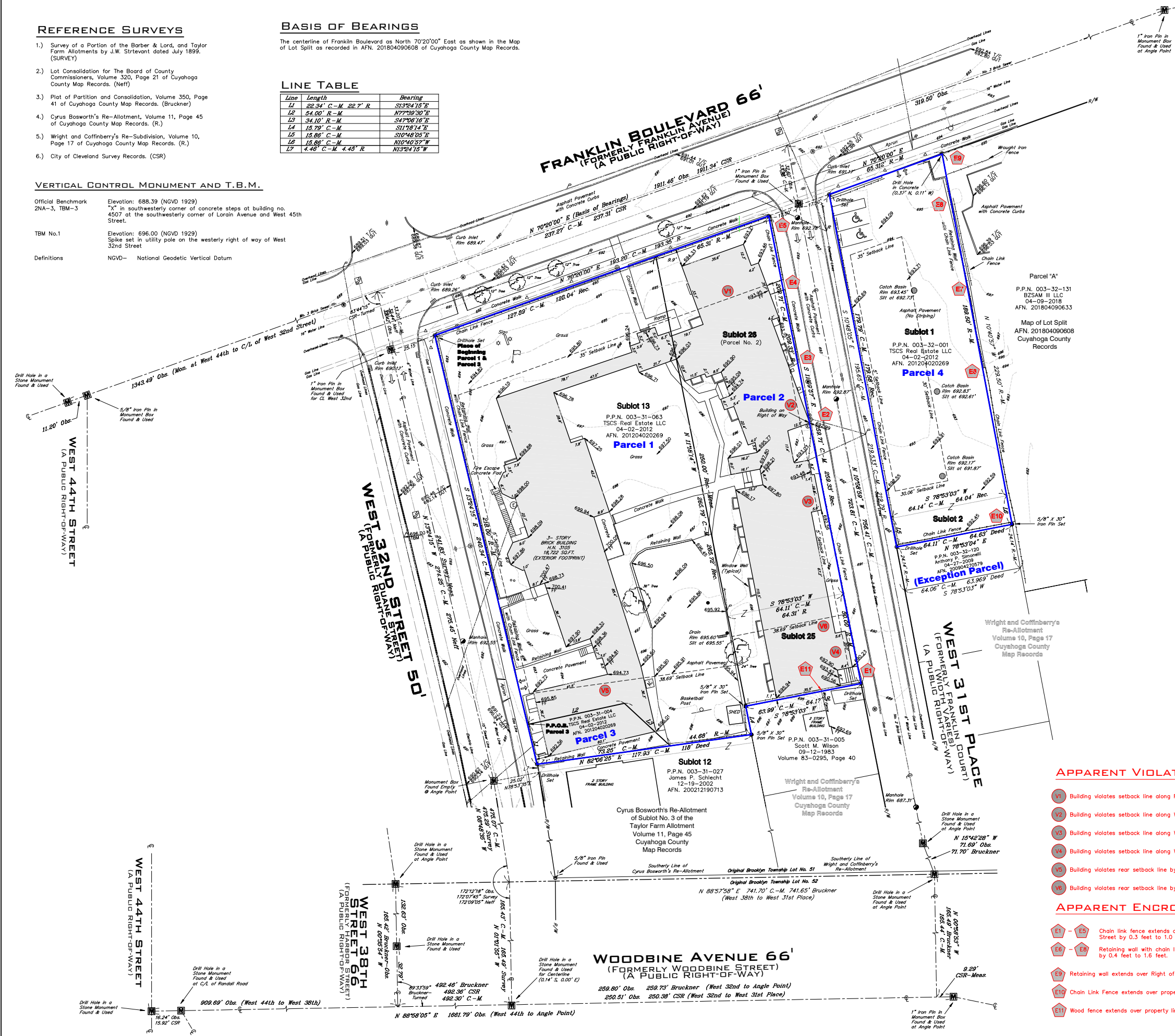
Line	Length	Bearing
L1	22.34' C-M	S13°24'15" E
L2	54.00' R-M	N77°39'30" E
L3	34.10' R-M	S47°06'16" E
L4	15.79' C-M	S11°18'14" E
L5	15.86' C-M	S10°48'05" E
L6	15.86' C-M	N10°40'57" W
L7	4.46' C-M	N13°24'15" W

**VERTICAL CONTROL MONUMENT AND T.B.M.**

Official Benchmark  
2NA-3, TBM-3  
Elevation: 688.39 (NGVD 1929)  
"X" in southwestern corner of concrete steps at building no. 4507 at the southwestern corner of Lorain Avenue and West 45th Street.

TBM No.1  
Elevation: 696.00 (NGVD 1929)  
Spike set in utility pole on the westerly right of way of West 32nd Street

Definitions  
NGVD- National Geodetic Vertical Datum



**LEGEND**

- Monument Box Found
- Iron Pin or Pipe Found
- 5/8"x30" Iron Pin Set
- Drill Hole Set / Found
- P.K. Nail Set / Found
- Gas Meter
- Gas Valve / Shut Off
- Utility Pole
- Light Pole
- Traffic Pole
- Ground Light
- Flag Pole
- Electric Meter
- Electric Meter
- Transformer
- Air Conditioning Unit
- Telephone Box / Manhole
- Cable Box / Manhole
- Traffic Control Box
- Flood Zone Determination
- Tree
- Encroachment
- Violations
- Spot Elevation Top
- Hydrant
- Storm Pipe
- Water Service Valve
- Water Line Valve
- Water Meter
- Water Manhole
- Sanitary Manhole
- Unknown Manhole
- Storm Manhole
- Catch Basin
- Yard Basin
- Flap Pole
- Carb Inlet
- Theater Drain
- Traffic Flow/Access
- Sign Post
- Railroad
- Handicap Parking
- Benchmark
- Monitoring Well
- Centaline
- Property Line
- Easement No.

**APPARENT VIOLATIONS**

- V1 Building violates setback line along Franklin Boulevard by 25.1 feet.
- V2 Building violates setback line along West 31st Street by 5.0 feet.
- V3 Building violates setback line along West 31st Street by 2.0 feet.
- V4 Building violates setback line along West 31st Street by 2.1 feet.
- V5 Building violates rear setback line by 35.3 feet.
- V6 Building violates rear setback line by 37.6 feet.

**APPARENT ENCROACHMENTS**

- E1 - E5 Chain link fence extends over Right of Way of West 31st Street by 0.3 feet to 1.0 feet.
- E6 - E8 Retaining wall with chain link fence extends over property line by 0.4 feet to 1.6 feet.
- E9 Retaining wall extends over Right of Way by 0.50 feet.
- E10 Chain Link Fence extends over property line by 2.0 feet.
- E11 Wood fence extends over property line by 0.9 feet.

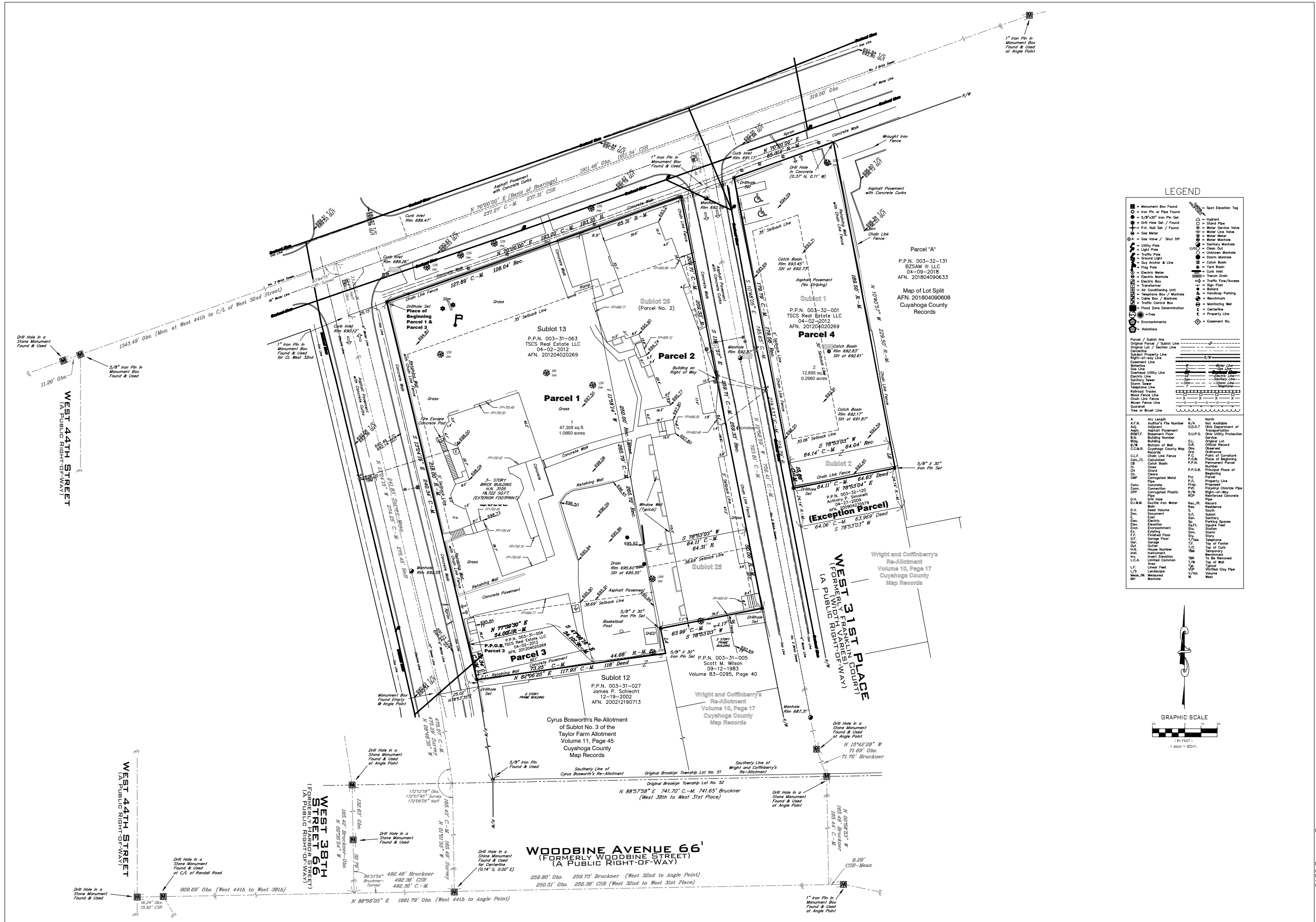


**Preliminary  
for Review**

Peter J. Gaurloff Date  
P.S. No. 8646







**LEGEND**

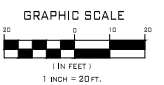
●	Monument Box Found	○	Spot Elevation Top
○	Iron Pin or Pipe Found	○	Hydrant
○	5/8" x 30" Iron Pin Set	○	Stand Pipe
○	Drill Hole Set / Found	○	Water Service Valve
○	P.K. Nail Set / Found	○	Water Line Valve
○	Gas Meter	○	Water Meter
○	Gas Valve / Shut Off	○	Water Manhole
○	Utility Pole	○	Sanitary Manhole
○	Light Pole	○	Clear Out
○	Traffic Pole	○	Unknown Manhole
○	Ground Light	○	Storm Manhole
○	Ray Anchor & Line	○	Catch Basin
○	Flag Pole	○	Yard Basin
○	Electric Meter	○	Carb Inlet
○	Electric Manhole	○	Trench Drain
○	Transformer	○	Traffic Flow/Access
○	Air Conditioning Unit	○	Sign Post
○	Refrigerator Box / Manhole	○	Ballot
○	Cable Box / Manhole	○	Handicap Parking
○	Traffic Control Box	○	Monitoring Well
○	Tree	○	Centrifuge
○	Environment	○	Flood Zone Determination
○	Violations	○	Property Line
○		○	Easement No.

---	Parcel / Sublot Line	---	Original Parcel / Sublot Line
---	Original Lot / Section Line	---	Centerline
---	Sublot Property Line	---	Right-of-Way Line
---	Right-of-Way Line	---	Easement Line
---	Water Line	---	Electric Line
---	Overhead Utility Line	---	Sanitary Sewer
---	Electric Line	---	Storm Sewer
---	Telephone Line	---	Railroad Tracks
---	Wood Fence Line	---	Chain Link Fence
---	Chain Link Fence	---	Wrought Iron Fence
---	Wrought Iron Fence	---	Tree or Brush Line

A	Arc Length	N	North
A.F.N.	Asst. Fire Number	N/A	Not Available
Adj.	Adjacent	O.D.D.T.	Ohio Department of Transportation
Appl.	Asphalt Pavement	O.P.S.	Ohio Utility Protection
BM/F.	Basement Floor	Q.L.	Original Lot
B.N.	Building Number	O.R.	Official Record
Bp.	Bottom of Wall	O.S.	Ordinance
C.A.M.	Cuyahoga County Map Records	O.S.	Ordinance
C.L.S.	Chain Link Fence	P.O.B.	Point of Beginning
Calc./C.	Calculated	P.F.N.	Permanent Parcel
C.B.	Catch Basin	P.F.O.B.	Proposed Face of Beginning
C.	Clears	P.L.	Property Line
CMF	Corrugated Metal	P.P.	Property Line
Conc.	Concrete	PVC	Polyvinyl Chloride Pipe
Conn.	Connection	R/W	Right-of-Way
Copn.	Corrugated Plastic	RCP	Reinforced Concrete Pipe
D.H.	Drill Hole	Rec./R.	Record
D.H.M.	Ductile Iron Water	Rec.	Record
D.V.	Dred Volume	Res.	Residence
Doc.	Document	S/L	Sublot
Est.	Estimate	S.S.	Sanitary
Exc.	Excavation	Sp.	Parking Spaces
Enr.	Encroachment	St.L.	Station Feet
Ex.	Existing	Stm.	Storm
F.F.	Finished Floor	Sty.	Story
G.F.	Garage Floor	T.F.	Telephone
Gar.	Garage	T.F.	Top of Footer
Gr.	Gravel	T.C.	Top of Cut
H.M.	House Number	T.M.	Temporary
Int.	Instrument	T.M.	Temporary
Inv.	Invert Elevation	T.R.	To Be Removed
L.C.A.	Local Common	T/W	Top of Wall
L.F.	Linear Feet	Tp.	Top of Pipe
L/S.	Landscape	V/Val.	Vertical Clay Pipe
Meas./M.	Measured	V/Val.	Volume
M.	Manhole	W.	West



3105 FRANKLIN BOULEVARD

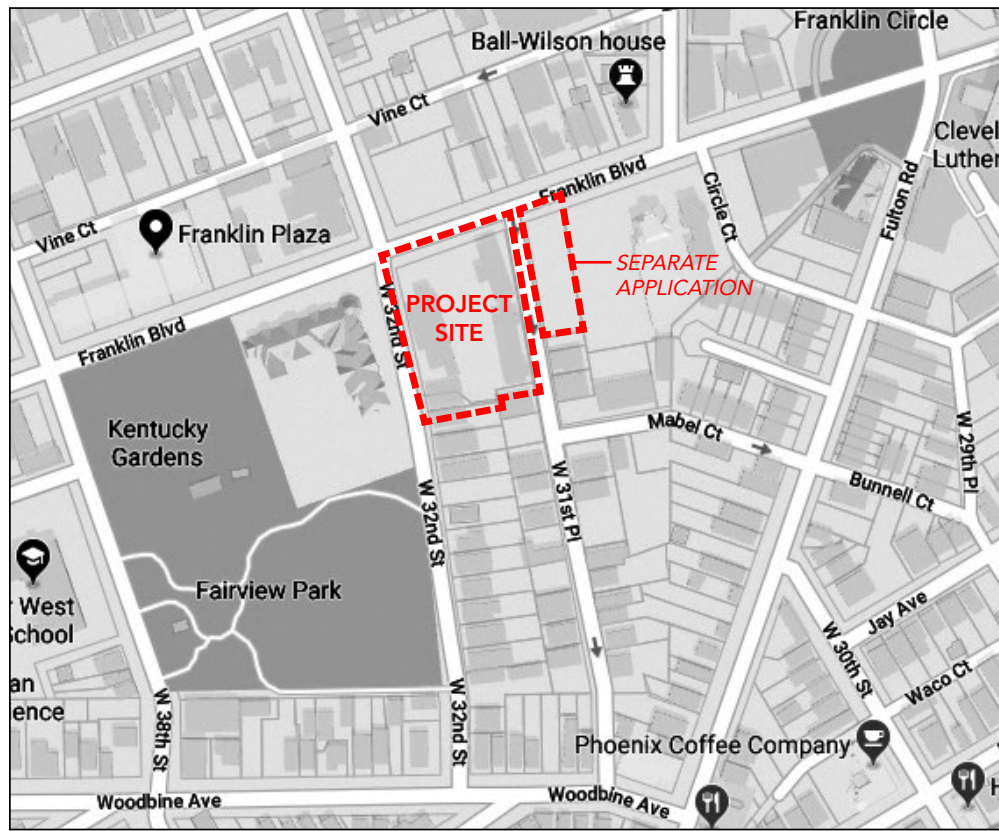


CITY OF CLEVELAND SITE

**PROJECT SITE INFORMATION**

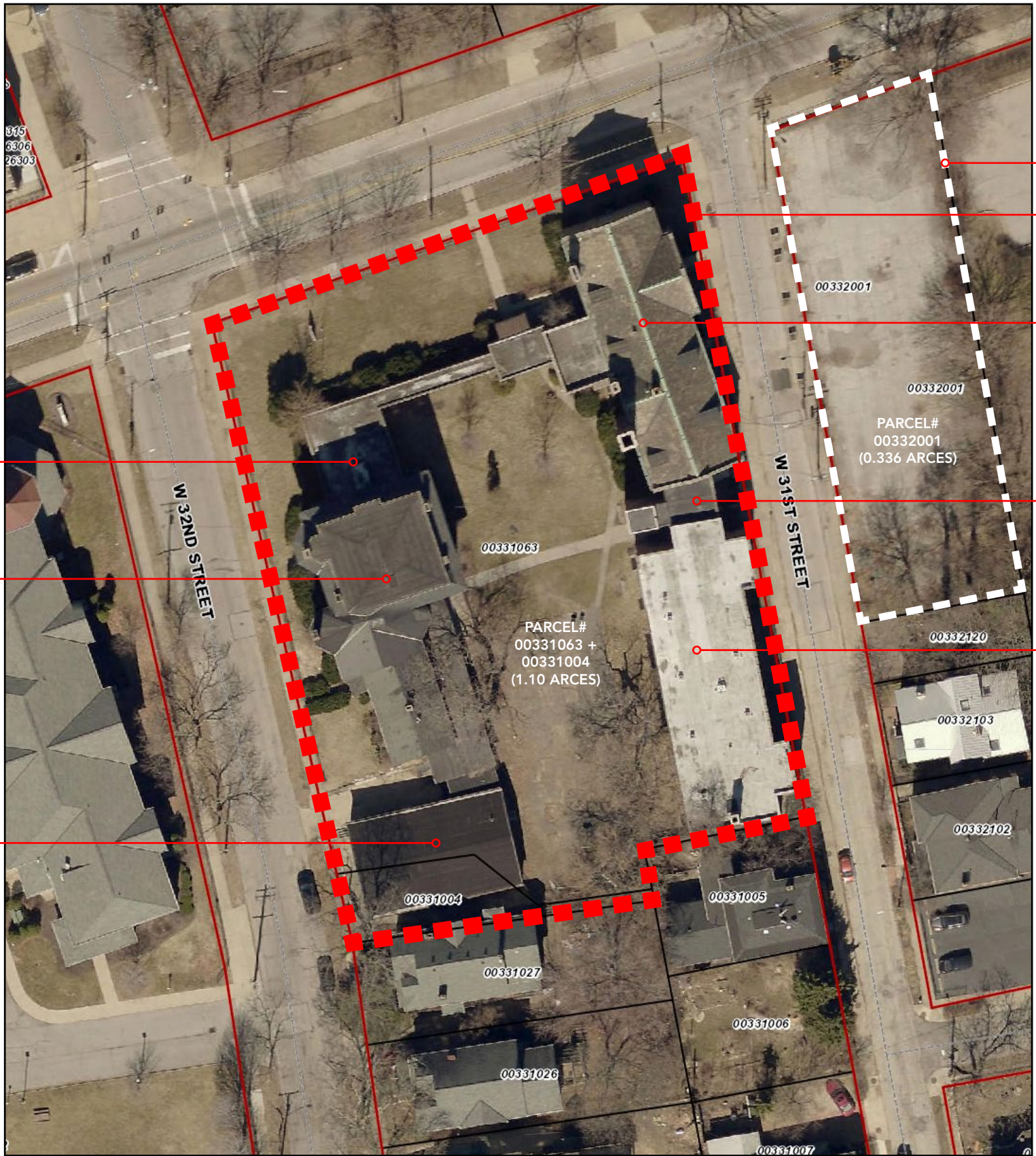
PARCEL 0031063	
Zoning Code	2F-B1
Area District	B
Height District	1
Existing Use	Elderly Housing
PARCEL 00332001	
Zoning Code	2F-B1
Area District	B
Height District	1
Existing Use	Surface Parking

NON-HISTORIC CONNECTOR. DEMOLISHED VIA CITY APPROVAL #19023735 DATED 8/26/2019



SITE LOCATION MAP

PROJECT IS LOCATED WITHIN OHIO CITY PRESERVATION DISTRICT



SITE AERIAL, CIRCA 2019

- PARCEL 00332001, UNDER SEPARATE APPLICATION
- PARCEL 00331063, PROJECT SITE
- BUILDING 2A
- ELEVATOR LOBBY CONNECTOR
- BUILDING 2B

**SITE & LOCATION INFORMATION**



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
**FRANKLIN YARDS**  
 3105 Franklin Blvd, Cleveland, OH 44113  
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DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	G0.01
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC



EXISTING PHOTO, PRESENT DAY



EXISTING PHOTO, PRESENT DAY



SITE: BIRD'S EYE VIEW LOOKING SOUTH, CIRCA 2019

**SITE & LOCATION INFORMATION**  
AERIAL & EXISTING CONDITIONS PHOTOS



DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	G0.02
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC



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**SITE & LOCATION INFORMATION**  
 EXISTING CONDITIONS PHOTOS



DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	G0.03
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC



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**SITE & LOCATION INFORMATION**  
 EXISTING CONDITIONS PHOTOS



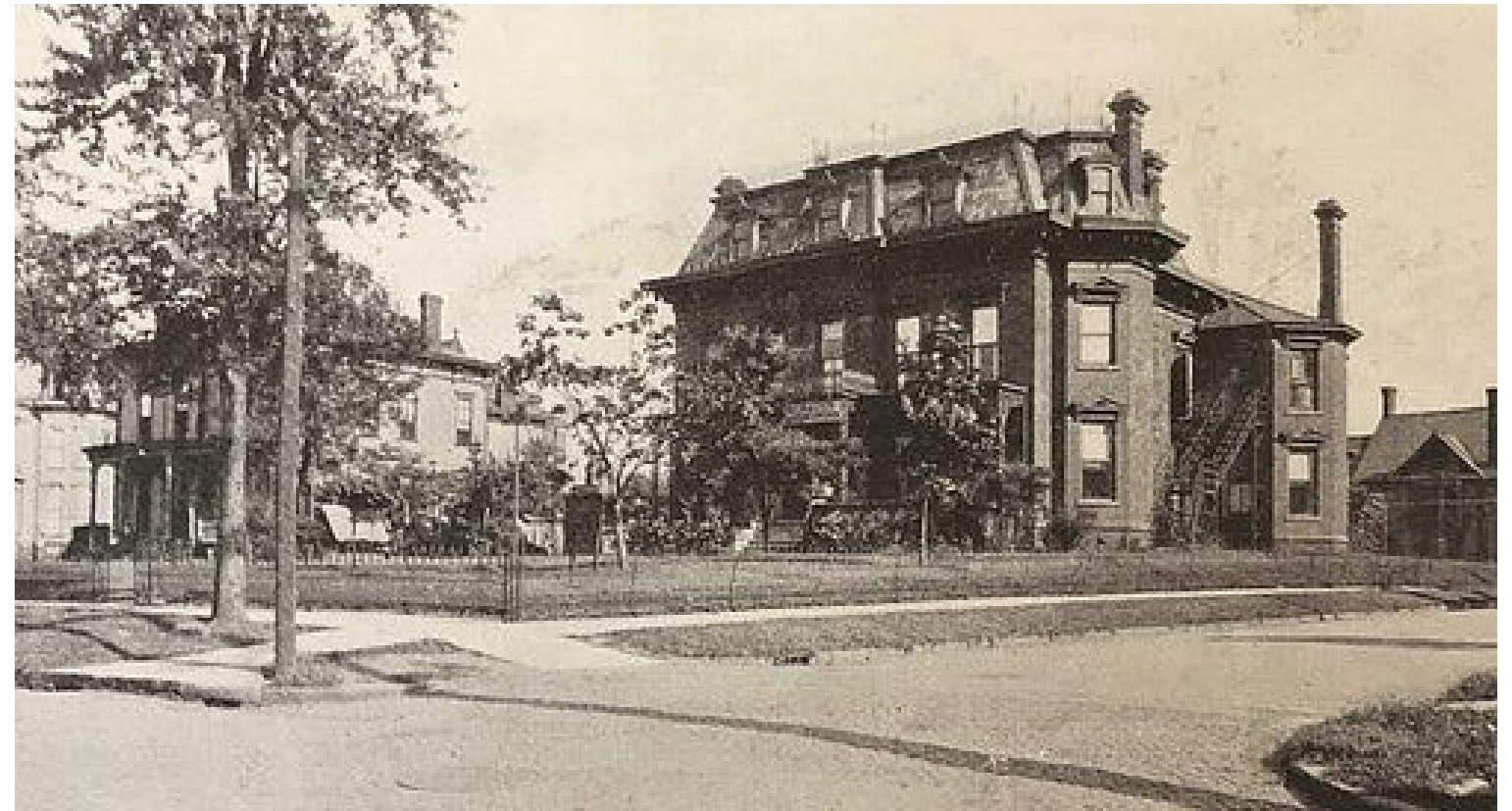
DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	<b>G0.04</b>
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC



1680 W. 31ST PLACE, CIRCA 1927



3117 FRANKLIN BLVD, CIRCA 1933



3117 FRANKLIN BLVD, CIRCA 1913

**SITE & LOCATION INFORMATION**  
HISTORIC PHOTOS



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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DRAWING ISSUE INFORMATION:		G0.05
<b>CITY LANDMARKS REVIEW</b>		
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC	

GENERAL NOTES

GENERAL NOTES

- A. THIS PROJECT IS A HISTORIC TAX CREDIT PROJECT. ALL WORK SHALL COMPLY WITH THE OHIO SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS FOR GUIDANCE REGARDING HISTORIC INTERIORS AND ARCHITECTURAL ELEMENTS. GENERAL CONTRACTOR & CONSTRUCTION MANAGER TO ARRANGE PRE-CONSTRUCTION MEETING AND PROJECT WALK-THROUGH WITH THE ARCHITECT AND THE PRESERVATION CONSULTANT PRIOR TO UNDERTAKING ANY CONSTRUCTION OR DEMOLITION WORK.
- B. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY OF ALL SUBMITTALS, REVIEWS, & APPROVALS THAT ARE REQUIRED FROM SHPO AND NPS PRIOR TO PURCHASING AND INSTALLATION, AND SHALL COORDINATE THESE ITEMS WITH THE PROJECT BUDGET AND CONSTRUCTION DELIVERY SCHEDULE.
- C. ALL WORK AND LABOR SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL & STATE CODES, AS WELL AS ALL OTHER APPLICABLE CODE REQUIREMENTS INCLUDING THOSE REQUIREMENTS OF NFPA, ADA/ANSI, AND THOSE RELATING TO SUSTAINABLE DESIGN AND CONSTRUCTION.
- D. IF ENCOUNTERED, REMOVAL AND DISPOSAL OF ASBESTOS, LEAD PAINT, AND HAZARDOUS MATERIAL SHALL COMPLY WITH OSHA AND EPA REQUIREMENTS AS WELL AS ANY ADDITIONAL REQUIREMENTS WITHIN PROJECT SPECIFIC LEED OR SUSTAINABILITY STANDARDS.
- E. SCOPE OF WORK WITHIN HISTORIC BUILDINGS: AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING VISIBLE BUILDING ELEMENTS TO BE REMOVED, RESTORED, REPAIRED, OR TO REMAIN WITHIN THE ARCHITECTURAL AND ENGINEERING CONSTRUCTION DOCUMENTS. HOWEVER, THE CONTRACTOR IS REQUIRED TO ADDRESS ALL SUCH ITEMS EVEN IF NOT SPECIFICALLY NOTED OR KNOWN. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING, PRICING, AND CONSTRUCTION. NOTIFY ARCHITECT OF VARIATIONS AND/OR CONDITION WHICH MAY IMPACT DESIGN AND COST. EXISTING ELEMENTS UNCOVERED OR NOT SPECIFICALLY NOTED ON DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT, AND TREATED IN ACCORDANCE WITH THE OHIO SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, AS REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS INDICATED IN THE PROJECT DRAWINGS AND SPECIFICATIONS.

DEMOLITION & ABATEMENT

- A. ITEMS NOTED AS "HISTORIC", "TO REMAIN", TO BE "SALVAGED FOR REUSE", OR TO BE "REPLICATED" SHALL BE STORED, RECORDED, AND PROTECTED DURING DEMOLITION AND CONSTRUCTION BY CONTRACTOR TO PREVENT DAMAGE. ITEMS NOTED TO "REMAIN IN PLACE" SHALL BE PROTECTED USING APPROPRIATE MEASURES TO PREVENT DAMAGE DURING ABATEMENT, DEMOLITION, AND CONSTRUCTION. ITEMS NOTED TO BE "SALVAGED AND STORED" SHALL BE STORED IN DRY, TEMPERATURE STABLE AREA FREE FROM EXPOSURE TO THE ELEMENTS. CONTRACTOR SHALL KEY AND TAG ELEMENTS TO BE SALVAGED AND SHALL MAINTAIN A LOG WITH LOCATION REFERENCE KEYED TO DRAWINGS. THIS LOG SHALL INDICATE DATE OF SALVAGE, DESCRIPTION OF ITEM(S) SALVAGED, KEY REFERENCE, METHOD OF PACKAGING, AND FINAL ACTION TAKEN WITH SALVAGED ITEM(S). HISTORIC ELEMENTS NOTED TO REMAIN, TO BE SALVAGED, OR TO BE REPLICATED WHICH BECOME LOST, DISCARDED, OR DAMAGED SHALL BE REPLACED OR REPAIRED BACK TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- B. CONTRACTOR SHALL REVIEW IN FIELD ALL ITEMS TO BE REMOVED TO CONFIRM WHETHER REMOVAL MIGHT RESULT IN STRUCTURAL DEFICIENCY OR FAILURE. ALL DEMOLITION AND EQUIPMENT REMOVAL SHALL BE PERFORMED TO ALLOW EXISTING BUILDING ELEMENTS TO REMAIN STRUCTURALLY STABLE AT ALL TIMES. IF REQUIRED, CONTRACTOR TO PROVIDE TEMPORARY NEEDLING, SHORING, AND BRACING TO MAINTAIN STRUCTURAL STABILITY. CONTACT STRUCTURAL ENGINEER AND ARCHITECT IMMEDIATELY IF ANY QUESTIONS REGARDING STRUCTURAL STABILITY ARISE.
- C. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR MAINTAINING REQUIRED FIRE-RESISTANCE RATINGS OF ALL RATED ASSEMBLIES THROUGHOUT DEMOLITION AND CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, EXTERIOR WALLS, FIRE SEPARATIONS, STAIRWELLS, ELEVATOR SHAFTS, AND MECHANICAL SHAFTS DESIGNATED TO REMAIN AND AT ALL FLOOR/CEILING ASSEMBLIES AND ROOF SLABS. CONTRACTOR TO COORDINATE REMOVAL OF FIRE PROTECTION SYSTEM WITH FIRE DEPARTMENT AS REQUIRED.
- D. **NEW WALL & FLOOR OPENINGS:** WHERE SECTIONS OF EXISTING WALLS AND FLOORS ARE REMOVED FOR NEW OPENINGS: CONTRACTOR SHALL CONSULT ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO ANY WALL, FLOOR, BEAM, OR COLUMN REMOVAL. PROVIDE TEMPORARY BRACING AND FINAL STRUCTURAL COMPONENTS PER REQUIREMENTS ON DRAWINGS AND IN SPECIFICATIONS.

EXTERIOR DEMOLITION

- A. THE EXTERIOR RESTORATION SCOPE OUTLINED IN THE GENERAL NOTES IS FOR REFERENCE AND IS NOT A SUBSTITUTE FOR BECOMING FAMILIAR WITH THE ENTIRE PROJECT SCOPE AS REPRESENTED IN DRAWINGS AND THE TECHNICAL SPECIFICATIONS. REVIEW ALL DRAWINGS AND APPLICABLE TECHNICAL SPECIFICATIONS AND PRESERVATION BRIEFS FOR RELATED INFORMATION PRIOR TO PROCEEDING.
- B. ALL EXISTING STONE, BRICK, TERRA-COTTA, METAL, AND WOOD WALLS AND DETAILING SHOULD BE CONSIDERED HISTORIC UNLESS OTHERWISE NOTED. ANY DAMAGED, CRACKED, OR SPALLED BRICK, STONE, OR EXPOSED CONCRETE ELEMENTS SHALL BE EVALUATED FOR APPROPRIATE REPAIR, REPLACEMENT, AND CLEANING. REFER TO CONSTRUCTION NOTES.
- C. SELECTIVE DEMOLITION OF HISTORIC MASONRY ELEMENTS SHALL BE PERFORMED BY A MASONRY CONTRACTOR WITH A MINIMUM OF 10 YEARS' EXPERIENCE IN THE DEMOLITION AND REPAIR OF EXISTING HISTORIC BUILDINGS.
- D. ALL BRICK AND STONE REMOVED FROM EXISTING MASONRY WALLS SHALL BE SALVAGED FOR POSSIBLE REUSE ON THIS PROJECT.

- E. REMOVE EXISTING CONDUITS, ABANDONED EMBEDDED ANCHORAGE AND STRUCTURAL MEMBERS, PIPING, SUPPORT BRACKETS, AND OTHER MISCELLANEOUS OBJECTS NOT NOTED AS NEEDED TO ACHIEVE THE INTENT OF THE PROJECT.
- F. AS NOTED, ALL EXISTING NON-HISTORIC DOORS, WINDOWS, WINDOW INFILL, SECURITY SCREENS, AND STORM WINDOWS ARE TO BE REMOVED. REMOVE WINDOW UNITS IN THEIR ENTIRETY DOWN TO STRUCTURAL ROUGH OPENING INCLUDING RESIDUE, SEALANT, CAULK, SHIMS, ANCHORS, ET CETERA. UNLESS OTHERWISE NOTED, ALL EXISTING MASONRY AND STONE SILLS AND LINTELS SHALL REMAIN AND SHOULD BE SALVAGED AND/OR PROTECTED WHENEVER POSSIBLE. ALL EXISTING LINTELS TO BE INSPECTED.
- G. AS WINDOWS AND ROOFS ARE REMOVED AND/OR AS NEW OPENINGS ARE CREATED, CONTRACTOR TO PROVIDE DURABLE TEMPORARY ENCLOSURES AS REQUIRED FOR WINDOW REPLACEMENT, EXTERIOR MODIFICATION AND MASONRY RESTORATION WORK.
- H. WHERE INDICATED ON DRAWINGS, REMOVE AND REFURBISH EXISTING HISTORIC WINDOWS AND GLAZING. STRIP EXISTING PAINT, CAULK, GLAZING POINTS, AND SHIMS FROM WINDOW UNIT. TAKE CARE WITH EXISTING TRIM AND SILLS WHEN REMOVING WINDOW.
- I. DO NOT TORCH CUT STEEL OR OTHER METAL OBJECTS FROM MASONRY UNLESS PRECAUTIONS ARE TAKEN TO PREVENT RESULTING MOLTEN METAL SLAG DEBRIS OR CHAR FROM BEING DEPOSITED ON MASONRY. PROVIDE A MOCK-UP OF PROTECTION METHODOLOGY AND SECURE THE APPROVAL OF THE ARCHITECT PRIOR TO PROCEEDING. ANY SLAG DEPOSITS OR CHAR THAT RESULT FROM DEMOLITION ACTIVITIES WILL BE REQUIRED TO BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR SELECTIVE DEMOLITION.
- J. REMOVE EXISTING GUTTERS AND DOWNSPOUTS FOR REPLACEMENT UNLESS OTHERWISE NOTED.
- K. EXISTING STONE PARAPET CAPS TO BE REMOVED, CLEANED, REPAIRED AS NECESSARY, AND REINSTALLED IN THEIR ORIGINAL LOCATIONS. PROTECT EXPOSED TOP OF PARAPET WALLS WHILE CAPS ARE REMOVED. COORDINATE THIS WORK WITH ROOF FLASHING WORK TO REPAIR EXISTING PARAPET FLASHING OR TO INSTALL NEW FLASHING ON TOP OF PARAPETS BEFORE REINSTALLATION OF PARAPET CAPS.
- L. AS INDICATED, EXISTING ROOFING SYSTEMS SHALL BE INSPECTED AND REMOVED IN THEIR ENTIRETY DOWN TO STRUCTURAL SUBSTRATE.

INTERIOR DEMOLITION

- A. INTERIOR FINISHES:
  - a. REMOVE ALL NON-HISTORIC INTERIOR PARTITIONS, DOORS, WAINSCOT, MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, LIGHT FIXTURES, PLUMBING SYSTEMS, GAS SYSTEMS, ETC. AS INDICATED ON DEMOLITION DRAWINGS.
  - b. CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS DURING DEMOLITION NOT TO DAMAGE ANY EXISTING HISTORIC ELEMENTS OR FINISHES WHICH MAY BE EITHER VISIBLE, DISCOVERED, OR CONCEALED BEHIND EXISTING FINISHES.
  - c. REMOVE ALL LOOSE NON-HISTORIC FINISHES SUCH AS DRYWALL, TILE, PAINT, ETC. DOWN TO SOUND SUBSTRATE ON WALLS, FLOORS, AND CEILINGS. WORK SHALL BE CONDUCTED IN ACCORDANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS.
  - d. REMOVE EXISTING DROPPED CEILINGS TO UNDERSIDE OF STRUCTURE OR HISTORIC CEILING. WHERE ACOUSTICAL CEILING TILE HAS BEEN APPLIED DIRECTLY TO HISTORIC PLASTER SURFACES, REMOVE TILES TAKING CARE TO CAUSE AS LITTLE DAMAGE TO PLASTER AS POSSIBLE.
  - e. REMOVE ALL APPLIED NON-HISTORIC FLOORING MATERIAL, RESIDUE, AND ATTACHMENTS, DOWN TO ORIGINAL WOOD OR CONCRETE SUBSTRATE. TAKE CARE DURING REMOVAL OF CURRENT NON-HISTORIC FLOORING MATERIAL WHERE THERE MIGHT BE HISTORIC FLOOR FINISH UNDERNEATH.
- B. UNLESS NOTED OTHERWISE, ALL EXISTING BRICK WALLS, TRIM & MOLDINGS, STAIRS, CEILINGS, PLASTER DETAILS, AND OTHER ORIGINAL ITEMS SHOULD BE CONSIDERED HISTORIC AND BE SALVAGED OR PROTECTED IN PLACE. CONFIRM ITEMS WITH ARCHITECT IF QUESTIONS ARISE IN THE FIELD.
- C. UNLESS NOTED OTHERWISE, EXISTING INTERIOR DOORS, CASINGS, AND TRIM SHOULD BE CONSIDERED HISTORIC AND BE SALVAGED OR PROTECTED IN PLACE.
- D. UNLESS NOTED OTHERWISE, PRESERVE AND PROTECT HISTORIC STAIRWELLS, INCLUDING WALLS, WALL TRIM, HAND RAILINGS, AND STAIR TREAD & RISER SURFACES DURING DEMOLITION, ABATEMENT, AND CONSTRUCTION ACTIVITIES.
- E. REMOVE ALL EXISTING NON-HISTORIC FURNISHINGS, EQUIPMENT, AND MILLWORK.
- F. UNLESS NOTED OTHERWISE, ALL EXISTING M/E/P/FP, TELE/DATA EQUIPMENT, FIXTURES, AND OTHER SERVICE ELEMENTS SHALL BE REMOVED, INCLUDING DISTRIBUTION PIPING, DUCT WORK, WIRING, CONDUIT, RISERS, PANELS, SWITCHES, FITTINGS, FIXTURES, SUPPORT HARDWARE, FRAMING, HANGERS, FASTENERS, AND ALL OTHER APPURTENANCES. REMOVE ALL RADIATORS, FURNACES, HOT WATER HEATERS, ETC. RETAIN EXISTING STORM DRAINS, UTILITY LEADERS, AND FLOOR DRAINS. COORDINATE IDENTIFICATION AND INSPECTIONS OF EXISTING UNDERGROUND WASTE AND STORM LINES. AS ALLOWED BY CODE, CAP ALL LINES TO BE ABANDONED BEHIND FINISHED SURFACES. ALL M/E/P/FP, TELE/DATA EQUIPMENT, AND OTHER SERVICE ELEMENT DEMOLITION ACTIVITY TO BE COORDINATED WITH GENERAL CONTRACTOR. SUB TRADE CONTRACTORS SHALL MAKE SAFE ALL ITEMS SCHEDULED FOR DEMOLITION AND MARK ALL ITEMS TO REMAIN PRIOR TO COMMENCEMENT OF DEMOLITION WORK.

EXTERIOR CONSTRUCTION

- 1. INSPECT ALL EXPOSED STEEL LINTELS ONCE ROUGH OPENING COVERS, MASONRY INFILL, EXISTING WINDOWS, AND EXISTING PANNING HAVE BEEN REMOVED. REVIEW WITH STRUCTURAL ENGINEER. CLEAN OFF ALL SURFACE CORROSION ON STEEL MEMBERS TO REMAIN. PRIME WITH RUST INHIBITIVE PRIMER AND PAINT.
- 2. REPOINT ALL BRICK AND STONE OPENING JAMBS, SILLS, AND HEADERS AS REQUIRED BEFORE INSTALLATION OF NEW WINDOW SYSTEMS.
- 3. BRICK CLEANING, REPOINTING, AND NEW BRICK:
  - a. **ASSUME 100% BRICK AND STONE TO BE CLEANED.** CLEANING METHODOLOGY SHALL BE APPROVED BY ARCHITECT AND PRERVATION CONSULTANT PRIOR TO UNDERTAKING THIS WORK. CONTRACTOR SHALL COORDINATE FIELD TESTING AND MOCK-UPS ON SELECTED SAMPLE AREAS OF THE EXISTING WALLS. TESTING LOCATOINS SHALL BE APPROVED BY THE ARCHITECT AND PRERVATION CONSULTANT.
  - b. **ASSUME 10% BRICK AND STONE JOINT REPOINTING.** ALL NEW REPOINTING MORTAR MUST MATCH EXISTING MORTAR. CONTRACTOR SHALL COORDINATE SAMPLE MOCK-UPS ON SELECTED AREAS OF THE EXISTING WALLS TO DETERMINE THE FINAL MIX AND COMPOSITION OF MORTAR TO BE USED. TESTING LOCATOINS SHALL BE APPROVED BY THE ARCHITECT AND PRERVATION CONSULTANT.
  - c. ANY REPLACEMENT BRICK AND STONE TO BE INSTALLED MUST MATCH EXISTING IN SIZE, COLOR, COURSING, AND TEXTURE. SAMPLES AND MOCK-UPS ARE REQUIRED AND MUST BE SUBMITTED TO ARCHITECT AND PRERVATION CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - d. NEW BRICK INSTALLED AT NEW WALLS AND WITHIN WALL OPENINGS TO BE OF A COMPATIBLE SHADE TO EXISTING BRICK ONCE IT HAS BEEN CLEANED (SLIGHTLY LIGHTER AND DISTINGUISHABLE FROM THE EXISTING BRICK). SAMPLES AND MOCK-UPS ARE REQUIRED AND MUST BE SUBMITTED TO ARCHITECT AND PRERVATION CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. NEW BRICK MUST COMPLY WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION.
  - e. MASONRY CLEANING AND REPAIR CONTRACTOR(S) SHALL HAVE A MINIMUM OF 10 YEARS OF EXPERIENCE IN THE REPAIR AND MAINTENANCE OF EXISTING BUILDINGS AND SHALL HAVE EXPERIENCE WITH MASONRY RESTORATION PRACTICES THAT COMPLY WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION.
- 4. REFURBISHED AND RESTORED EXISTING WINDOWS TO BE FINISHED WITH EXTERIOR GRADE PAINT AND PRIMER. MINIMUM (2) COATS PLUS PRIMER. PRODUCT DATA, SAMPLES, AND MOCK-UPS ARE REQUIRED AND MUST BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL.
- 5. AS NOTED IN THE CONSTRUCTION DRAWINGS, NEW WINDOWS WHICH REPLACE EXISTING WINDOWS MUST MATCH THE HISTORIC PROFILES AND SIZES OF THE EXISTING HISTORIC WINDOWS BEING REPLACED. DETAILED SHOP DRAWINGS MUST BE SUBMITTED TO ARCHITECT AND PRESERVATION CONSULTANT FOR REVIEW AND APPROVAL, AND MUST THEN BE SUBMITTED TO STATE TAX CREDIT AUTHORITIES FOR THEIR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. DETAILED PRODUCT DATA, PHYSICAL SAMPLES, AND MOCK-UPS WILL BE REQUIRED AS PART OF THE SUBMITTAL TO THE ARCHITECT AND PRESERVATION CONSULTANT.



PROPOSED HISTORIC REHABILITATION & RENOVATION:

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GENERAL NOTES



DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	<b>G1.00</b>
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC

KEYED NOTES

DEMOLITION AND ABATEMENT

- D1. REMOVE EXISTING NON-HISTORIC ADDITION/STRUCTURE IN ITS ENTIRETY INCLUDING FOUNDATIONS & FOOTINGS. BACKFILL PER STRUCTURAL/CIVIL DOCUMENTS. TAKE CARE NOT TO DISTURB HISTORIC BUILDING FEATURES WHERE EXISTING BUILDINGS TO BE REMOVED MEET HISTORIC ELEMENTS TO REMAIN.
- D2. UNLESS OTHERWISE NOTED, REMOVE EXISTING SITE PATHWAYS, HARD SCAPE, AND LANDSCAPING THROUGHOUT INCLUDING WALKWAYS, CURBS, LANDSCAPING, PAVEMENT.
- D3. EXISTING PORCH STRUCTURE IS CONCEALED WITHIN EXISTING BUILDING AND SHOULD BE EXPOSED. EXISTING DECORATIVE WOOD POSTS, BEAMS, ROOF BRACKETS ARE VISIBLE FROM WITHIN THE BUILDING AND SHOULD BE PROTECTED DURING DEMOLITION. COORDINATE WITH ARCHITECT IN FIELD TO DETERMINE EXTENT OF DEMOLITION IN THIS AREA.
- D4. EXISTING NON-HISTORIC CHAIN-LINKED FENCING TO BE REMOVED.
- D5. EXISTING CONCRETE RETAINING WALL ALONG W. 32ND STREET TO BE INSPECTED AND REPAIRED AS NECESSARY TO MAKE STRUCTURALLY SOUND AND OF EVEN PLEASANT APPEARANCE. EXISTING DETERIORATED CONCRETE SITE STAIR LEADING TO BUILDING 1 FROM W. 32ND STREET TO BE REBUILT IN SIMILAR CONFIGURATION AND LOCATION. NEW STAIRWAY WILL NEED TO MEET CODE REQUIREMENTS FOR TREAD DIMENSIONS AND HAND RAILINGS.
- D6. EXISTING DETERIORATED METAL FIRE ESCAPE ON BUILDING 1 TO BE REMOVED IN ITS ENTIRETY INCLUDING STAIRS, PLATFORMS, FASTENERS, SUPPORTS. PATCH & REPAIR MASONRY WHERE NEEDED.
- D7. EXISTING CONCRETE STEPS AND PORCH FOR BUILDING 3 TO REMAIN. NOT IN SCOPE OF PROJECT.
- D8. EXISTING NON-HISTORIC GROUND SIGN AND FLAG POLE TO BE REMOVED.
- D9. EXISTING NON-HISTORIC CONCRETE PORCH TO BE REMOVED.
- D10. EXISTING LIGHT WELL TO REMAIN. PATCH AND REPAIR AS REQUIRED. CONFIRM THAT AREAS DRAINS ARE IN PLACE AND OPERATIONAL.
- D11. **BUILDING 1:**  
REFER TO DETAILED DEMOLITION INSTRUCTIONS IN GENERAL NOTES. UNLESS OTHERWISE NOTED, ALL NON-HISTORIC ITEMS TO BE REMOVED.  
  
FLOORING AND WALL BASE: REMOVE NON-HISTORIC FLOORING FINISHES (VCT, CARPET, TILE) DOWN TO EXISTING WOOD FLOORING OR SUBSTRATE. PROTECT ANY HISTORIC WOOD BASE MOLDINGS AND DISCOVERED ORIGINAL WOOD FLOORING FOR REFINISHING.  
  
WALLS: REMOVE NON-HISTORIC WALL FINISHES. UNEVEN PLASTER WALLS TO BE SANDED, REFINISHED, AND MADE SMOOTH.  
  
CEILINGS: REMOVE SUSPENDED CEILING SYSTEMS IN THEIR ENTIRETY TO EXPOSE EXISTING CEILINGS AND CROWN MOLDINGS ABOVE. EXISTING DAMAGED PLASTER CEILINGS TO BE REMOVED DOWN TO WOOD STRUCTURE ABOVE AND REPLACED. DO NOT DAMAGE OR REMOVE EXISTING PLASTER CROWN MOLDINGS. UNLESS OTHERWISE NOTED, ALL HISTORIC CROWN MOLDINGS TO BE RESTORED.
- D12. **BUILDING 2:**  
REFER TO DETAILED DEMOLITION INSTRUCTIONS IN GENERAL NOTES. UNLESS OTHERWISE NOTED, ALL NON-HISTORIC ITEMS TO BE REMOVED.  
  
REMOVE ALL NON-HISTORIC FLOORING, PARTITIONS, AND CEILINGS DOWN TO ORIGINAL STRUCTURAL CONCRETE DECK AND COLUMNS. INSPECT EXTERIOR WALL FURRING FOR ORIGINAL HISTORIC CONTENT AND REMOVE ANY NON-ORIGINAL PLASTER AND FRAMING AS POSSIBLE.
- D13. EXISTING STAIRWELL TO REMAIN. REPAIR AND REFINISH. REFER TO NOTE C6.
- D14. NON-HISTORIC KNEE WALL TO BE REMOVED.
- D15. NON-HISTORIC PARTIAL HEIGHT WALL TO BE REMOVED.
- D16. NON-HISTORIC DOOR AND DOOR FRAME TO BE REMOVED. PREPARE ROUGH OPENING TO BE INFILLED WITH NEW GYP. BOARD FINISH FLUSH TO EXISTING PLASTER WALL FINISH, BOTH SIDES.
- D17. RESTORE ORIGINAL WINDOW OPENING. REMOVE BRICK INFILL AND PREPARE OPENING FOR NEW SILL INSTALLATION. NEW STONE AND BRICK SILLS, HEAD COURSING, AND LINTELS IF REQUIRED TO BE INSTALLED TO MATCH ADJACENT HISTORIC WINDOW OPENINGS. REFER TO NOTES W1 FOR ADDITIONAL INFORMATION.
- D18. EXISTING HEADER AND HISTORIC PLASTER CROWN MOLDING ABOVE TO BE RETAINED AND RESTORED.
- D19. REMOVE EXISTING NON-HISTORIC FULL HEIGHT WALL.
- D20. EXISTING EXPOSED STRUCTURAL STEEL BEAM TO BE REMOVED AND REPLACED BY NEW BEARING WALL.
- D21. ENLARGE NON-HISTORIC OPENING IN EXISTING WALL TO MATCH SHAPE AND CHARACTER OF EXISTING HISTORIC HALL DOORWAY.
- D22. REMOVE EXISTING NON-HISTORIC FURNITURE AND MILLWORK.
- D23. EXISTING SERVICE STAIR DOES NOT CONFORM WITH CURRENT BUILDING CODES AND IS TO BE

- REMOVED.
- D24. REMOVE EXISTING SUSPENDED PLASTER CEILING TO EXPOSED ORIGINAL WOOD CEILING ABOVE.
- D25. REMOVE INFILL PANELS WITHIN LOWER PORTION OF EXISTING WINDOW FRAMES TO EXPOSE ENTIRE WINDOW OPENING. PREPARE FOR INSTALLATION OF NEW WINDOW UNITS.
- D26. EXPOSED WOOD WALLS AND SLOPED CEILING ABOVE CEILING LEADING UP TO ATTIC WINDOW TO BE EXPOSED AND RESTORED.
- D27. REMOVE EXISTING BOILER ROOM ENCLOSURE AND EQUIPMENT.
- D28. NEW ROUGH OPENING TO BE CUT IN EXISTING MASONRY WALL.
- D29. EXISTING CORRIDOR WALL LOCATIONS. CORRIDORS TO REMAIN.
- D30. EXISTING FIREPLACE TO REMAIN.
- D31. REMOVE AND REPLACE EXISTING GUTTERS AND DOWNSPOUTS IN EXISTING LOCATIONS.
- D32. REMOVE EXISTING ELEVATOR, ELEVATOR DOORS, AND ELEVATOR EQUIPMENT IN THEIR ENTIRETY. NEW ELEVATOR TO BE INSTALLED WITHIN EXISTING ELEVATOR SHAFT.
- D33. **BUILDING 2 LOBBY:**  
REFER TO DETAILED DEMOLITION INSTRUCTIONS IN GENERAL NOTES. UNLESS OTHERWISE NOTED, ALL NON-HISTORIC ITEMS TO BE REMOVED.  
  
FLOORING AND WALL BASE: EXISTING WOOD FLOORING TO REMAIN AND BE REFINISHED. PROTECT ANY HISTORIC WOOD BASE MOLDINGS AND DISCOVERED ORIGINAL WOOD FLOORING FOR REFINISHING. REMOVE NON-HISTORIC FLOORING FROM THE OFFICE DOWN TO ORIGINAL FLOORING BELOW.  
  
WALLS: REMOVE NON-HISTORIC WALL FINISHES. UNEVEN PLASTER WALLS TO BE SANDED, REFINISHED, AND MADE SMOOTH. EXISTING FIREPLACE AND WOOD MANTEL TO REMAIN. WINDOW CASINGS, ARCHED WOOD OPENINGS, AND WOOD CROWN MOLDINGS TO REMAIN. REMOVE NON-HISTORIC WOOD WAINSCOT, RADIATOR COVERS, AND NON-HISTORIC PARTITIONS ENCLOSING THE OFFICE.  
  
CEILINGS: REMOVE SUSPENDED CEILING SYSTEMS IN THEIR ENTIRETY TO EXPOSE EXISTING COUFFERED CEILINGS AND CROWN MOLDINGS ABOVE. EXISTING DAMAGED PLASTER CEILINGS TO BE REMOVED DOWN TO WOOD STRUCTURE ABOVE AND REPLACED.
- D34. REMOVE EXISTING FURNACE, BOILER, AND OTHER UTILITY EQUIPMENT AND DEBRIS FROM EXISTING BUILDING SERVICE ROOMS.
- D35. ARCHITECT TO CONFIRM THAT EXISTING WALLS ARE NOT LOAD BEARING PRIOR TO REMOVAL. CONTRACTOR TO SHORE UP EXISTING STRUCTURE AS REQUIRED.
- D36. **UNFINISHED STORAGE ATTIC**  
REMOVE ALL DEBRIS FROM UNFINISHED STORAGE ATTIC. REPAIR ANY DAMAGED EXPOSED WOOD SUB-FLOORING AND PREPARE AREA TO BE FINISHED DURING CONSTRUCTION.
- D37. REINSTATE HISTORIC DOOR OPENING. REMOVE NON-HISTORIC BRICK INFILL AND PREPARE OPENING FOR NEW DOOR INSTALLATION. NEW DOOR FRAME TO MATCH CHARACTERISTICS OF EXISTING HISTORIC DOOR FRAME ON WEST PORCH.
- D38. **STAIR 2C**  
STAIRWELL 2C WILL BE MODIFIED SO THAT IT CAN BE USED AS A MEANS OF EGRESS FROM THE BASEMENT TO THE 1ST FLOOR, AND THEN FOR USE WITHIN 2 MULTI-LEVEL APARTMENTS BETWEEN THE 1ST & 2ND FLOOR AND BETWEEN THE 3RD FLOOR AND ATTIC. THE FLIGHT OF STAIRS BETWEEN THE 2ND & 3RD FLOOR WILL BE REMOVED. NEW WALLS WILL BE INSTALLED WITHIN THE STAIRWELL TO SEPARATE THE 3 AREAS. PORTIONS OF THE ORIGINAL STAIR TO REMAIN WILL BE REPAIRED AND REFINISHED. EXISTING WINDOW OPENINGS WILL REMAIN AND WILL BE UNOBSTRUCTED BY NEW WALLS.
- D39. REMOVE RAMP TO EXPOSE ORIGINAL STAIRS BELOW. INSPECT STAIRS FOR CONDITION AND RESTORE IF POSSIBLE.
- D40. REMOVE EXISTING MEMBRANE ROOFING SYSTEM DOWN TO SUBSTRATE. INSTALL NEW MEMBRANE ROOFING SYSTEM, FLASHING, COUNTER FLASHING AND ROOFING INSULATION (MINIMUM REQUIRED R-VALUE). INSPECT EXISTING SUBSTRATE FOR STABILITY. EXISTING CLAY & STONE PARAPET CAPS TO BE SALVAGED FOR REINSTALLATION IN SAME LOCATION ON TOP OF NEW PARAPET COUNTER FLASHING. REFER TO NOTE C12 AND C2.
- D41. REMOVE EXISTING ASPHALT OR SLATE ROOF SHINGLES AND ANY ROOFING MEMBRANES DOWN TO SOUND SUBSTRATE OR TO ORIGINAL ROOFING STRUCTURE IF REQUIRED. PREPARE ROOF STRUCTURE FOR NEW ROOFING SYSTEM INSTALLATION. REFER TO NOTE C40 FOR NEW ROOFING INFORMATION.
- D42. REMOVE STONE COPINGS AND CLEAN FOR REINSTALLATION. PATCH AND REPAIR EXISTING COPPER FLASHING. IF DAMAGED OR DETERIORATED, ROOFING CONTRACTOR TO INSTALL NEW FLASHING IN CONJUNCTION WITH NEW ROOFING SYSTEM INSTALLATION. NEW TO BE INSTALLED TO COVER TOP OF BRICK PARAPETS PRIOR TO REINSTALLATION OF STONE CAPS.
- D43. REMOVE EXISTING RADIATOR.
- D44. REMOVE EXISTING NON-HISTORIC SOFFIT ABOVE UP TO UNDERSIDE OF EXISTING CROWN

- MOLDINGS TO REMAIN.
- D45. HISTORIC DOOR FRAME TO REMAIN. REMOVE EXISTING WALL INFILL AND EQUIPMENT. RESTORE EXISTING FRAME AND PREPARE FOR INSTALLATION OF NEW WOOD DOOR.
- D46. EXCAVATE EXISTING DIRT BASEMENT FLOOR TO PROVIDE MINIMUM 9' CLEAR HEAD HEIGHT BELOW NEW RATED DRYWALL CEILING ABOVE. COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER.
- D47. REMOVE NON-HISTORIC BENCH
- D48. EXISTING BOX GUTTERS TO REMAIN AND BE RESTORED. INSPECT AND REPLACE EXISTING METAL GUTTER LINER IF REQUIRED.
- D49. EXSTING ROOF HATCH TO REMAIN.
- D50. ATTIC LEVEL OF BUILDING 1 TO REMAIN ABANDONED IN PLACE.



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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KEYED NOTES

NOTES REFERENCED ON DEMOLITION AND CONSTRUCTION DRAWINGS



DRAWING ISSUE INFORMATION:		<b>G1.10</b>
<b>CITY LANDMARKS REVIEW</b> OCTOBER 21, 2021 TDG FRANKLIN REALTY, LLC		



**CONSTRUCTION & REHABILITATION**

- C1. EXISTING HISTORIC STAIR TO REMAIN.
- C2. CLEAN / RESTORE ALL EXTERIOR BRICK, STONE DETAILING, AND STONE COPINGS ON ALL BUILDINGS, TYPICAL. REFER TO GENERAL NOTES.
- C3. NEW GUARDRAILING UP TO 3'-6" ABOVE FINISHED ADJACENT WALKING SURFACE.
- C4. NEW ELEVATOR CAB AND DOORS: INSTALL 4,500LB CAPACITY SINGLE OPENING ELEVATOR WITH 3 STOPS. 2HR RATED HOISTWAY CONSTRUCTION.
- C5. NEW ACCESSIBLE BUILDING ENTRY. CONCRETE WALKWAY AND LANDSCAPE TO SLOPE UP TO BUILDING ENTRY LANDING. UNLESS NOTED OTHERWISE, MAINTAIN SLOPE LESS THAN 2% SO THAT HAND RAILINGS WILL NOT BE REQUIRED.
- C6. EXISTING STAIR TO REMAIN. PATCH, REPAIR, & REFINISH EXISTING WOOD TREADS, RISERS, RAILING, AND TRIM INCLUDING WALL BASE AND ADJACENT TRIM ON WALLS AND AROUND FLOOR 2 FLOOR OPENING. USE SALVAGED SPINDLES & NEWEL POSTS AS TEMPLATES FOR ANY REPLACEMENT.
- C7. EXISTING FIRE STAIR TO REMAIN. PATCH, REPAIR, & REFINISH. REFER TO NOTE D38 REGARDING SCOPE OF WORK FOR STAIR 2C.
- C8. EXISTING HISTORIC STAIR MAY BE CONCEALED BEHIND NON-ORIGINAL EXISTING RAMP. EXISTING STAIR TO BE INSPECTED FOR POSSIBLE RESTORATION IF UNCOVERED DURING DEMOLITION.
- C9. NEW PRIVATE STAIR WITHIN APARTMENTS. SOLID WOOD TREADS AND CLOSED RISERS ON METAL STRINGERS. METAL HANDRAILING WITH CABLE RAILING GUARDRAILS WHERE REQUIRED. SPIRAL STAIRS TO HAVE WOOD TREADS WITH OPEN RISERS SUPPORTED BY METAL STRUCTURE. STAIR LANDINGS ARE LOWER THAN EXISTING WINDOW SILLS WHEN ADJACENT TO WINDOWS.
- C10. INSTALL NEW BRICK TO MATCH SIZE & COURSING OF EXISTING BRICK. SUBMIT SAMPLES OF BRICK AND GROUT FOR APPROVAL BY ARCHITECT AND PRESERVATION CONSULTANT.
- C12. INSTALL NEW FULLY ADHERED MEMBRANE ROOF TO COVER BOARD, INSULATION (MINIMUM REQUIRED R-VALUE, VAPOR BARRIER ON 1/2" GLASS-MAT SHEATHING OVER NEW JOISTS AS SPECIFIED BY STRUCTURAL ENGINEER. MAINTAIN MIN. SLOPE 1/4" PER FOOT TO GUTTERS.
- C13. EXISTING PORCH: DECORATIVE PORCH STRUCTURE AND WOOD BRACKETS TO REMAIN. PORCH STEPS AND DECK TO BE INSPECTED AND RESTORED. NON-ORIGINAL PORCH ELEMENTS TO BE REMOVED. PORCH TO BE RESTORED TO ORIGINAL HISTORIC CHARACTER.
- C14. INSTALL NEW EXTERIOR METAL HOODS AND WOOD TRIM AROUND NEW WINDOW OPENINGS ON BUILDING. NEW METAL HOODS AND DETAILING TO MATCH THOSE OF THE ADJACENT HISTORIC WINDOW OPENINGS TO REMAIN.
- C15. INSTALL MEDIUM DENSITY CLOSED CELL SPRAY FOAM INSULATION TO UNDERSIDE OF EXISTING WOOD ROOF SHEATHING THROUGHOUT. ACHIEVE MINIMUM CODE REQUIRED R-VALUE. TYPICAL FOR ALL SLOPED ROOFING SYSTEMS.
- C16. PATCH, REPAIR, AND RESTORE ALL EXTERIOR DECORATIVE WOOD TRIM.
- C17. NEW FRONT PORCH TO BE CONSTRUCTED WITH WOOD POSTS AND DECORATIVE TRIM SIMILAR TO THE 2 EXISTING PORCH STRUCTURES TO REMAIN.
- C18. RESTORE HISTORIC PORCH.
- C19. NEW FOYER ENCLOSURE ADDITION ADDED TO WEST ENTRANCE OF BUILDING 2. APPEARANCE TO CLOSELY REPLICATE HISTORIC FOYER SHOWN IN PHOTO ON COVER SHEET.
- C20. NEW PAINTED ALUMINUM ZERO SIGHT LINE ARCHITECTURAL AIR INTAKE AND EXHAUST LOUVERS INSTALLED WITHIN EXISTING BASEMENT WINDOW ROUGH OPENINGS. EXISTING WINDOW SILL TO BE INSPECTED. RESTORE AND REPAIR IF CONDITION ALLOWS. REPLACE WITH NEW SILL MATCHING SIZE AND DIMENSIONS OF EXISTING SILL IF DETERIORATION OF EXISTING SILL IS BEYOND SALVAGE.
- C21. NEW STONE AND BRICK STEPS AND ENTRY PORCH WITH TERRACED PLANTERS CONSTRUCTED AT THE NEW MAIN APARTMENT BUILDING ENTRY INTO THE EXISTING ELEVATOR LOBBY.
- C22. EXISTING BUILDING ENTRY PORCH AND WALKWAY TO REMAIN. PATCH AND REPAIR SIDEWALK, STEPS, AND PORCH.
- C23. *UNUSED*
- C24. EXISTING PORCH AND STEPS FOR BUILDING 3 TO REMAIN. OUT OF SCOPE OF PROJECT.
- C25. ALL EXISTING RETAINING WALLS TO BE INSPECTED. PATCH AND REPAIR IF POSSIBLE. REPLACE IF NECESSARY.
- C26. PATCH AND REPAIR EXISTING CONCRETE STRUCTURAL FLOORS TO REMAIN. PREPARE FOR NEW FINISH INSTALLATION. REFER TO FINISH LEGEND.
- C27. NEW CONCRETE FLOOR.
- C28. NEW MEMBRANE ROOF ON PORCH ROOF BELOW.
- C29. EXISTING DORMER ABOVE TO REMAIN.
- C30. SLOPING ROOF STRUCTURE AND CEILING ABOVE. NEW KNEE WALLS PROVIDED WITHIN UNIT TO MAINTAIN MINIMUM HEAD ROOM CLEARANCE OF 7'-0". HEADROOM ABOVE STORAGE IN

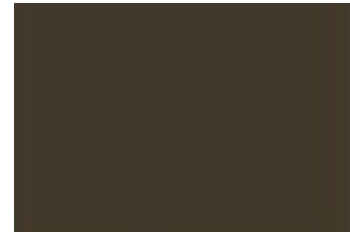
CLOSETS MAY BE LESS THAN 7'-0".

- C31. NEW DECORATIVE METAL RAILING.
- C32. REPAIR/CLEAN AND REPAINT EXISTING DECORATIVE METAL.
- C33. INSTALL NEW FRAMLESS FLUSH DRYWALL HINGED CEILING PANEL TO PROVIDE ACCESS TO ABANDONED ATTIC AREA.
- C34. NEW MECHANICAL WELLS FOR NEW REQUIRED HVAC EQUIPMENT SUPPORTING BUILDINGS 1 AND 2. WELLS ARE MIN. 6' DEEP AND SURROUNDED BY BRICK KNEE WALLS AND LANDSCAPING TO CONCEAL EQUIPMENT FROM VIEW.
- C35. HATCH INDICATES AREAS WITHIN OF EXISTING WOOD FRAMED WALLS TO REMAIN TO BE USED TO CONCEAL CONSOLIDATED PLUMBING, HVAC, AND SPRINKLER PIPE RISERS WITHIN THE EXISTING STUD CAVITIES FOR THE (4) NORTH APARTMENTS OF BUILDING 1. FINAL DESIGN AND SPECIFIC LOCATIONS TO BE EVALUATED BY THE ARCHITECT & MEP ENGINEER DURING THE CONSTRUCTION DOCUMENTS PHASE OF THE PROJECT AND SUBMITTED FOR REVIEW PRIOR TO WORK COMMENCING.
- C36. ALL HISTORIC DECORATIVE METAL EXTERIOR WINDOW/DOOR HOODS TO REMAIN. RESTORE AND REFINISH. REFER TO WINDOW GENERAL NOTES AND COORDINATE WITH WINDOW INSTALLATION.
- C37. NEW ELECTRIC ENCLOSED ACCESSIBLE PASSENGER LIFT PROVIDING ACCESSIBLE CIRCULATION BETWEEN FLOOR 1 AND BASEMENT LEVELS.
- C38. EXISTING BOX GUTTERS TO REMAIN AND BE RESTORED. INSPECT AND REPLACE EXISTING METAL GUTTER LINER IF REQUIRED.
- C39. EXISTING ROOF HATCH TO REMAIN.
- C40. INSTALL NEW ASPHALT ROOFING SYSTEM ON SLOPES ROOFS. PREPARE EXISTING SUBSTRATE STRUCTURE FOR NEW ROOFING SYSTEM INSTALLATION: ARCHITECTURAL ASPHALT SHINGLES (GAF SLATLINE OR EQUIVALENT), UNDERLAYMENT, AND ICE & WATER SHIELD, SNOW GUARD, AND NEW PLYWOOD SUBSTRATE IF REQUIRED. EXISTING COPPER FLASHING ON PARAPETS TO REMAIN IF IN GOOD CONDITION. PATCH AND REPAIR AS REQUIRED.
- C41. INSTALL NEW MEMBRANE ROOFING SYSTEM, FLASHING, COUNTER FLASHING AND ROOFING INSULATION (MINIMUM REQUIRED R-VALUE). INSPECT EXISTING SUBSTRATE FOR STABILITY. EXISTING CLAY & STONE PARAPET CAPS TO BE SALVAGED FOR REINSTALLATION IN SAME LOCATION ON TOP OF NEW PARAPET COUNTER FLASHING. REFER TO NOTE C12.
- C42. NEW PAINTED ALUMINUM GUTTERS AND DOWNSPOUTS INSTALLED IN ORIGINAL LOCATIONS.
- C43. EXISTING LIGHT WELL TO REMAIN. PATCH AND REPAIR AS REQUIRED. CONFIRM THAT RETAINING WALLS ARE STRUCTURALLY SOUND, AND THAT AREAS DRAINS ARE IN PLACE AND OPERATIONAL.
- C44. ENLARGE OR COMBINED EXISTING LIGHT WELLS. NEW BRICK RETAINING WALLS WITH STONE CAPS SIMILAR TO EXISTING ADJACENT LIGHT WELLS.

**WINDOWS**

- W1. REINSTATE HISTORIC WINDOW OPENING. NEW METAL WINDOW TO BE INSTALLED IN NEW WALL OPENING. NEW WINDOWS, WINDOW FRAMES, AND WINDOW TRIM TO MATCH HISTORIC CHARACTERISTICS OF ADJACENT HISTORIC WINDOWS. NEW WINDOWS TO INCLUDE CLEAR INSULATED GLAZING UNIT UNLESS OTHERWISE NOTED.
- W2. NEW EXTERIOR ALUMINUM STOREFRONT WINDOWS WITH CLEAR INSULATED GLASS.
- W3. REMOVE EXISTING VINYL WINDOWS AND METAL EXTERIOR FRAME DOWN TO ORIGINAL ROUGH OPENING. INSTALL NEW EXTERIOR ALUMINUM STOREFRONT WINDOWS WITH CLEAR INSULATED GLASS.
- W4. NEW METAL WINDOW TO BE INSTALLED IN NEW WALL OPENING. NEW WINDOWS, WINDOW FRAMES, AND WINDOW TRIM TO MATCH HISTORIC CHARACTERISTICS OF ADJACENT HISTORIC WINDOWS. ADD SOLDIER COURSING AT HEAD OF NEW WINDOW OPENING TO DIFFERENTIATE FROM ADJACENT ORIGINAL OPENINGS.

**EXTERIOR FINISHES**



WINDOWS AND TRIM  
SW7675 Sealskin, or similar Standard Colors



ASPHALT SHINGLES  
GAF Slateline, Weathered Slate Color

**INTERIOR FINISHES**

GENERAL FINISH NOTES:

1. **ACOUSTIC SEPARATION** BETWEEN ADJACENT UNITS IS REQUIRED BY CODE. MINIMUM STC-50 IN WALLS AND IIC-50 IN FLOORS AND CEILINGS.  
**BUILDING 1:** WHERE EXISTING HISTORIC CEILINGS AND PLASTER MOLDINGS WILL REMAIN, AN ACOUSTIC TOPPING WILL BE APPLIED ON TOP OF EXISTING WOOD FLOORS TO ACHIEVE MINIMUM IIC-50 RATING. ASSUME TOPPING TO CONSIST OF 5/8" ACOUSTIC MAT WITH A 1.5" GYPCRETE TOPPING. FINISHED FLOORING TO BE INSTALLED ON TOP OF GYPCRETE.  
**BUILDING 2:** INSTALL SUSPENDED ACOUSTIC DRYWALL CEILING ASSEMBLY BELOW EXISTING CONCRETE FLOOR STRUCTURE TO REMAIN. ASSUME THAT FINISHED FLOORING CAN BE INSTALLED DIRECTLY ON TOP OF EXISTING CONCRETE SLAB.
2. **BUILDING 1 APARTMENTS (LIVING AREAS, BEDROOMS, AND COMMON CORRIDORS):**  
**FLOORING:** EXISTING WOOD FLOORING TO REMAIN. REFINISH. INSTALL NEW MATCHING WOOD FLOORING IF EXISTING FLOOR IS MISSING OR DAMAGED.  
**WALL BASE:** EXISTING WOOD WALL BASE TO REMAIN. REFINISH. INSTALL NEW MATCHING WOOD WALL BASE IF EXISTING WALL BASE IS MISSING OR DAMAGED.  
**WALLS:** PAINTED DRYWALL/PLASTER. EXISTING PLASTER WALLS TO BE SANDED SMOOTH.  
**CEILINGS:** PAINTED DRYWALL/PLASTER. EXISTING PLASTER CEILING TO BE SANDED SMOOTH.  
**CROWN:** EXISTING PLASTER CROWN MOLDINGS TO REMAIN. REPAIR, RESTORE, AND REFINISH. INSTALL NEW MATCHING PLASTER MOLDING IF EXISTING IS MISSING OR DAMAGED. REFER CROWN MOLDING KEY ON SHEET G1.12
- BUILDING 1 APARTMENTS (BATHROOMS):**  
**FLOORING:** CERAMIC TILE FLOORING  
**WALL BASE:** EXISTING WOOD WALL BASE TO REMAIN. REFINISH. INSTALL NEW MATCHING WOOD WALL BASE IF EXISTING WALL BASE IS MISSING OR DAMAGED.  
**WALLS:** CERAMIC WALL TILE ON WET WALLS. PAINTED DRYWALL/PLASTER ELSEWHERE. EXISTING PLASTER WALLS TO BE SANDED SMOOTH.  
**CEILINGS:** PAINTED DRYWALL/PLASTER. EXISTING PLASTER CEILING TO BE SANDED SMOOTH.  
**CROWN:** EXISTING PLASTER CROWN MOLDINGS TO REMAIN. REFINISH. INSTALL NEW MATCHING PLASTER MOLDING IF EXISTING IS MISSING OR DAMAGED. REFER CROWN MOLDING KEY ON SHEET G1.12
- BUILDING 2 APARTMENTS (LIVING AREAS AND BEDROOMS):**  
**FLOORING:** VINYL PLANK FLOORING  
**WALL BASE:** 6" FLAT WOOD WALL BASE, PAINTED.  
**WALLS:** PAINTED DRYWALL/PLASTER. EXISTING PLASTER WALLS TO BE SANDED SMOOTH.  
**CEILINGS:** PAINTED DRYWALL.
- BUILDING 2 APARTMENTS (BATHROOMS):**  
**FLOORING:** CERAMIC TILE FLOORING  
**WALL BASE:** 6" CERAMIC TILE BASE  
**WALLS:** CERAMIC WALL TILE ON WET WALLS. PAINTED DRYWALL ELSEWHERE. EXISTING PLASTER WALLS TO BE SANDED SMOOTH.  
**CEILINGS:** PAINTED DRYWALL.
- BUILDING 2 COMMON CORRIDORS & ELEVATOR LOBBY:**  
**FLOORING:** CARPET  
**WALL BASE:** 6" FLAT WOOD BASE, PAINTED  
**WALLS:** PAINTED DRYWALL/PLASTER. EXISTING PLASTER WALLS TO BE SANDED SMOOTH.  
**CEILINGS:** PAINTED DRYWALL.
- BUILDING 2 MISCELLANEOUS**  
**FITNESS:** FITNESS ROOM FLOOR TO RECEIVE RUBBER FITNESS FLOORING AND ACOUSTIC CEILING TILE.  
**OFFICE:** OFFICE FLOOR TO RECEIVE CARPET AND ACOUSTIC CEILING TILE.

*NOTE: FINAL COLORS FOR WINDOWS AND EXTERIOR TRIM TO BE CONFIRMED ONCE THE WINDOW VENDOR CONTRACT HAS BEEN AWARDED*



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**KEYED NOTES, FINISHES**

NOTES REFERENCED ON DEMOLITION AND CONSTRUCTION DRAWINGS

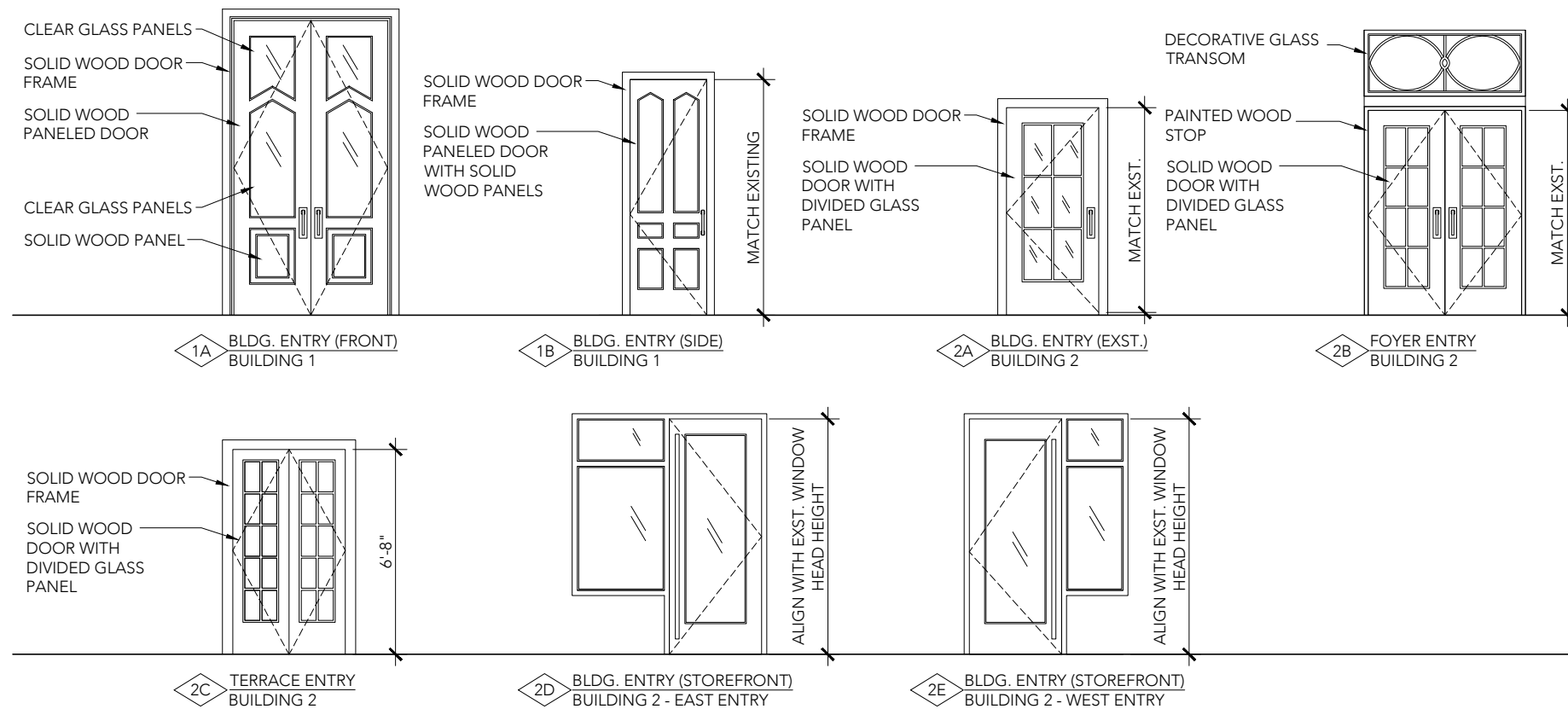


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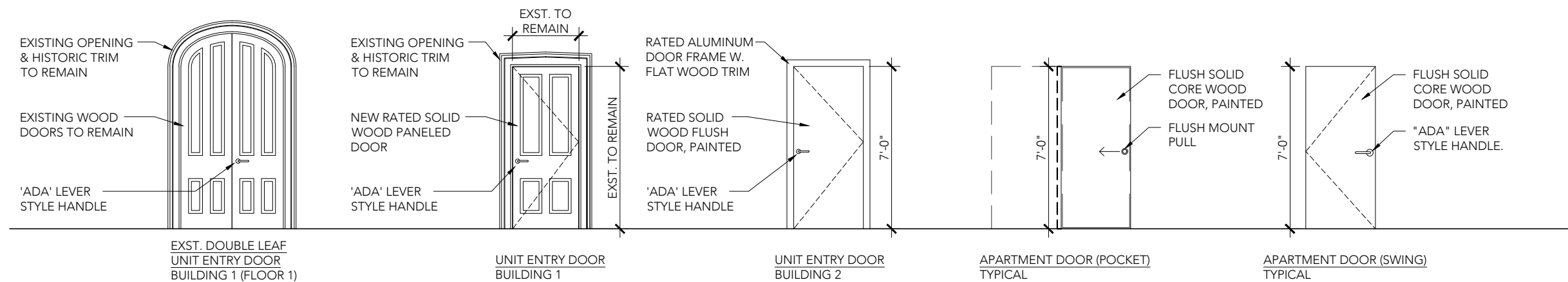
DOORS

- B1. REMOVE EXISTING NON-HISTORIC DOOR AND FRAME DOWN TO ROUGH OPENING.
- B2. REMOVE AND RETAIN EXISTING HISTORIC DOOR. EXISTING FRAME TO REMAIN.
- B3. EXISTING HISTORIC DOOR AND DOOR FRAME TO REMAIN AS OPERABLE DOOR.
- B4. EXISTING HISTORIC DOOR AND DOOR FRAME TO REMAIN. EXISTING DOOR TO BE FIXED SHUT IN PLACE. INSTALL DRYWALL WITHIN EXISTING DOOR FRAME ON UNIT SIDE OF WALL. NEW DRYWALL TO BE INSET FROM FINISH FACE OF WALLS.
- B5. REMOVE EXISTING NON-HISTORIC DOOR FROM HISTORIC DOOR FRAME. FRAME TO BE RESTORED. INSTALL NEW WOOD DOOR.
- B6. EXISTING HISTORIC DOOR FRAME TO REMAIN.
- B7. BUILDING 2 APARTMENT ENTRY DOORS: NEW SOLID CORE FLUSH APARTMENT ENTRY DOORS. STAINED WOOD FINISH. 1.5" ALUMINUM FRAMES.
- B8. RATED LABELED FLUSH WOOD DOOR FOR EGRESS STAIRS AND UTILITY ROOMS WITH RATED METAL FRAME. PAINTED.
- B9. NEW WOOD DOOR WITH TRIM AND VISION PANELS MATCHING HISTORIC PHOTO.
- B10. NEW WINDOW TO BE INSTALLED IN LOCATION OF EXISTING DOOR OPENING. DOOR & FRAME TO BE REMOVED. NEW WINDOW MATCH ADJACENT HISTORIC WINDOWS TO BE INSTALLED IN EXISTING DOOR OPENING. SALVAGE EXISTING DOOR FRAME IF POSSIBLE.
- B11. HISTORIC DOOR & FRAME TO BE REMOVED. SALVAGE FOR REUSE. INFILL OPENING WITH DRYWALL.
- B12. NEW DOOR & FRAME TO BE INSTALLED IN LOCATION OF EXISTING WINDOW OPENING. REMOVE EXISTING WINDOW. SALVAGE HISTORIC WINDOW FRAME IF IT EXISTS. INSTALL NEW WOOD DOOR AND FRAME.
- B13. EXISTING HISTORIC DOOR FRAME TO REMAIN. REMOVE ANY EXISTING NON-HISTORIC DOOR AND INFILL DOOR OPENING WITH PAINTED DRYWALL. FINISH FACE OF DRYWALL TO BE INSET FROM FINISH FACE OF WALL, BOTH SIDES.
- B14. INSTALL NEW WOOD DOOR FRAME AND DOOR MATCHING ADJACENT HISTORIC DOOR FRAME AND DOOR.
- B15. INSTALL NEW WOOD ENTRY DOOR WITHIN EXISTING WOOD FRAME TO REMAIN.

EXTERIOR DOORS



INTERIOR DOORS



DOOR ELEVATIONS & NOTES

**WINDOW & FRAME KEYED REMARKS**

**WINDOW OPERATION/TYPE KEY**

- |                               |   |
|-------------------------------|---|
| FIX = FIXED, NO OPERABLE UNIT | AWN = AWNING                                |
| SH = SINGLE HUNG              | HOP = HOPPER                                |
| DH = DOUBLE HUNG              | PIV = HORIZONTAL CENTER PIVOT               |
| ETR = EXISTING TO REMAIN      | ST.F = STOREFRONT (KAWNEER, ENCORE OR SIM.) |

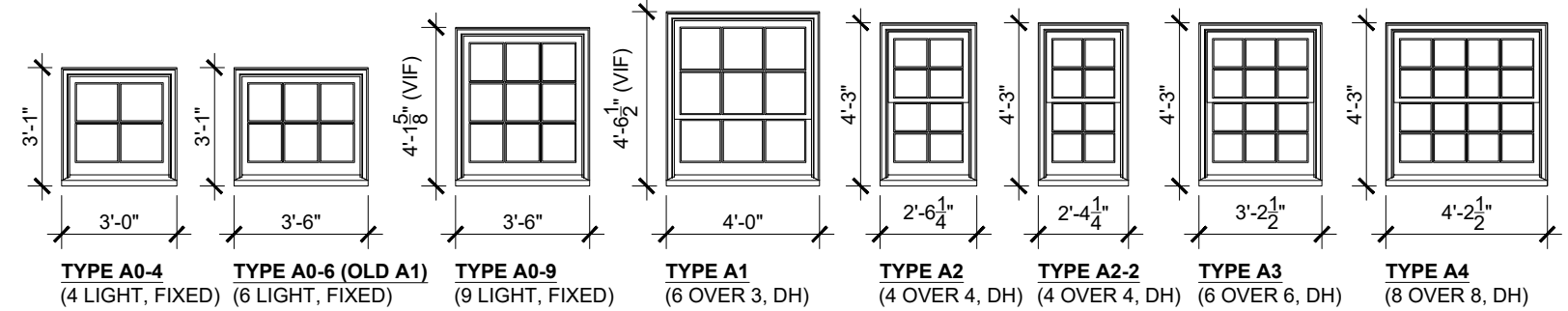
**GRAPHICS KEY**

- B3** WINDOW TAGS APPEARING ON PLANS AND ELEVATIONS REFER TO WINDOW TYPE AND NUMBER SHOWN ON THIS SHEET

**WINDOW & FRAME GENERAL NOTES:**

- THIS PROJECT IS A HISTORIC TAX CREDIT PROJECT. ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION. REFER TO THE NATIONAL PARK SERVICE (NPS) PRESERVATION BRIEFS FOR GUIDANCE REGARDING HISTORIC INTERIORS AND ARCHITECTURAL ELEMENTS.
- WINDOW VENDOR (CONTRACTOR) TO PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW, APPROVAL, AND SUBMISSION TO SHPO AND NPS FOR HISTORIC TAX CREDIT REVIEW. SHOP DRAWINGS TO INCLUDE DETAILED SIDE BY SIDE COMPARISON OF EXISTING WINDOW DETAILS AND PROPOSED METAL WINDOW UNITS TO DEMONSTRATE REPLICATION OF EXISTING HISTORIC DETAILS INCLUDING FRAME AND SASH DESIGN AND PROFILES, DIMENSIONS, BRICK MOLDS, GLASS SETBACKS, HARDWARE, AND FLASHING. PHYSICAL SUBMITTALS TO INCLUDE METAL FRAME COLORS, GLASS, GLAZING UNITS, AND CAULKING. CONTRACTOR TO COORDINATE SUBMISSION SCHEDULE WITH ARCHITECT, AND MUST INCLUDE TIME IN THEIR PROPOSED DELIVERY/FABRICATION SCHEDULE FOR SHOP DRAWING PREPARATION, SHPO APPROVAL PRIOR TO FABRICATION.
- WINDOW VENDOR TO VERIFY ALL FIELD MEASUREMENTS FOR ALL WINDOWS AND OPENINGS PRIOR TO FINAL PRICING AND FABRICATION. ALL EXISTING AND PROPOSED WINDOW CONFIGURATIONS AND ROUGH OPENING SIZES SHOWN HERE ARE INCLUDED FOR REFERENCE.
- TEMPERED GLASS TO BE INSTALLED IF BOTTOM EDGE OF GLASS IS LESS THAN 18" ABOVE THE ADJACENT EXTERIOR WALKING SURFACE OR INTERIOR FLOOR.
- EXTERIOR FLASHING AND CAULKING TO MATCH WINDOW COLOR. VERIFY FINAL COLOR WITH ARCHITECT. CAULKING AND BACKER ROD INSTALLED BY WINDOW CONTRACTOR.
- GC TO INSPECT ALL EXISTING WINDOW SILLS, BRICK OPENINGS, AND OPENING LINTELS IN FIELD FOR CRACKING OR DETERIORATION. PATCH, PAIR, & REBUILD AS NECESSARY. EXISTING WINDOW SILLS, BRICK AT JAMBS, AND WINDOW LINTEL REPAIR AND PLACEMENT WORK TO BE COMPLETED PRIOR TO WINDOW INSTALLATION.
- HISTORIC METAL WINDOW HOODS: GC TO INSPECT HISTORIC METAL WINDOW HOODS ON BUILDING 1. RESTORE, REPAIR, OR REPLACE HOODS AS REQUIRED. PRIME AND PAINT. CONFIRM SCOPE OF WORK AND METHOD OF REPAIR WITH ARCHITECT AND HISTORIC PRESERVATION CONSULTANT. TAKE CARE NOT TO DAMAGE EXISTING EXTERIOR METAL HOODS DURING WINDOW REMOVAL AND INSTALLATION. ANY ASSEMBLIES REPLACING EXISTING BRICK MOLDS, TRIM, CASINGS, SILLS, LINTELS, OR OTHER DETAILS MUST MATCH EXISTING/ORIGINAL DETAILS AND INSTALLATION. SUBMIT SAMPLES OF REPLACEMENT PROFILES TO ARCHITECT AND HISTORIC TAX CREDIT CONSULTANT FOR REVIEW PRIOR TO INSTALLATION. MOCK-UP MAY BE REQUIRED.
- REFER TO PLANS FOR WINDOW TREATMENTS. CONFIRM WITH OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION ON ALL WINDOWS.
- EXISTING NON-HISTORIC WINDOWS: REMOVE EXISTING VINYL WINDOW UNITS AND METAL EXTERIOR TRIM DOWN TO ORIGINAL ROUGH OPENINGS. RETAIN AND RESTORE ANY HISTORIC INTERIOR WOOD TRIM AND WINDOW CASINGS AS THEY OCCUR. RESTORE AND REPAIR EXISTING HISTORIC EXTERIOR STONE AND BRICK SILLS, HEAD COURSING, AND LINTELS. PREPARE OPENING FOR NEW OPERABLE METAL WINDOW INSTALLATION.

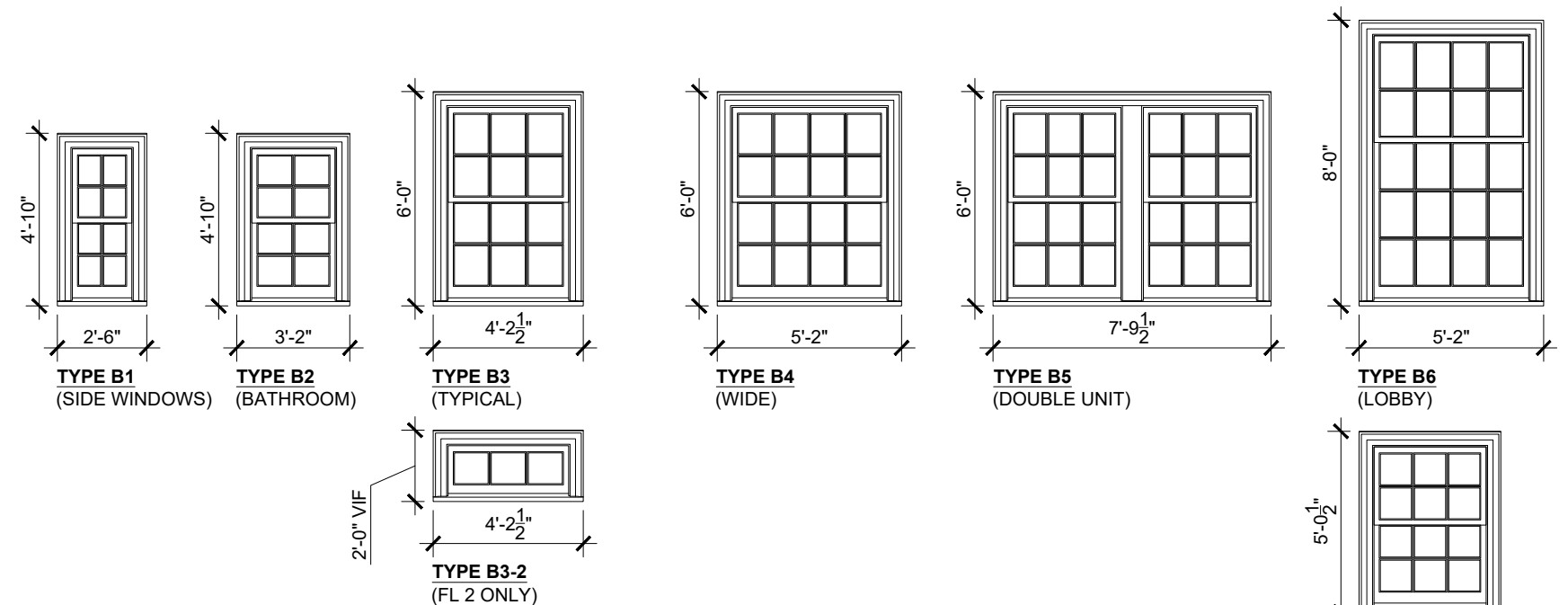
**EXISTING WINDOW TYPES**



**WINDOW TYPE A:**  
 BUILDINGS 2A & 2B. BASEMENT LEVEL. EXISTING HISTORIC WOOD WINDOW FRAMES AND SASHES TO REMAIN. REPAIR & RESTORE EXISTING FRAMES, SASHES, AND EXTERIOR TRIM AS REQUIRED. ALL WINDOW UNITS TO BE REMOVED FOR RESTORATION, AND REINSTALLED IN ORIGINAL ROUGH OPENINGS. PRIME AND PAINT PRIOR TO REINSTALLATION. REGLAZE WITH CLEAR TEMPERED GLASS THROUGHOUT. WINDOW OPERATION TO BE RESTORED AND REPAIRED. ALL EXISTING EXTERIOR SECURITY SCREENS TO BE REMOVED, RESTORED, AND REINSTALLED. PATCH AND REPAIR ROUGH OPENINGS PRIOR TO REINSTALLATION OF WINDOWS.

**A** HISTORIC WINDOW DETAIL (TYPE A) EXISTING EXTERIOR ELEVATIONS SCALE: 3/4" = 1'-0"

**PROPOSED NEW WINDOW TYPES**



**WINDOW TYPE B:**  
 BUILDINGS 2A & 2B. MAIN LEVELS. NEW SIMULATED DIVIDED LIGHT ALUMINUM WINDOW UNITS INSTALLED WITHIN EXISTING ROUGH OPENINGS (REFER TO WINDOW GENERAL NOTE 11). NEW WINDOWS TO HAVE PROPORTIONATE RAILS AND STILES, A BEVELED PUTTY GLAZE, AND DIMENSIONAL MUNTINS WITH A SPACER BAR BETWEEN PANES OF INSULATED CLEAR GLASS. THE EXTERIOR CONDITIONS AND DIMENSIONS OF EXISTING ASSEMBLIES INCLUDING THE HISTORIC BRICK MOLD, TRIM, SETBACKS, AND SILLS MUST BE EITHER RETAINED OR REPLICATED. NEW WINDOW GLAZING TO BE INSTALLED IN THE SAME PLANE AS THE HISTORIC WINDOWS RELATIVE TO THE EXTERIOR SURFACE OF THE EXTERIOR WALL.

**B** HISTORIC WINDOW DETAIL (TYPE B) PROPOSED EXTERIOR ELEVATIONS SCALE: 3/4" = 1'-0"

WINDOW - TYPE B  
PROPOSED NEW ALUMINUM WINDOWS

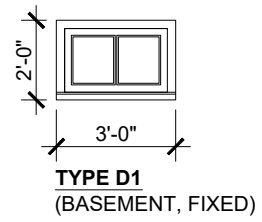
WINDOW - TYPE A  
EXISTING HISTORIC WOOD WINDOW TO REMAIN

**WINDOW ELEVATIONS & NOTES**

PROPOSED NEW WINDOW TYPES, CONTINUED....

WINDOW - TYPE D  
PROPOSED NEW ALUMINUM WINDOWS

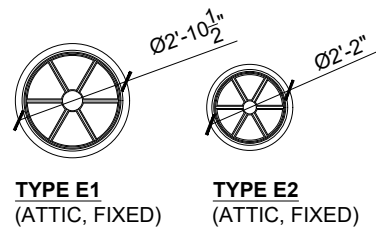
**WINDOW TYPE D:**  
BUILDING 1 (MANSION). EXISTING WOOD BASEMENT WINDOWS ARE INCOMPLETE & DETERIORATED BEYOND REPAIR. PROVIDE NEW ALUMINUM WINDOW UNITS INSTALLED WITHIN EXISTING ROUGH OPENINGS (REFER TO WINDOW GENERAL NOTE 11).



**D** HISTORIC WINDOW DETAIL  
(TYPE D) PROPOSED EXTERIOR ELEVATIONS  
SCALE: 3/4" = 1'-0"

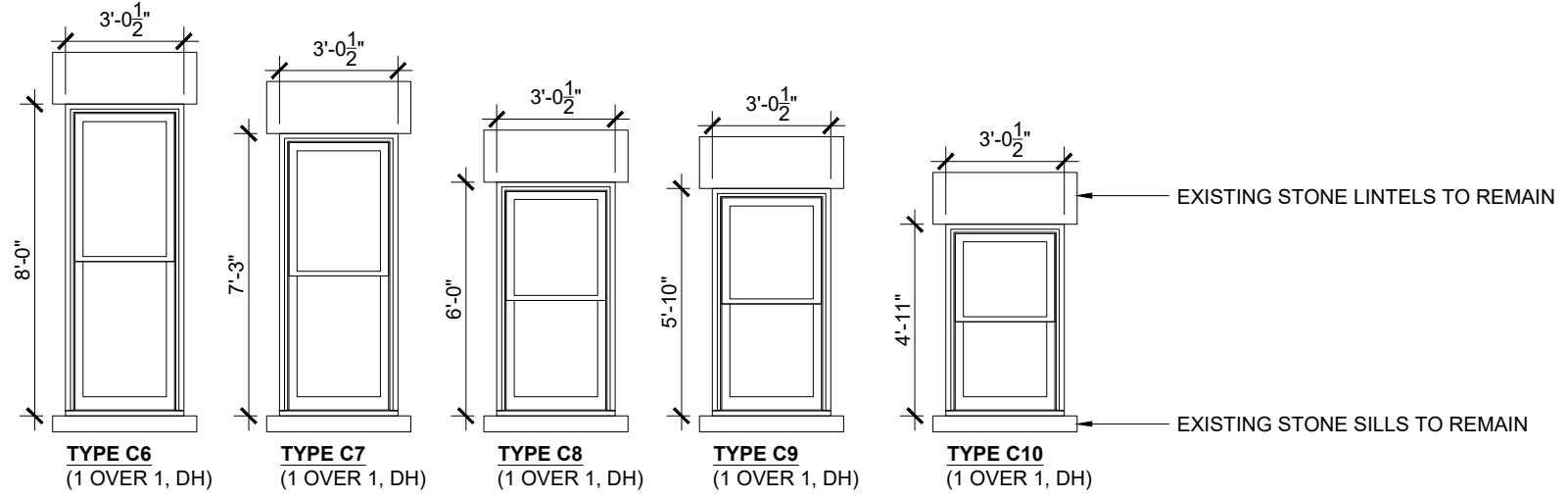
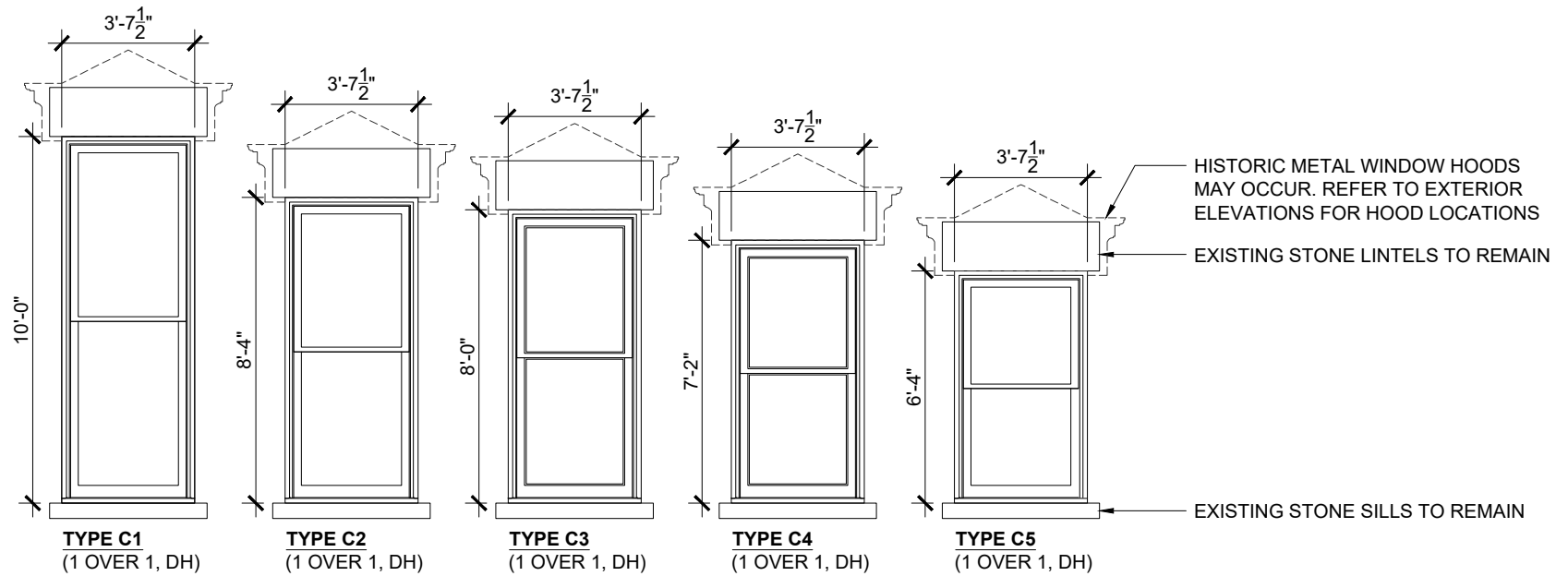
WINDOW - TYPE E  
PROPOSED NEW WOOD WINDOWS

**WINDOW TYPE E:**  
BUILDING 2A. EXISTING WOOD DECORATIVE WINDOWS ARE INCOMPLETE & DETERIORATED BEYOND REPAIR. PROVIDE NEW WOOD FRAME WINDOW WITH INSULATED CLEAR GLAZING INSTALLED WITHIN EXISTING ROUGH OPENINGS. (REFER TO WINDOW GENERAL NOTE 11). NEW WINDOWS TO HAVE PROPORTIONATE RAILS AND STILES TO MATCH EXISTING WINDOWS AS CLOSELY AS POSSIBLE.



**E** HISTORIC WINDOW DETAIL  
(TYPE E) PROPOSED EXTERIOR ELEVATIONS  
SCALE: 3/4" = 1'-0"

WINDOW - TYPE C  
PROPOSED NEW ALUMINUM WINDOWS



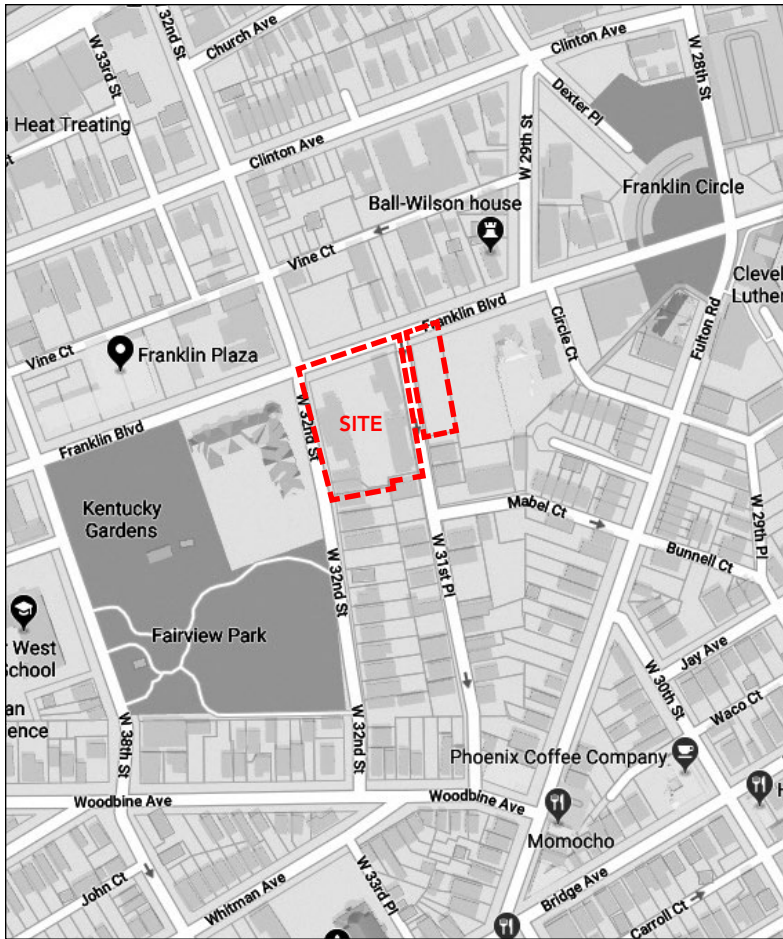
**WINDOW TYPE C:**  
BUILDING 1 (MANSION). NEW ALUMINUM WINDOW UNITS INSTALLED WITHIN EXISTING ROUGH OPENINGS (REFER TO WINDOW GENERAL NOTE 11). NEW WINDOWS TO HAVE PROPORTIONATE RAILS AND STILES, A BEVELED PUTTY GLAZE, AND DIMENSIONAL MUNTINS WITH A SPACER BAR BETWEEN PANES OF INSULATED CLEAR GLASS. THE EXTERIOR CONDITIONS AND DIMENSIONS OF EXISTING ASSEMBLIES INCLUDING THE HISTORIC BRICK MOLD, TRIM, SETBACKS, AND SILLS MUST BE EITHER RETAINED OR REPLICATED. NEW WINDOW GLAZING TO BE INSTALLED IN THE SAME PLANE AS THE HISTORIC WINDOWS RELATIVE TO THE EXTERIOR SURFACE OF THE EXTERIOR WALL. SAFEGUARDS TO BE TAKEN BY CONTRACTOR TO PROTECT ALL EXISTING INTERIOR TRIM DURING INSTALLATION. HISTORIC METAL WINDOW HOODS TO BE PROTECTED AND RESTORED.

**C** HISTORIC WINDOW DETAIL  
(TYPE C) PROPOSED EXTERIOR ELEVATIONS  
SCALE: 3/4" = 1'-0"

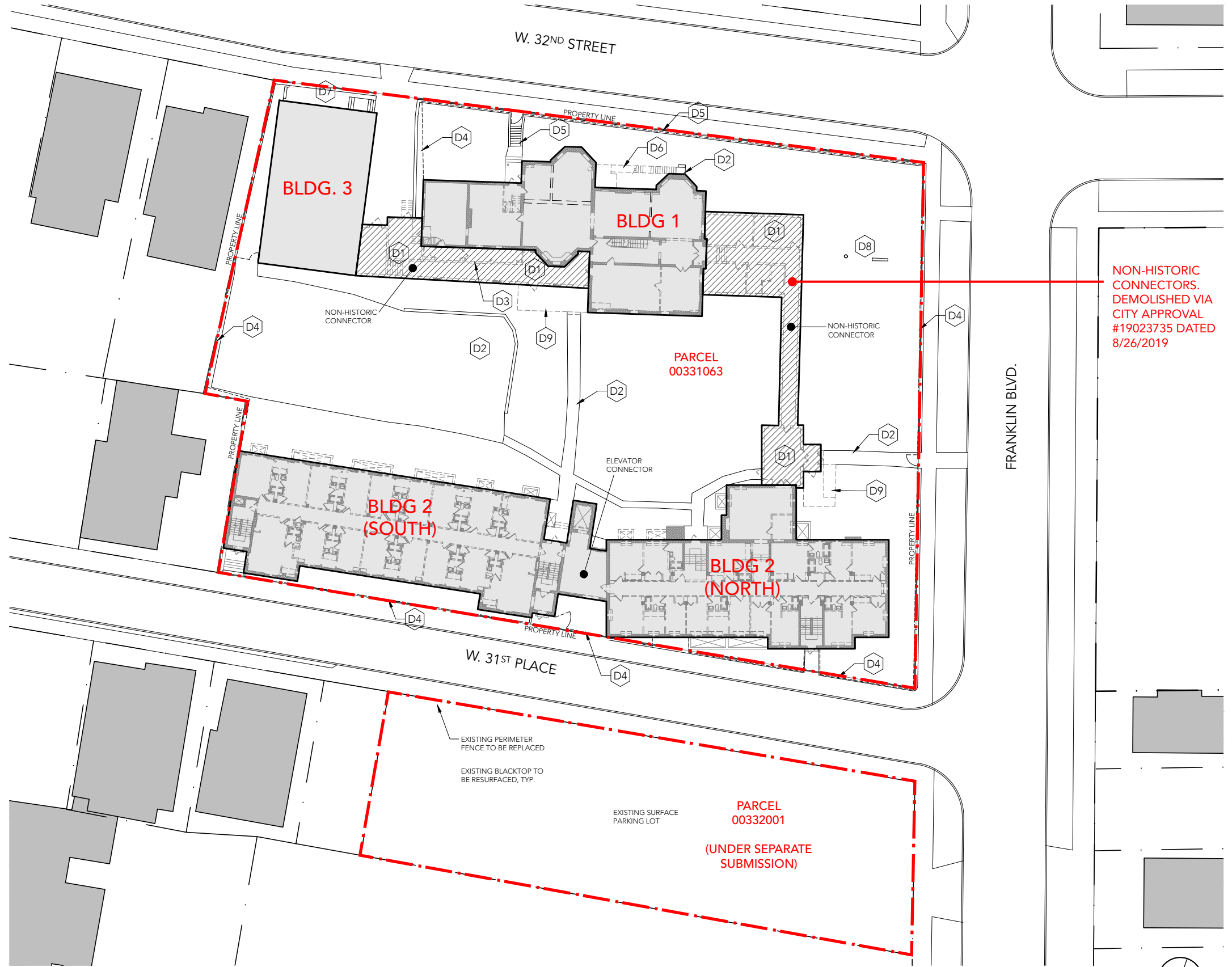
WINDOW ELEVATIONS & NOTES



EXISTING SITE FROM ABOVE LOOKING SOUTH, CIRCA 2019



SITE VICINITY PLAN



NON-HISTORIC CONNECTORS. DEMOLISHED VIA CITY APPROVAL #19023735 DATED 8/26/2019

**SITE PLAN**  
EXISTING / DEMOLITION  
SCALE: 1" = 40'-0"

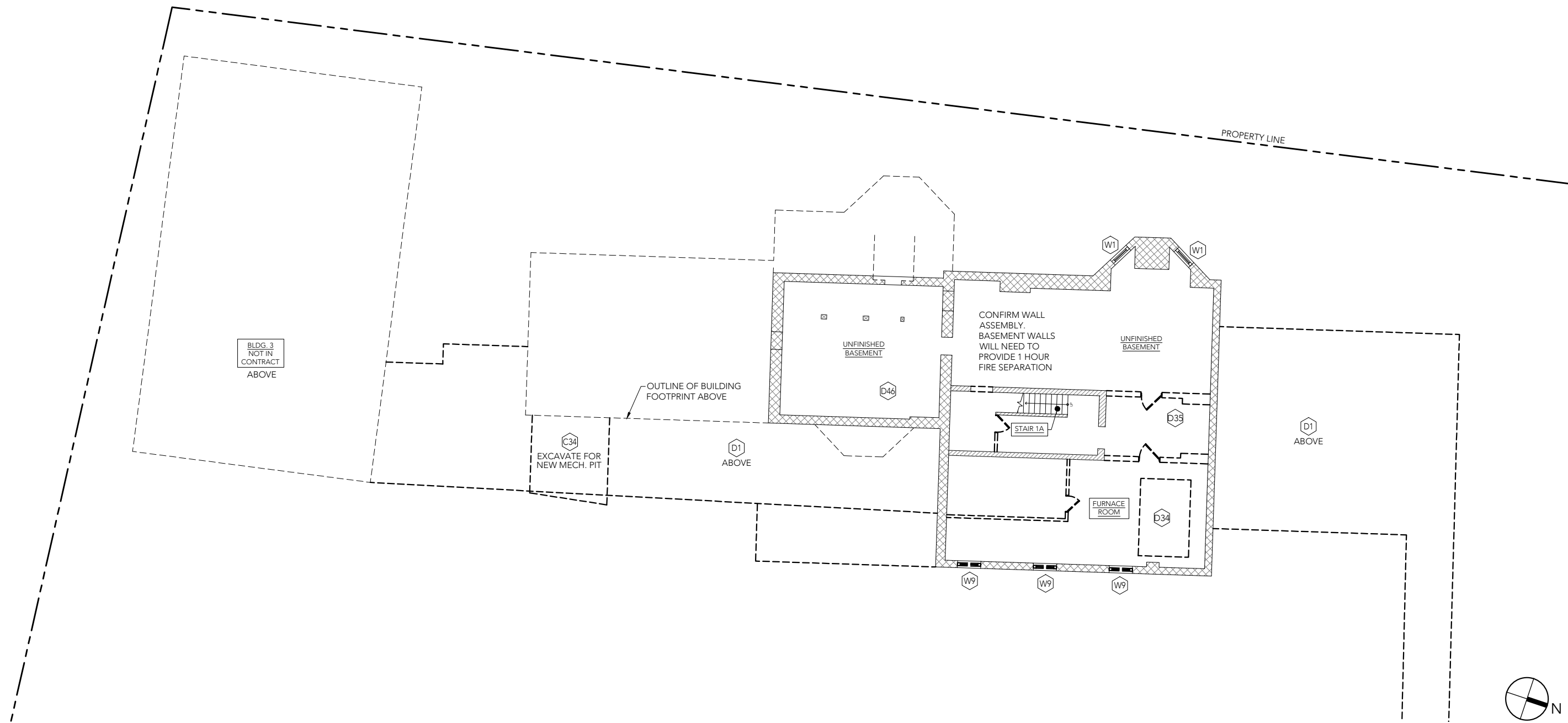


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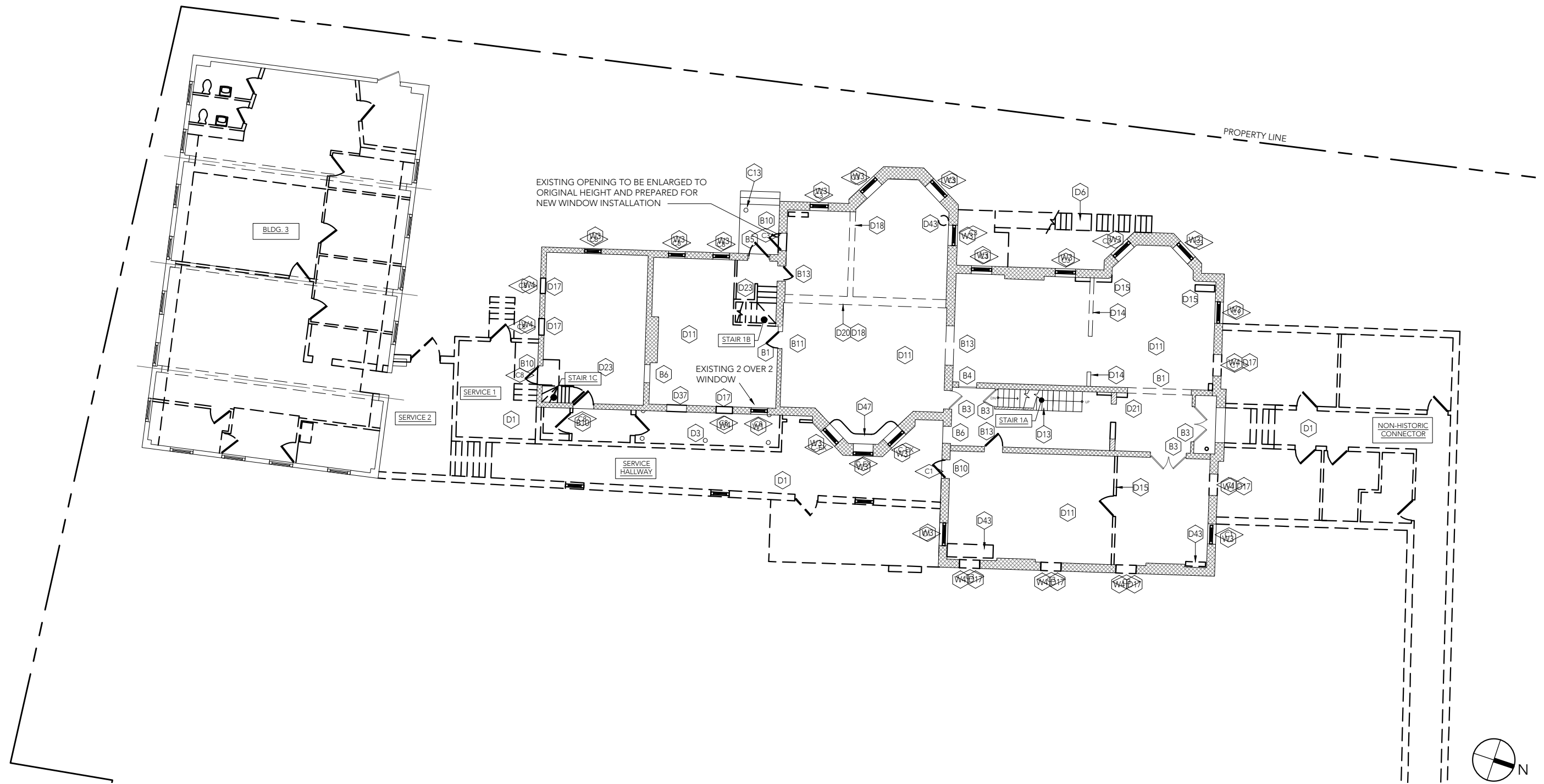
**BASEMENT PLAN - BUILDING 1**  
 DEMOLITION  
 SCALE: 1/16"=1'-0



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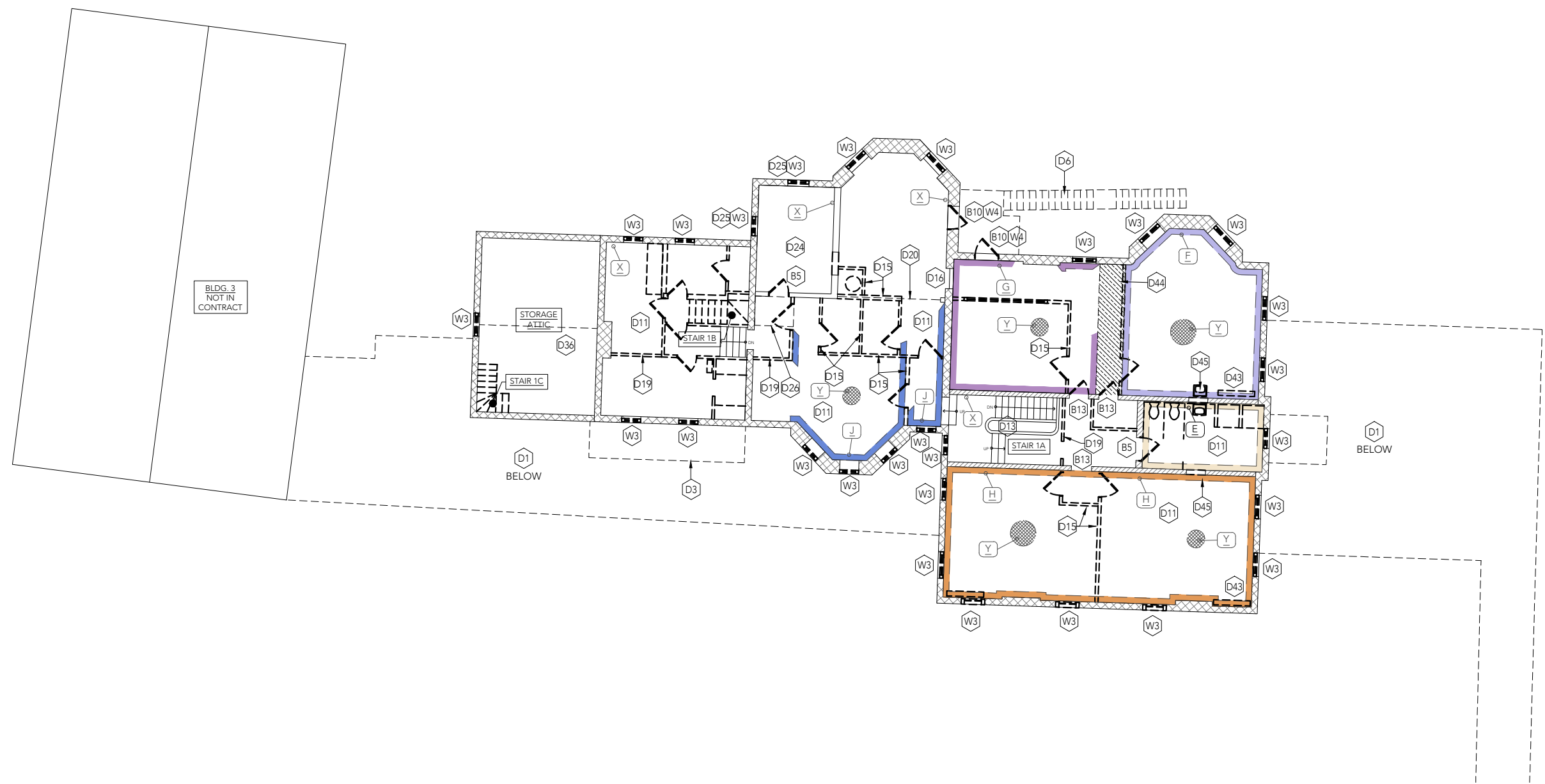
**FLOOR 1 PLAN - BUILDING 1**  
 DEMOLITION  
 SCALE: 1/16"=1'-0



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**FLOOR 2 PLAN - BUILDING 1**  
 DEMOLITION  
 SCALE: 1/16"=1'-0

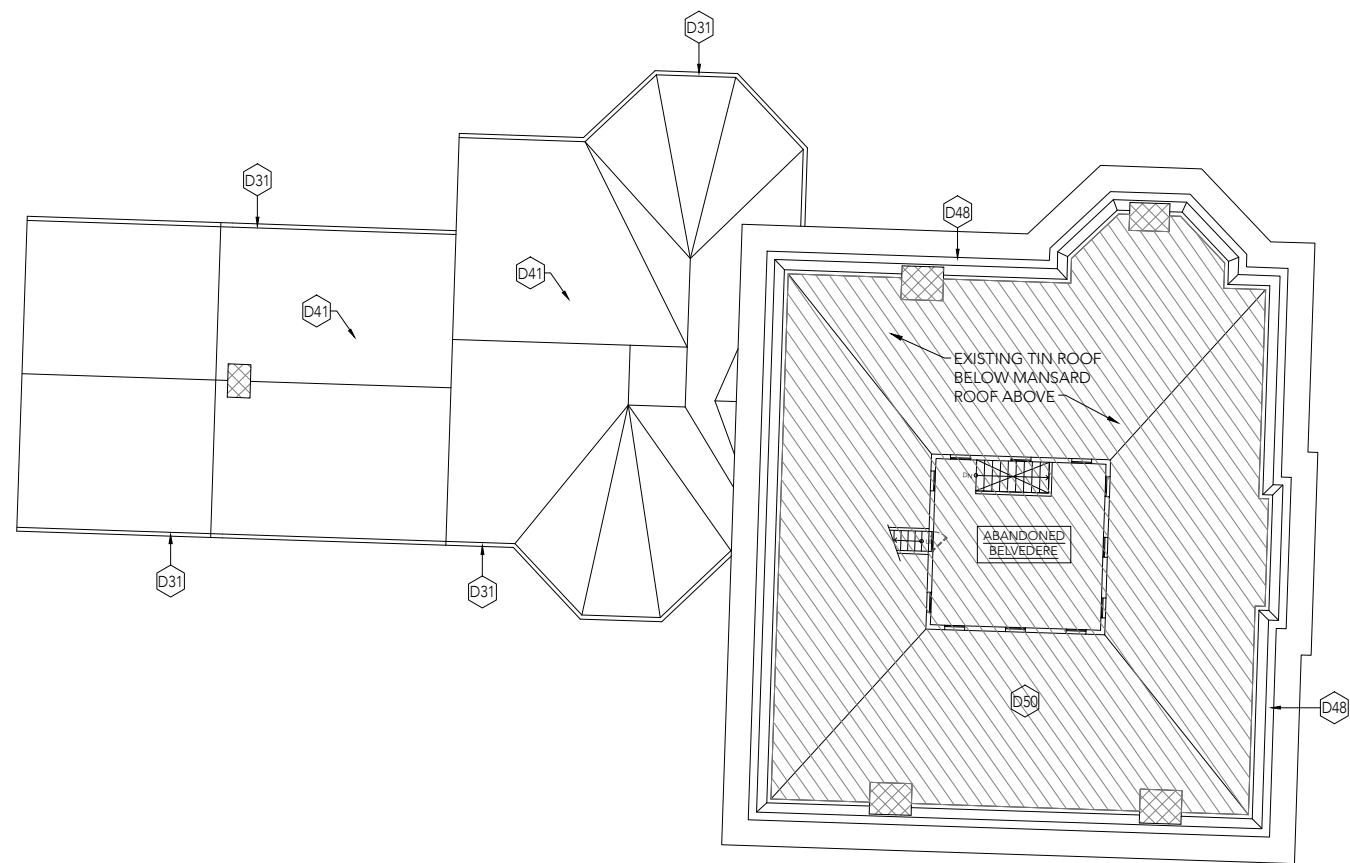


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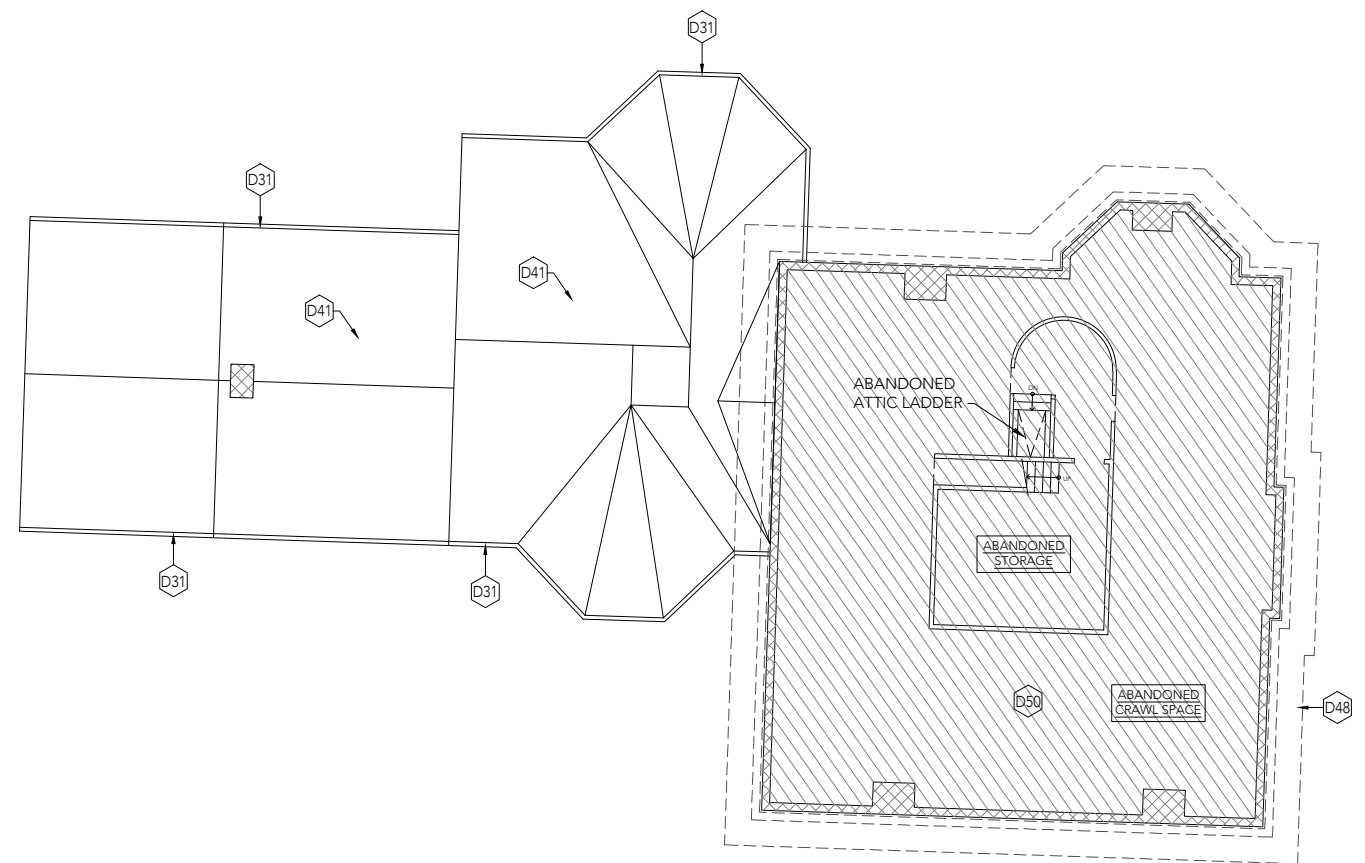


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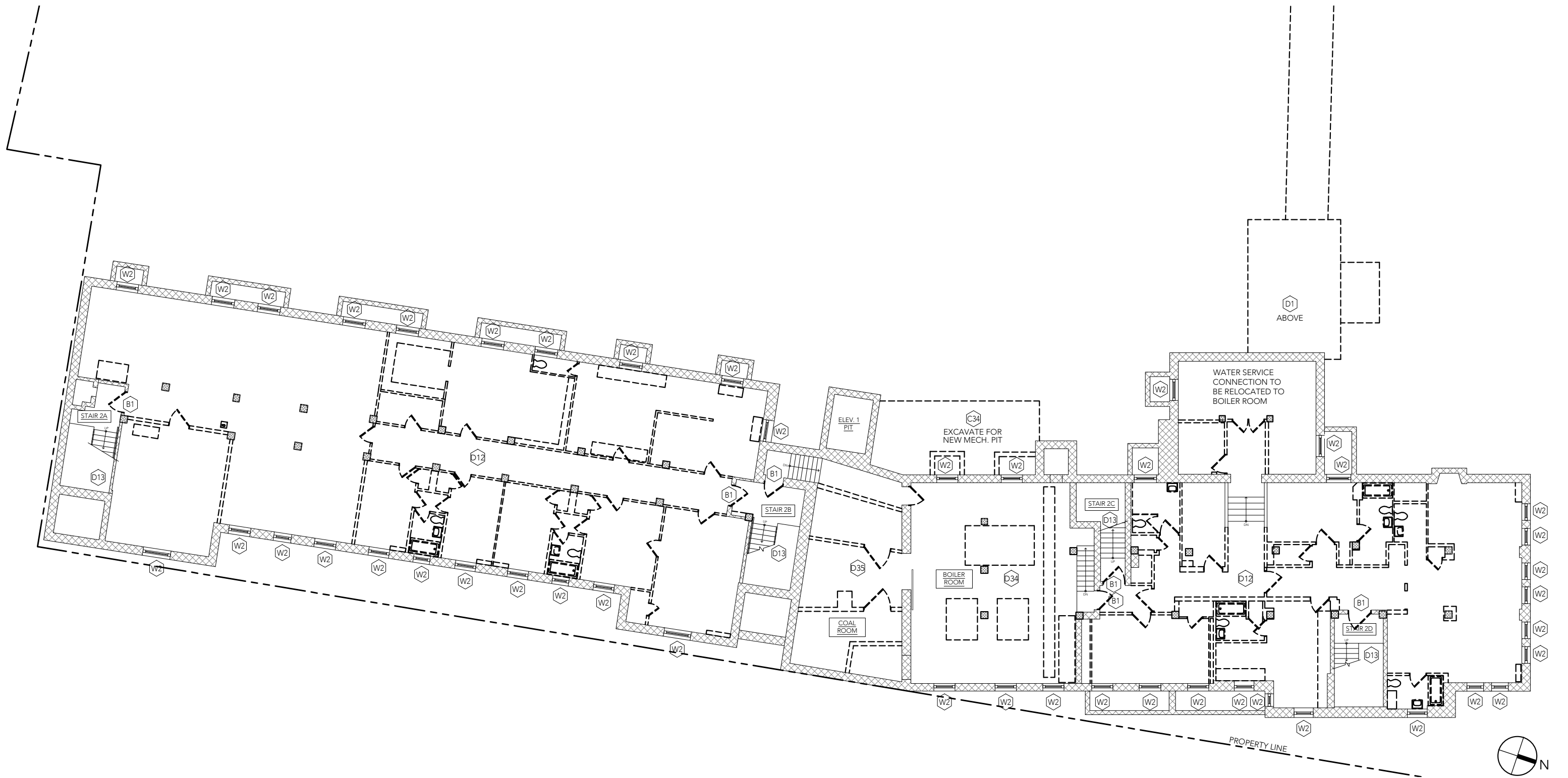


BELVEDERE LEVEL (BUILDING 1)



ATTIC LEVEL (BUILDING 1)





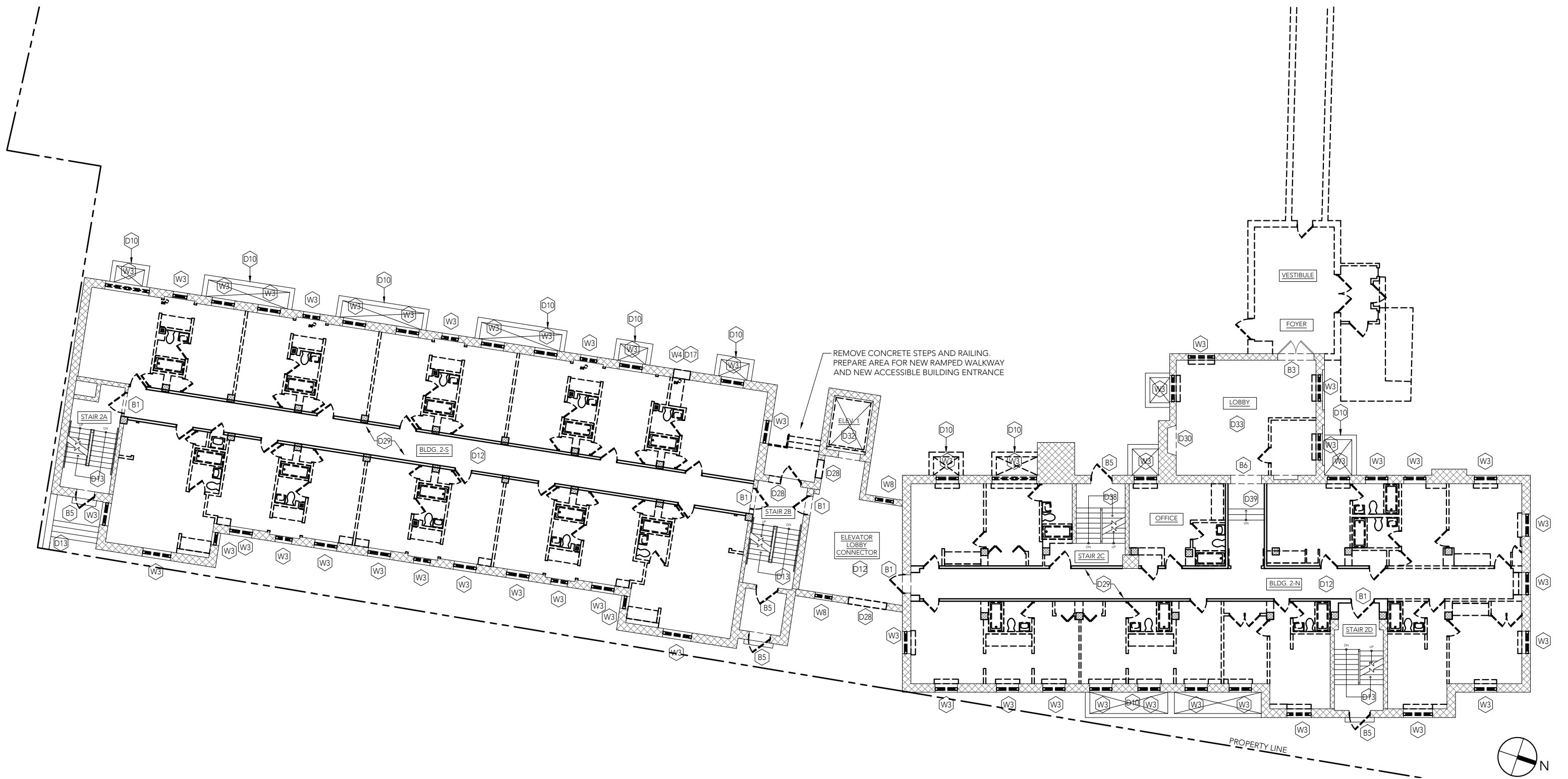
**BASEMENT PLAN - BUILDING 2**  
 DEMOLITION  
 SCALE: 1/16"=1'-0



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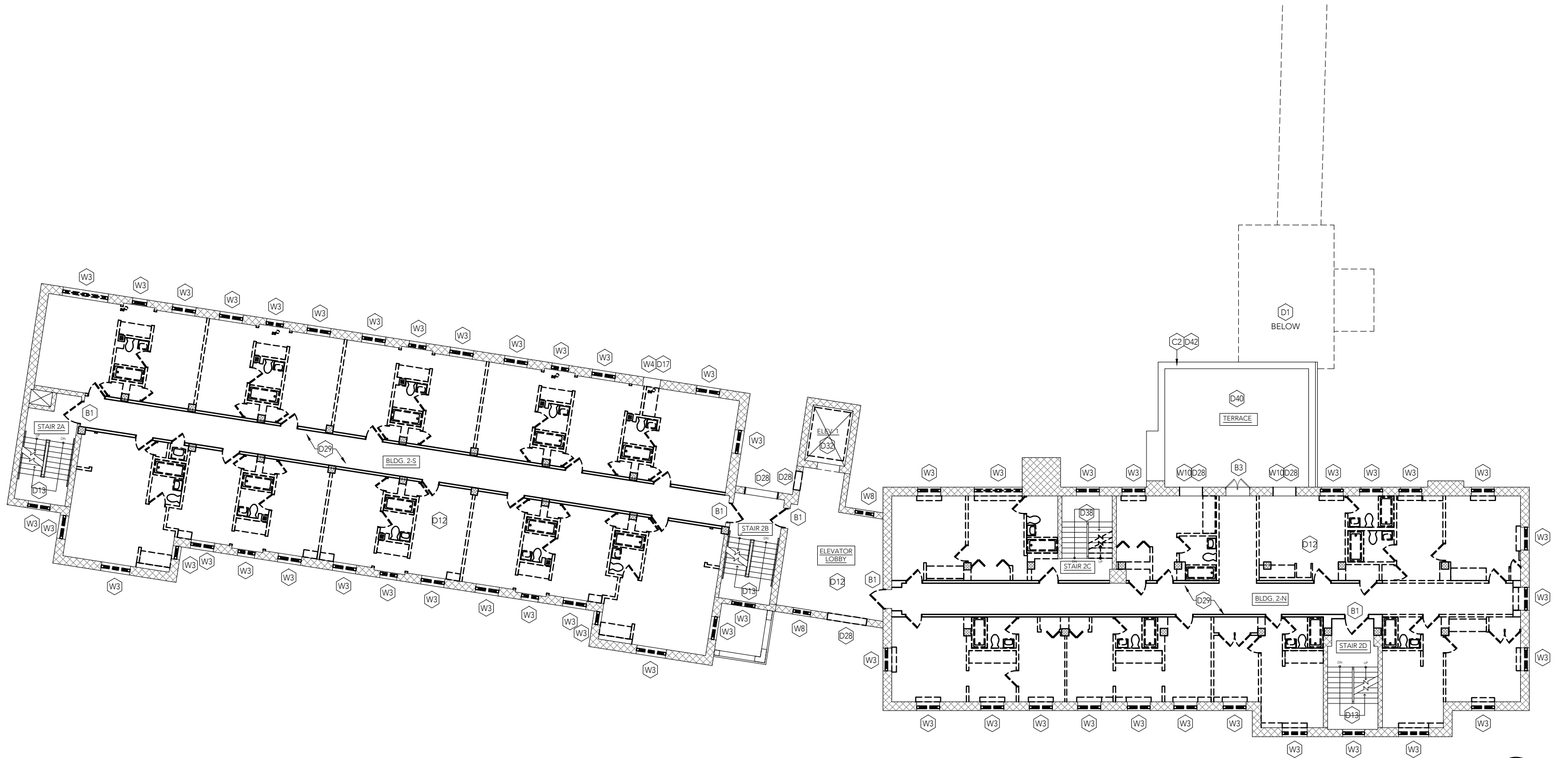
**FLOOR 1 PLAN - BUILDING 2**  
 DEMOLITION  
 SCALE: 1/16"=1'-0



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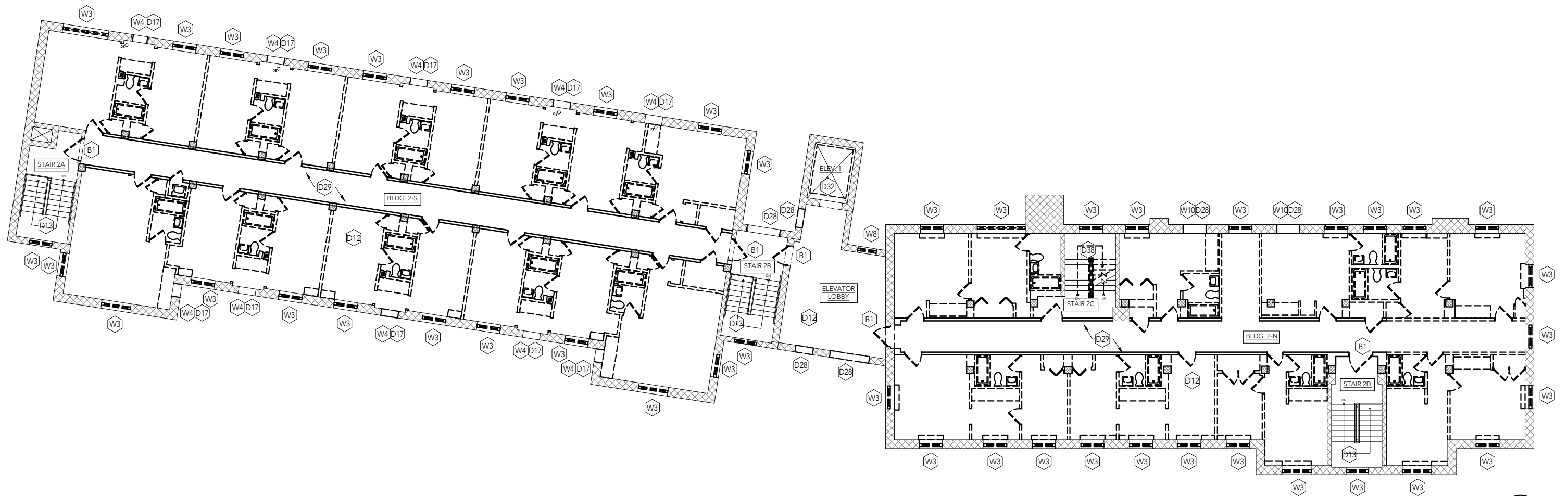
**FLOOR 2 PLAN - BUILDING 2**  
 DEMOLITION  
 SCALE: 1/16"=1'-0



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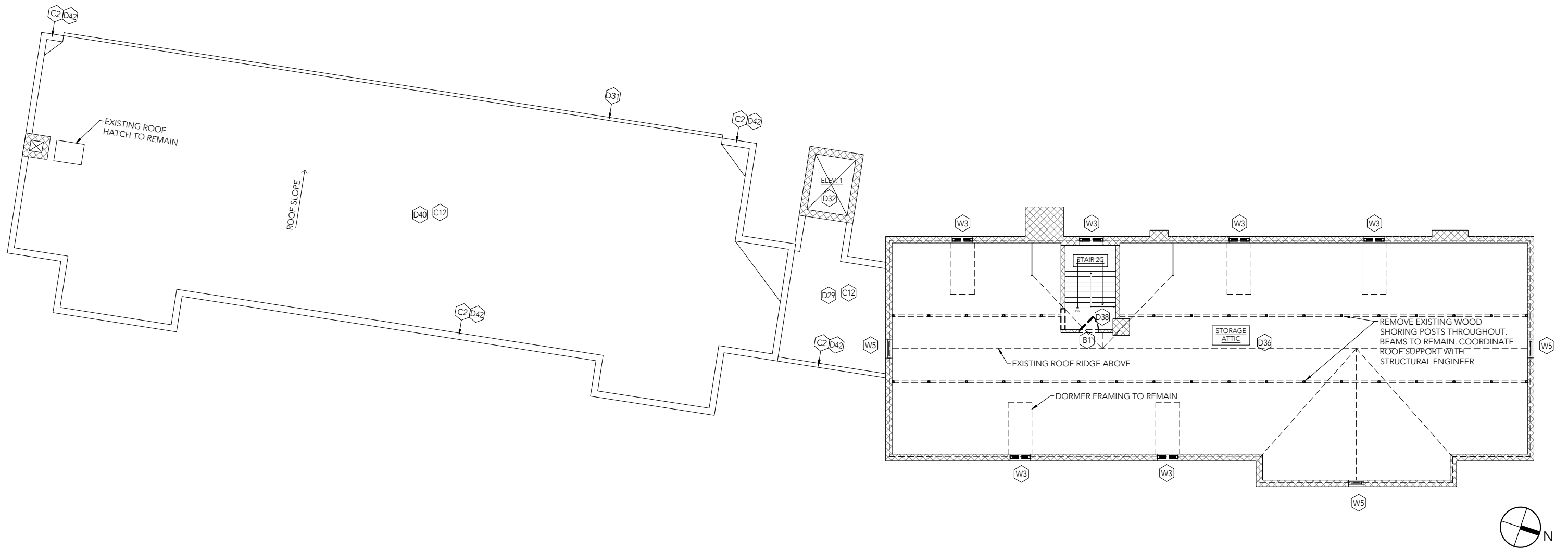


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**FLOOR 3 PLAN - BUILDING 2**  
 DEMOLITION  
 SCALE: 1/16"=1'-0



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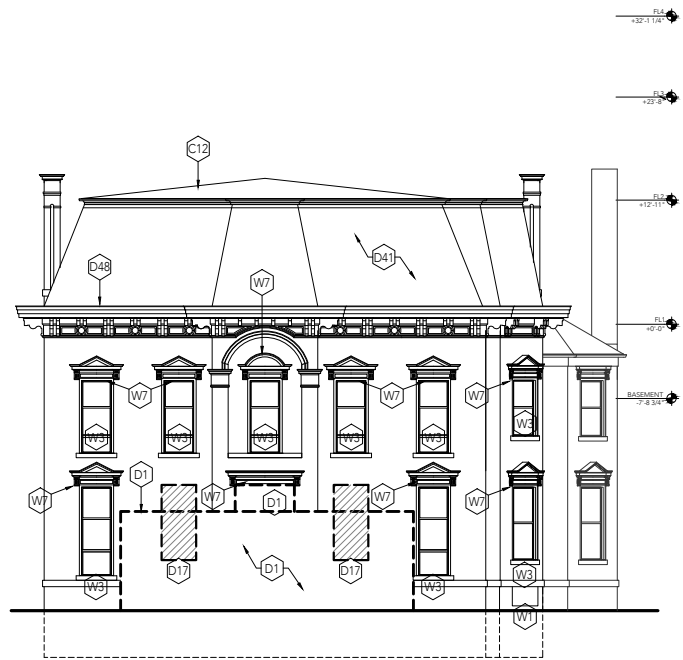
**FLOOR 4 PLAN - BUILDING 2**  
 DEMOLITION  
 SCALE: 1/16"=1'-0"



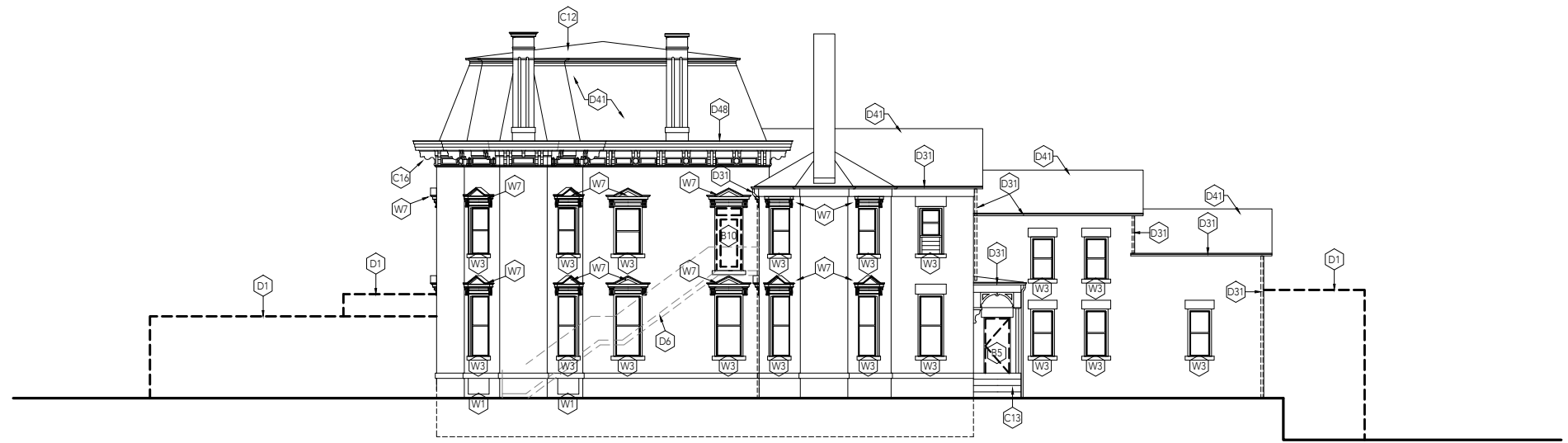
PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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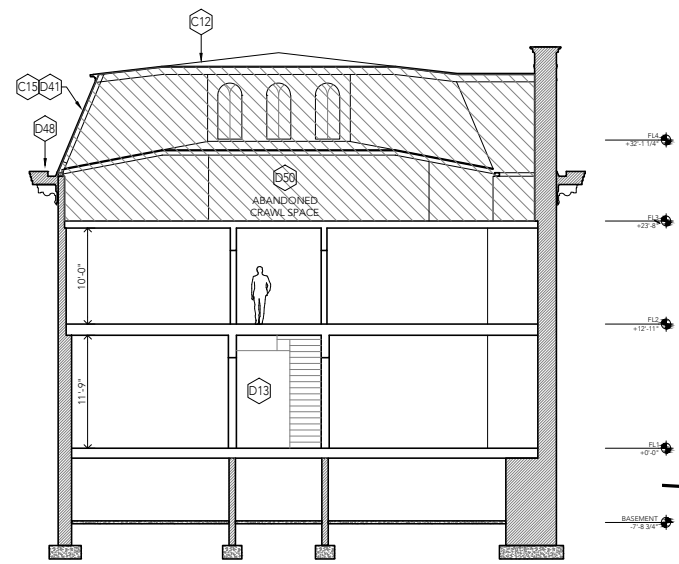
DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	<b>D2.24</b>
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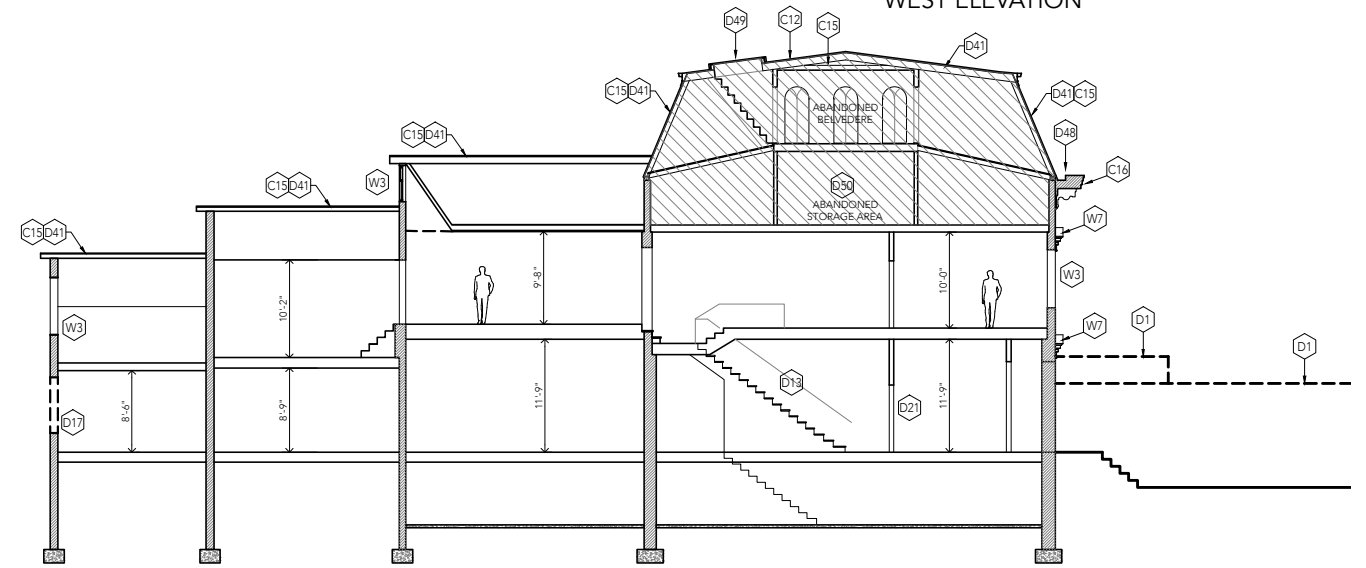
NORTH ELEVATION



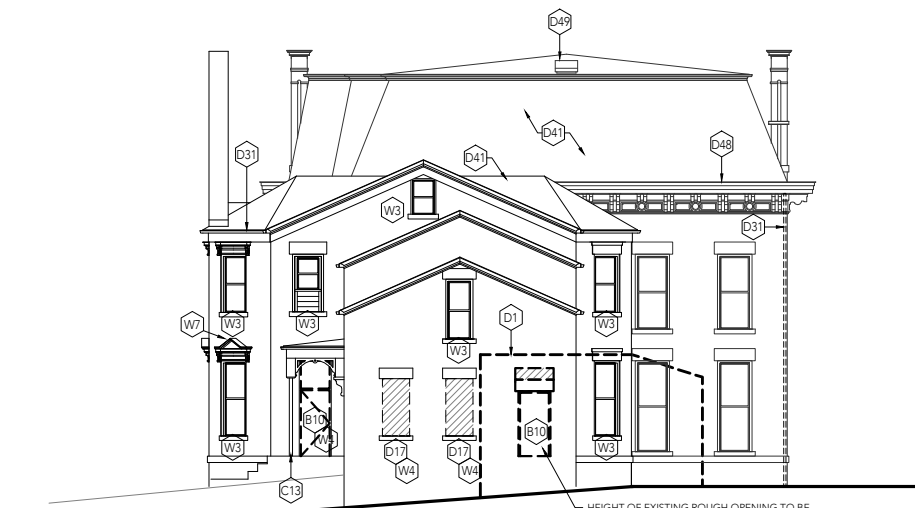
WEST ELEVATION



BUILDING SECTION



BUILDING SECTION



SOUTH ELEVATION

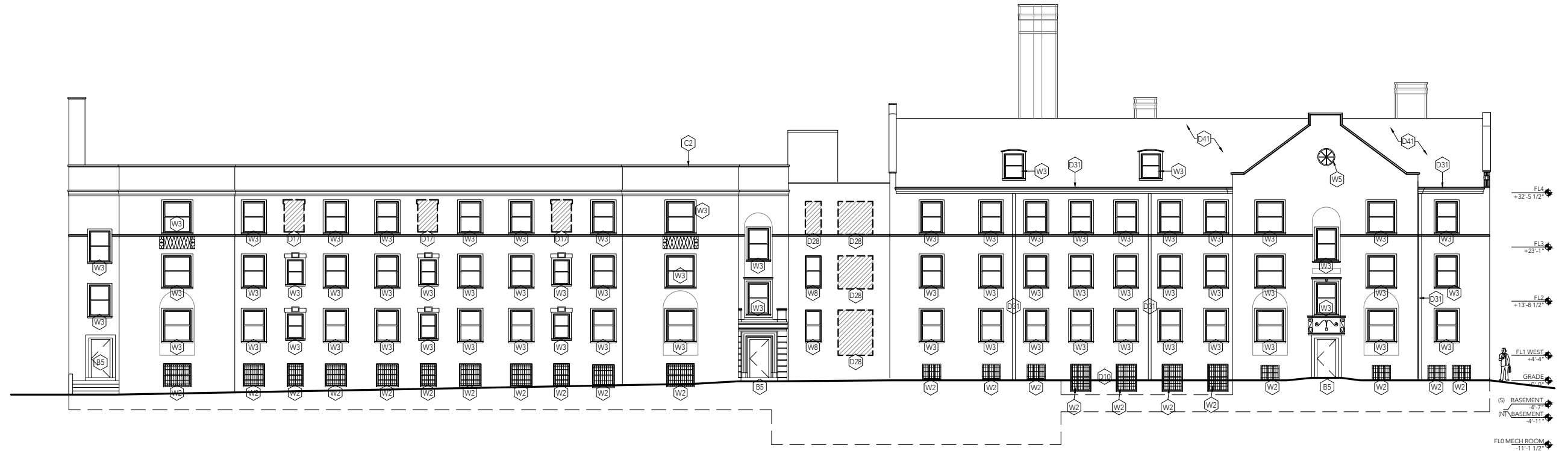
HEIGHT OF EXISTING ROUGH OPENING TO BE RAISED SO THAT TOP OF STONE LINTEL ALIGNS WITH ADJACENT WINDOW OPENINGS. EXISTING STONE LINTEL TO BE SALVAGED AND REINSTALLED



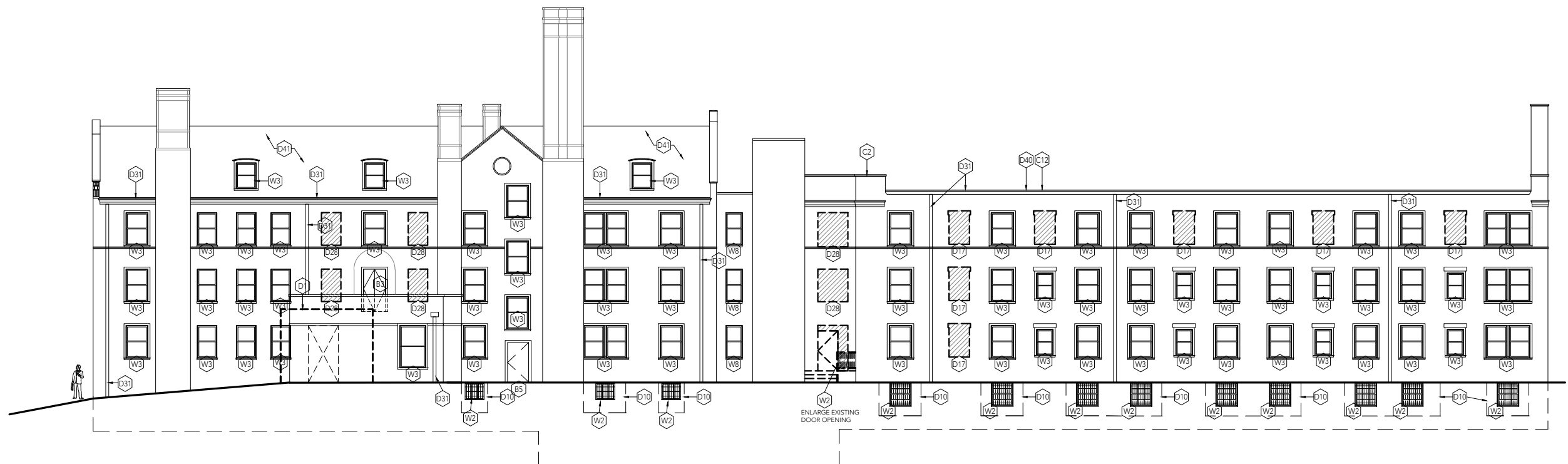
EAST ELEVATION

# ELEVATIONS & SECTIONS - BUILDING 1

DEMOLITION  
SCALE: 1" = 20'-0"



EAST ELEVATION



WEST ELEVATION

**ELEVATIONS & SECTIONS - BUILDING 2**  
 DEMOLITION  
 SCALE: 1" = 20'-0"

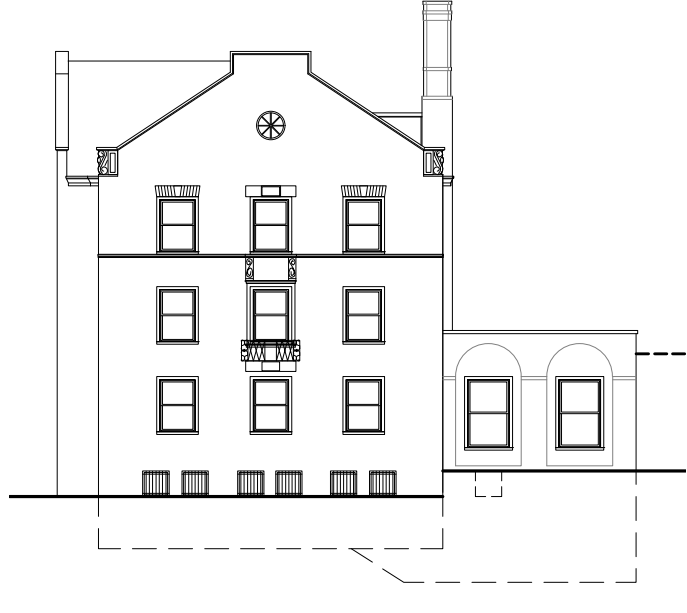
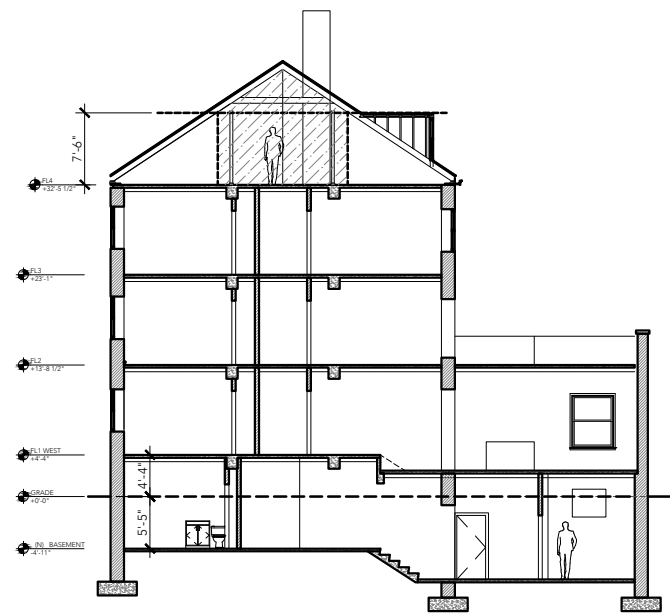
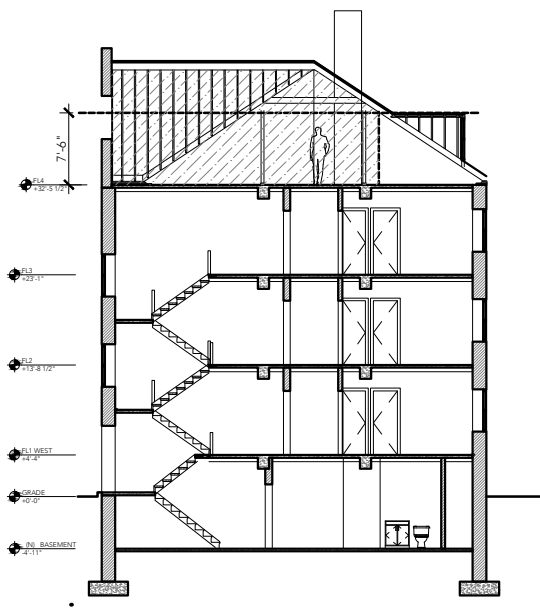
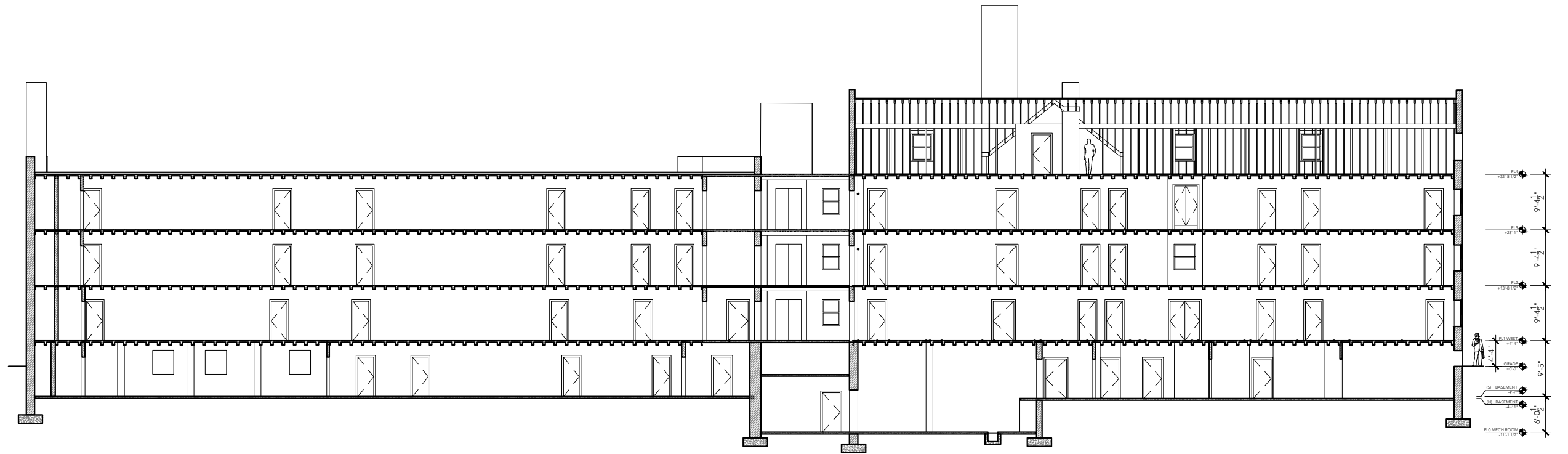


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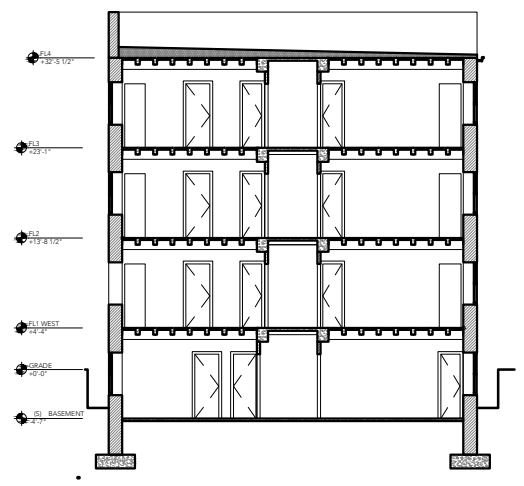
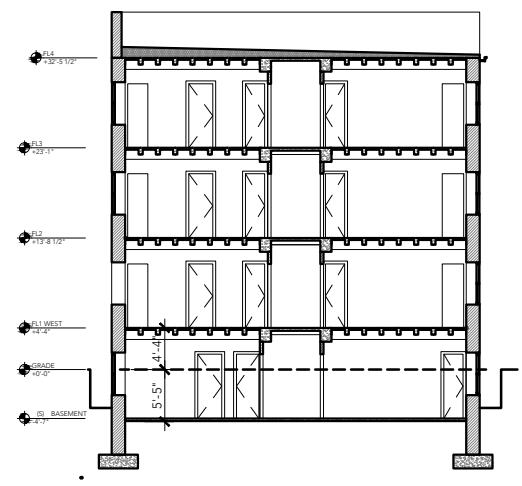


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<b>CITY LANDMARKS REVIEW</b>		
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NORTH ELEVATION



ELEVATIONS & SECTIONS - BUILDING 2  
DEMOLITION  
SCALE: 1"=20'-0"



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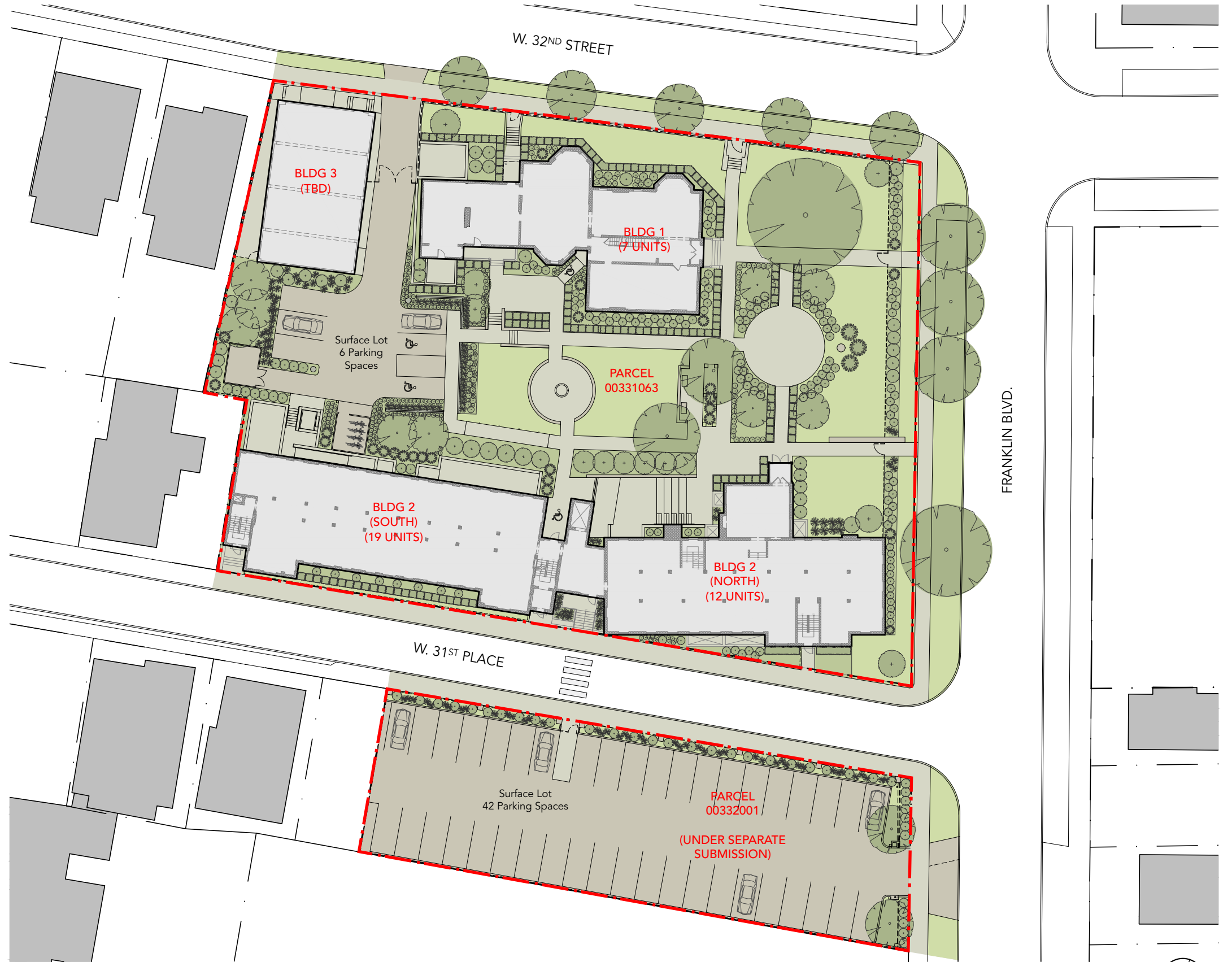


DRAWING ISSUE INFORMATION:		D3.02
<b>CITY LANDMARKS REVIEW</b>		
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC	



EXISTING SITE FROM ABOVE LOOKING SOUTH, CIRCA 2019

PROJECT SUMMARY						
BUILDING AREA (GSF)						
	SUB	FL 1	FL2	FL3	FL4	TOTALS
BLDG 1	2,625 gsf	3,875 gsf	3,875 gsf	2,008 gsf		12,383 gsf
BLDG 2	10,081 gsf	9,767 gsf	9,110 gsf	9,110 gsf	3,960 gsf	42,028 gsf
BLDG 3		2,172 gsf				2,172 gsf
<b>TOTAL AREA</b>						<b>56,583 gsf</b>
APARTMENTS						
BLDG 1	20 (1 BR)	11 (2 BR)	31 (TOTAL)			
BLDG 2	6 (1 BR)	1 (2 BR)	7 (TOTAL)			
<b>TOTAL APTS</b>	<b>26 (1 BR)</b>	<b>12 (2 BR)</b>	<b>38 APARTMENTS</b>			
OFF-STREET PARKING			BICYCLE PARKING			
SURFACE LOT	6 SPACES		8 BICYCLE PARKING OUTSIDE			
SURFACE LOT	42 SPACES		6 BICYCLE PARKING INSIDE			
<b>TOTAL PARKING</b>	<b>48 SPACES</b>		<b>14 TOTAL BIKE PARKING</b>			
**(\$349.15.C: PROVIDE @ 1/20 RATIO) (MINIMUM OF 3 ARE REQ'D)						



## SITE PLAN - PROPOSED

SCALE: 1" = 40'-0"



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<b>CITY LANDMARKS REVIEW</b>		
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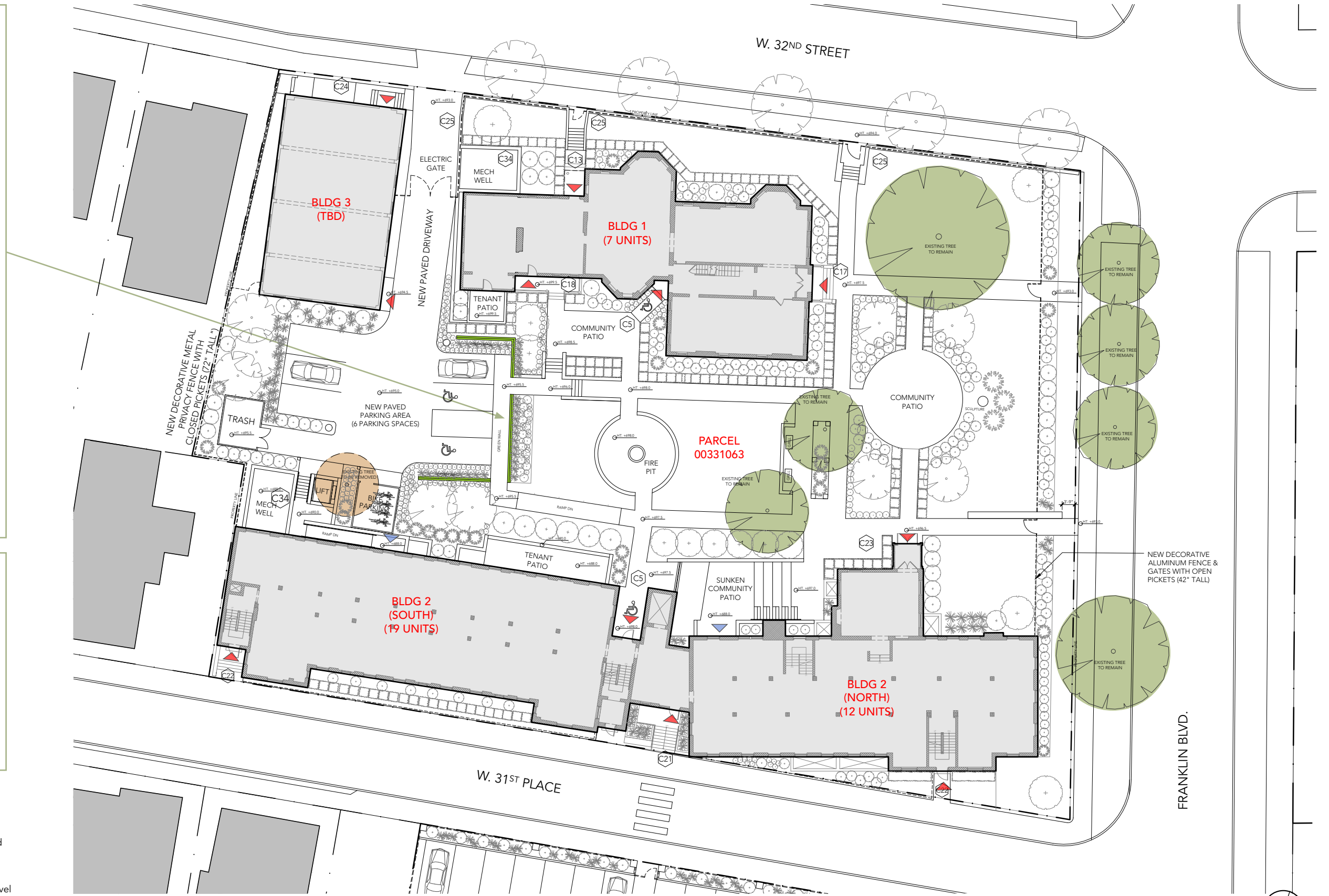
greenscreen®: Fencing System, 7' Tall



Fire Pit

GRAPHIC KEY

-  Existing Trees to Remain
-  Existing Trees to be Removed
-  Building Entry - First Floor
-  Building Entry - Basement Level



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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**SITE PLAN - PROPOSED**  
 EXISTING TREES & PROPOSED AMENITIES

SCALE: 1" = 30'-0"

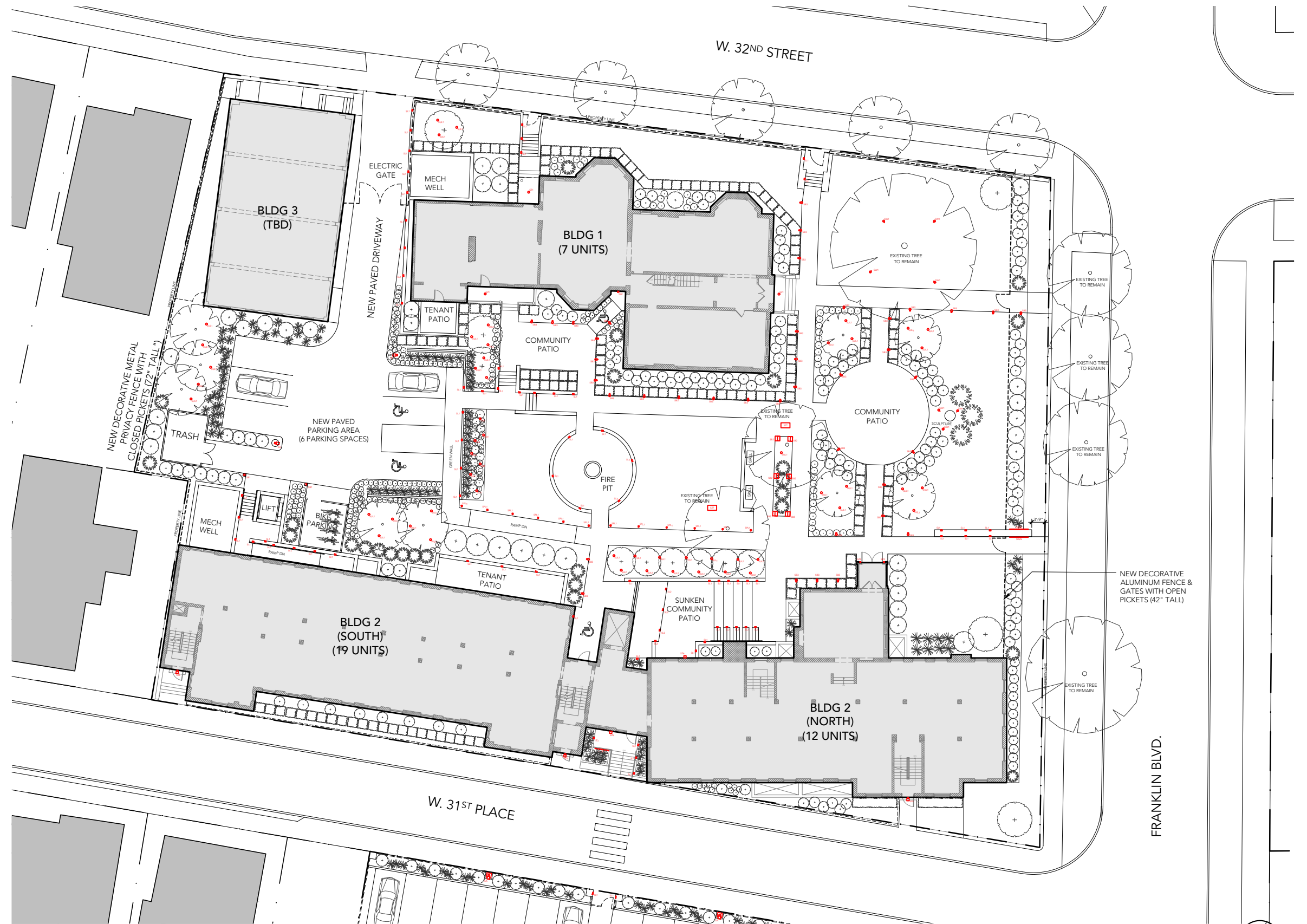


DRAWING ISSUE INFORMATION:	
<b>CITY LANDMARKS REVIEW</b>	<b>A1.10</b>
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC

**SITE LIGHTING SCHEDULE**

- SS parking pole light
- SB1 landscape bollard – parking
- SB2 landscape bollard – courtyard @ grill area
- SB3 landscape bollard – courtyard @ pathways
- SG1 garden cylinder light (ferry light)
- SL1 recessed wall/stair light (in brick)
- SL2 recessed wall/stair light (in concrete steps)
- SPL1 pathway light, inground
- SUL1 landscape accent inground spot up (trees)
- SW1 landscape accent directional spot (shielded)
- SZ1 hanging entry light at mansion porches
- SZ2 custom wall sconce at mansion accessible entry
- SZ3 wall sconce at apartment courtyard lobby entry
- SZ4 carriage light at apartment 31st historic stair entries
- SZ5 custom wall sconce at apartment 31st street main entry
- SZ6 custom wall sconce at apartment sunken courtyard entry

**BUILDING SIGNAGE**  
 Refer to page A3.01 for Exterior Building Signage Elevations



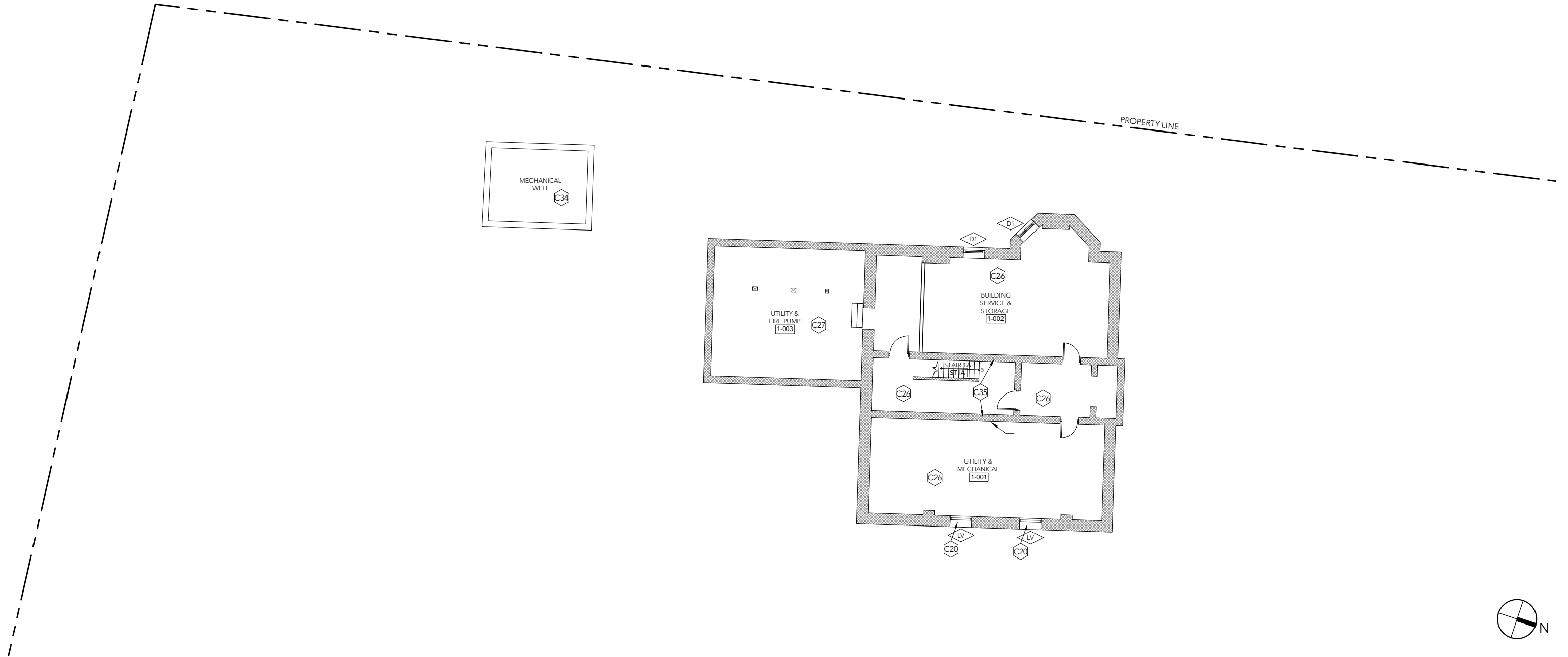
PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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**SITE PLAN - PROPOSED**  
 LIGHTING & SIGNAGE  
 SCALE: 1" = 30'-0"



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**CITY LANDMARKS REVIEW**  
 OCTOBER 21, 2021 TDG FRANKLIN REALTY, LLC

A1.11



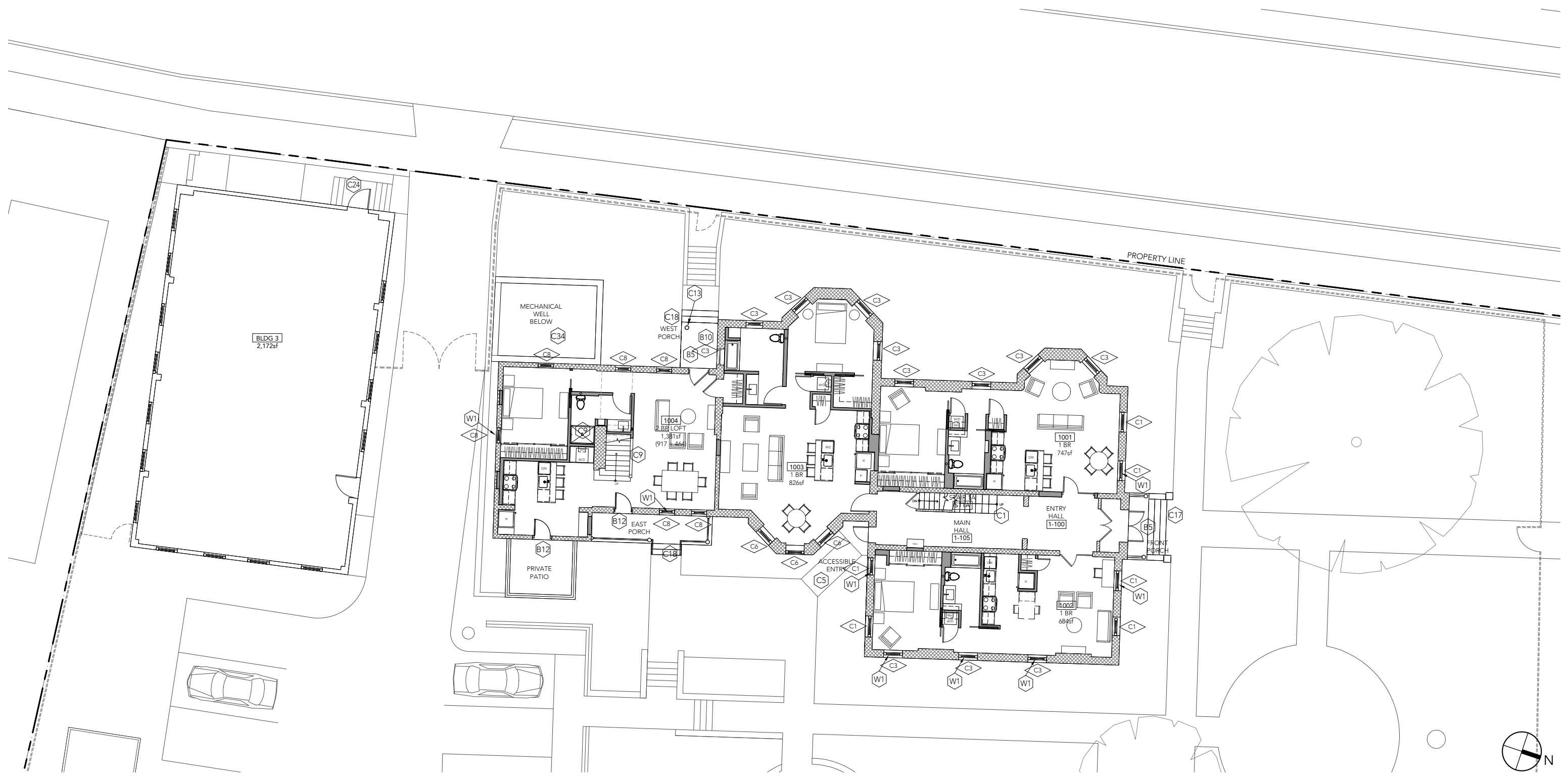
**BASEMENT PLAN - BUILDING 1**  
 PROPOSED  
 SCALE: 1/16"=1'-0



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<b>CITY LANDMARKS REVIEW</b>	<b>A2.10</b>
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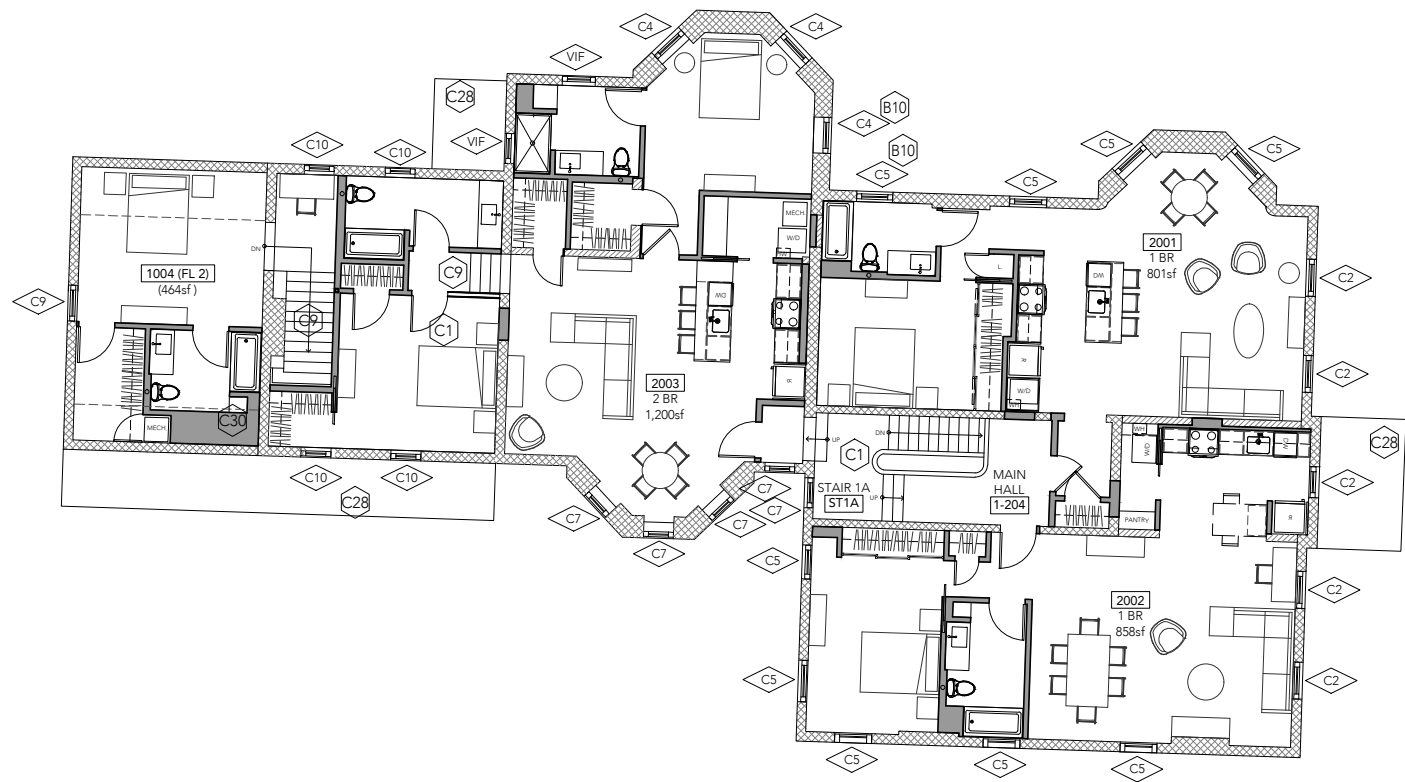
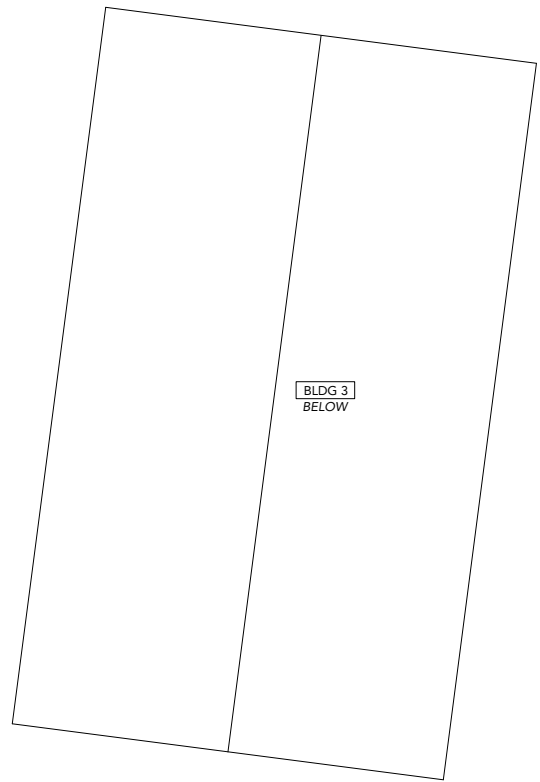
**FLOOR 1 PLAN - BUILDINGS 1 & 3**  
 PROPOSED  
 SCALE: 1/16"=1'-0



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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<b>CITY LANDMARKS REVIEW</b>		
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**FLOOR 2 PLAN - BUILDING 1**  
PROPOSED  
SCALE: 1/16"=1'-0



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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**BASEMENT PLAN - BUILDING 2**  
 PROPOSED  
 SCALE: 1/16" = 1'-0"



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<b>CITY LANDMARKS REVIEW</b>	<b>A2.20</b>
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC





**FLOOR 1 PLAN - BUILDING 2**  
PROPOSED

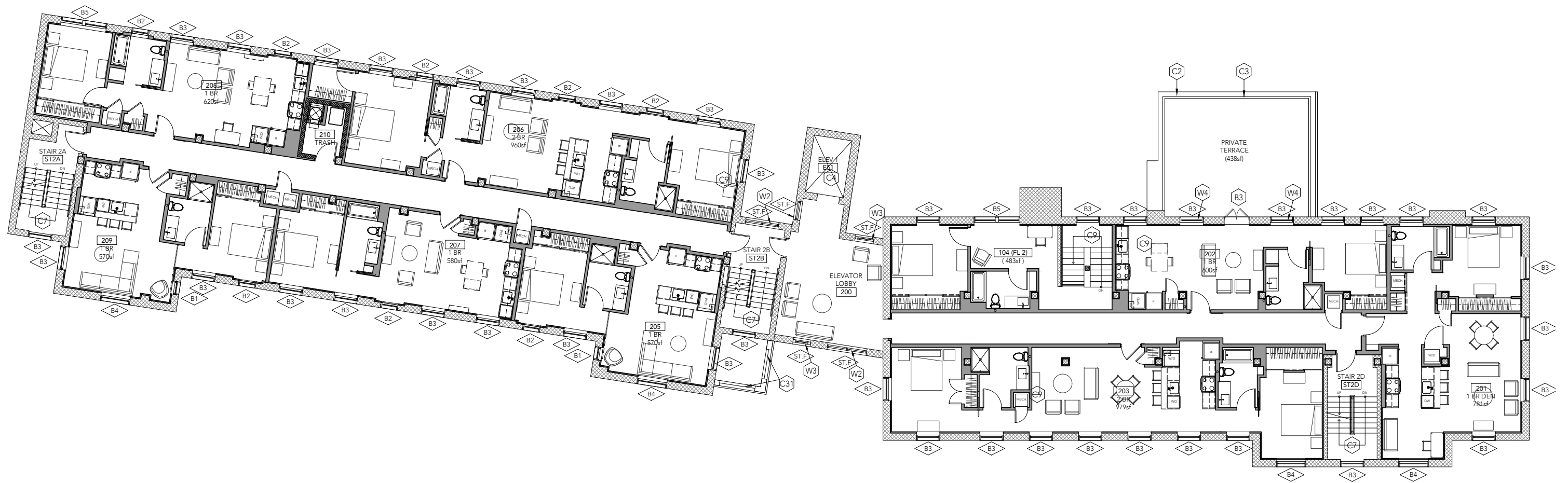
SCALE: 1/16"=1'-0



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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<b>CITY LANDMARKS REVIEW</b> OCTOBER 21, 2021 TDG FRANKLIN REALTY, LLC		



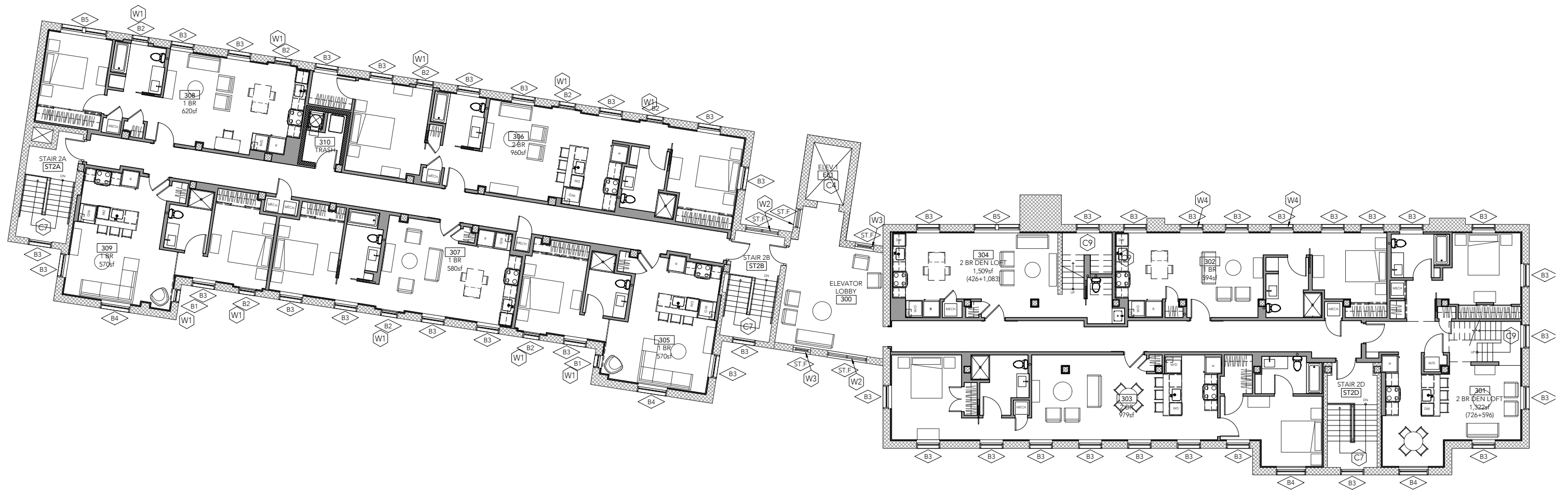
**FLOOR 2 PLAN - BUILDING 2**  
 PROPOSED  
 SCALE: 1/16"=1'-0



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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<b>CITY LANDMARKS REVIEW</b>	<b>A2.22</b>
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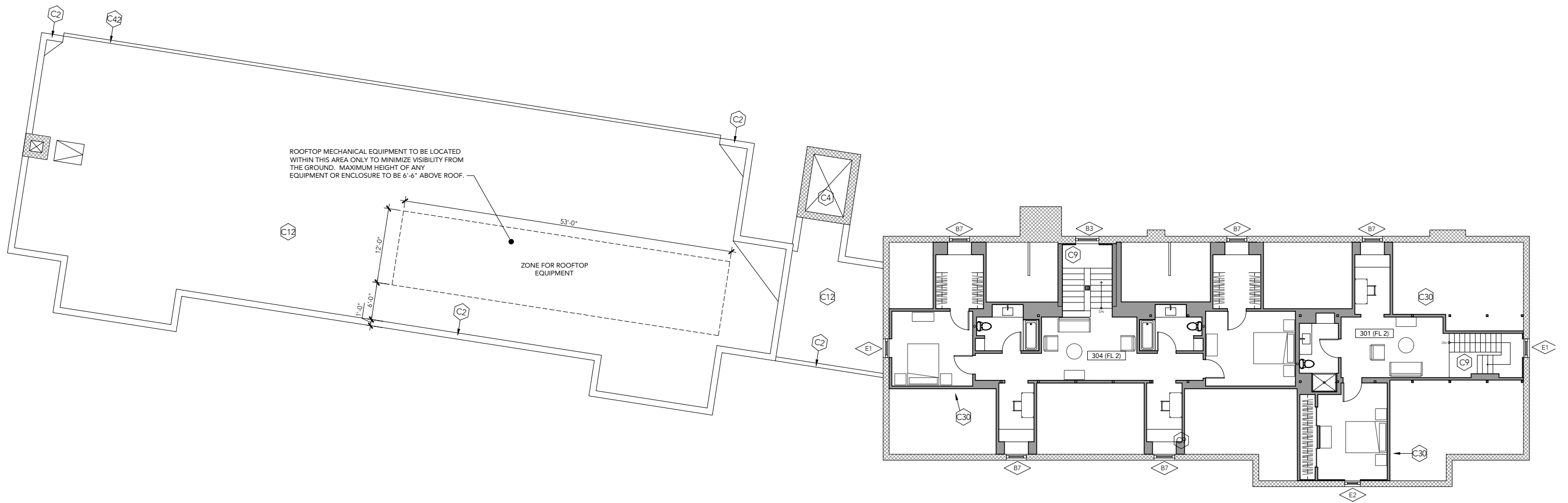


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**FLOOR 3 PLAN - BUILDING 2**  
 PROPOSED  
 SCALE: 1/16"=1'-0



DRAWING ISSUE INFORMATION:		<b>A2.23</b>
<b>CITY LANDMARKS REVIEW</b>		
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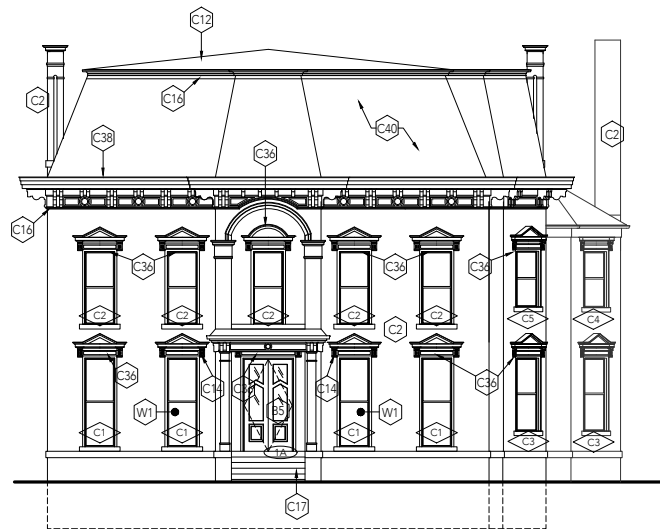


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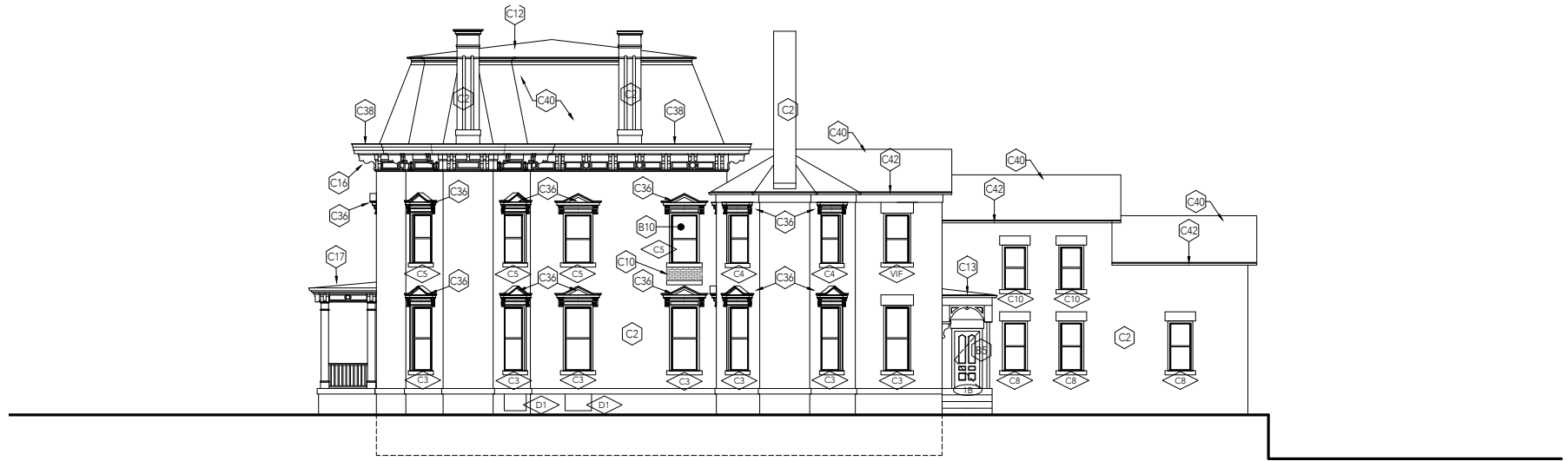
**FLOOR 4 PLAN - BUILDING 2**  
 PROPOSED  
 SCALE: 1/16"=1'-0"



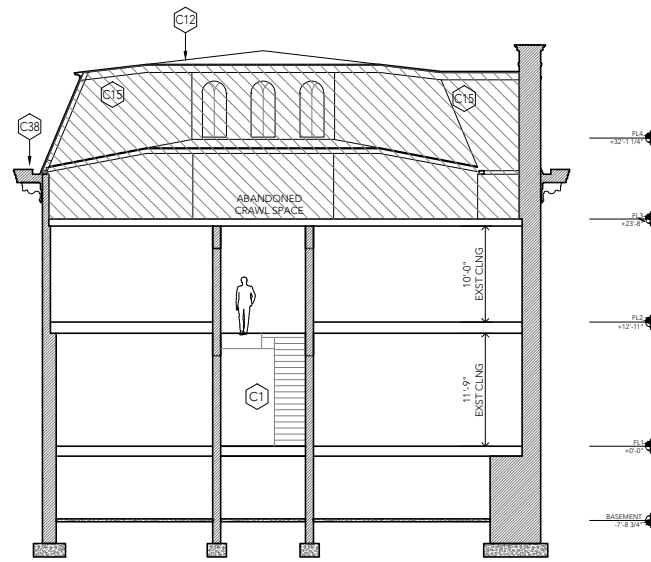
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<b>CITY LANDMARKS REVIEW</b>		
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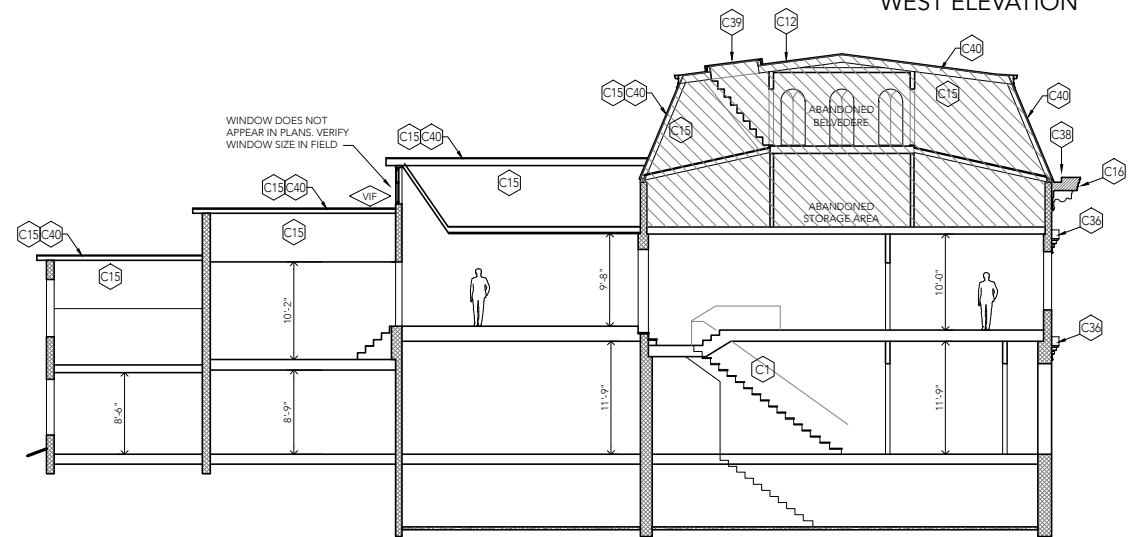
NORTH ELEVATION



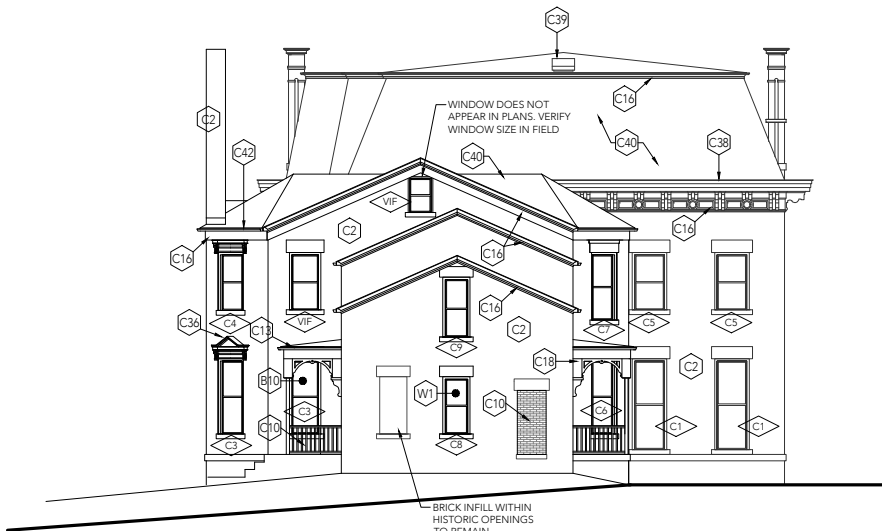
WEST ELEVATION



BUILDING SECTION



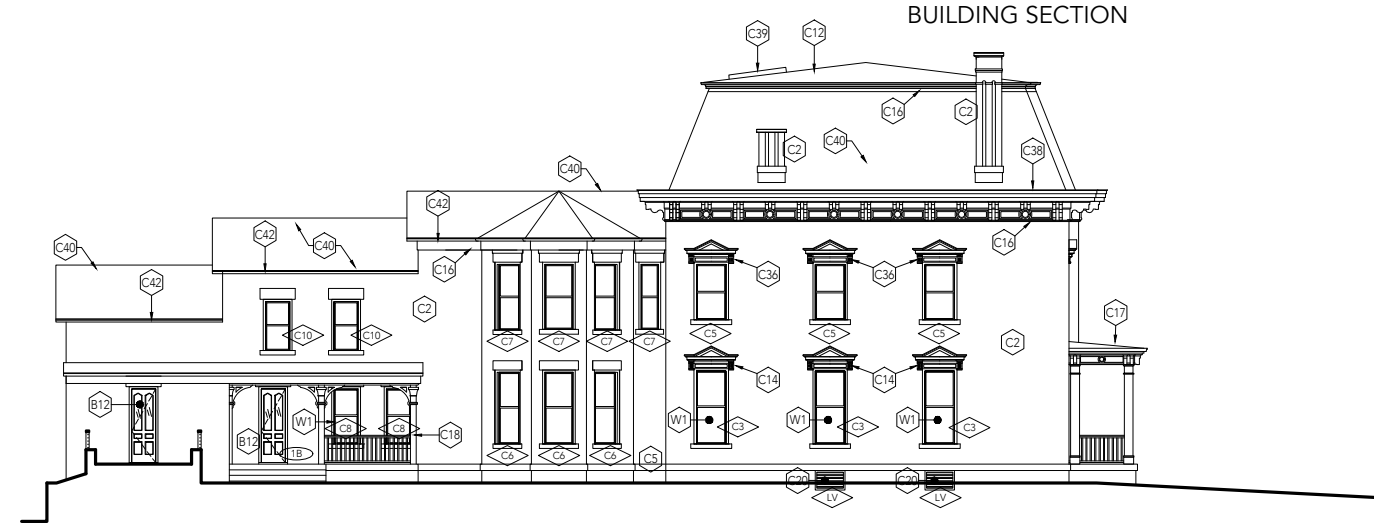
BUILDING SECTION



SOUTH ELEVATION



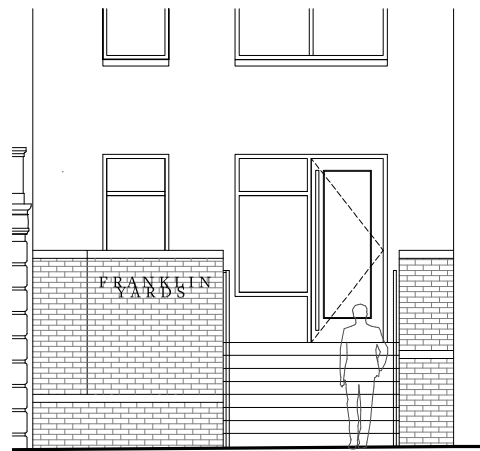
NORTH ELEVATION - ENLARGED PORCH ELEVATION



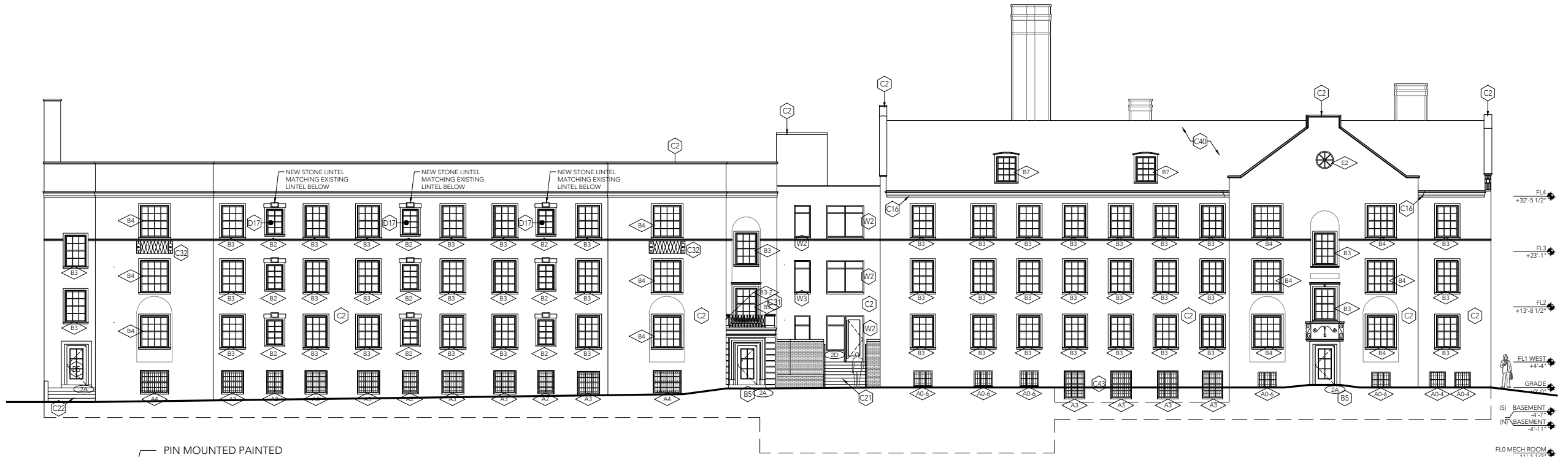
EAST ELEVATION

# ELEVATIONS & SECTIONS - BUILDING 1

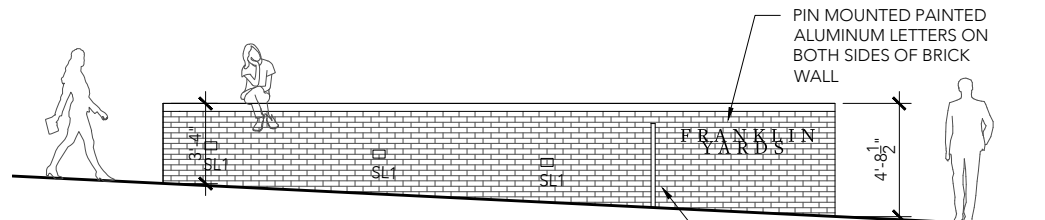
PROPOSED  
SCALE: 1" = 20'-0"



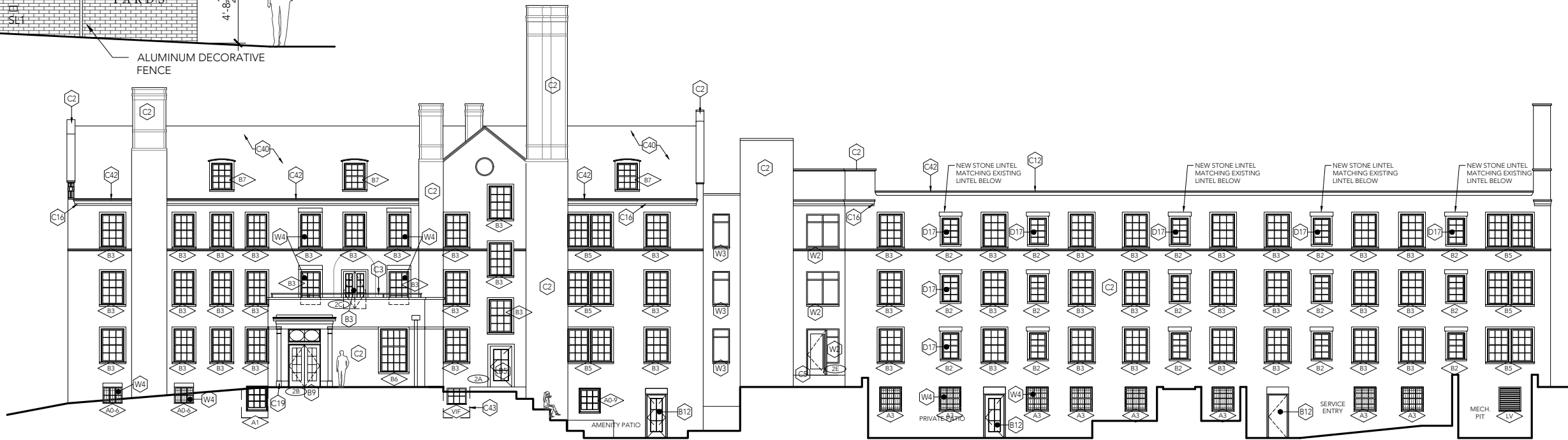
BUILDING ENTRANCE & SIGNAGE  
W. 31<sup>st</sup> STREET ENTRY



EAST ELEVATION



SITE ENTRANCE WALL & SIGNAGE  
FRANKLIN STREET ENTRY



WEST ELEVATION

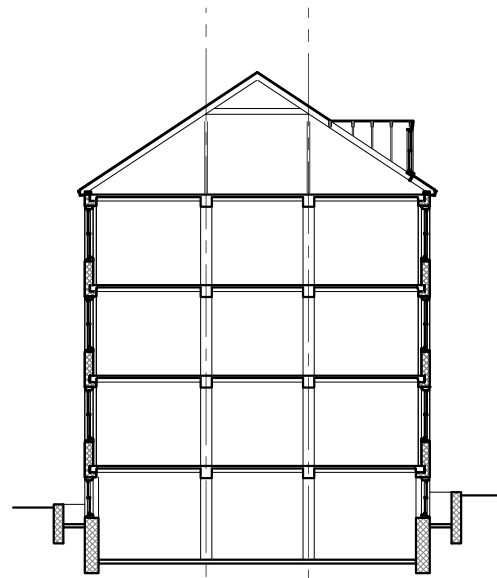
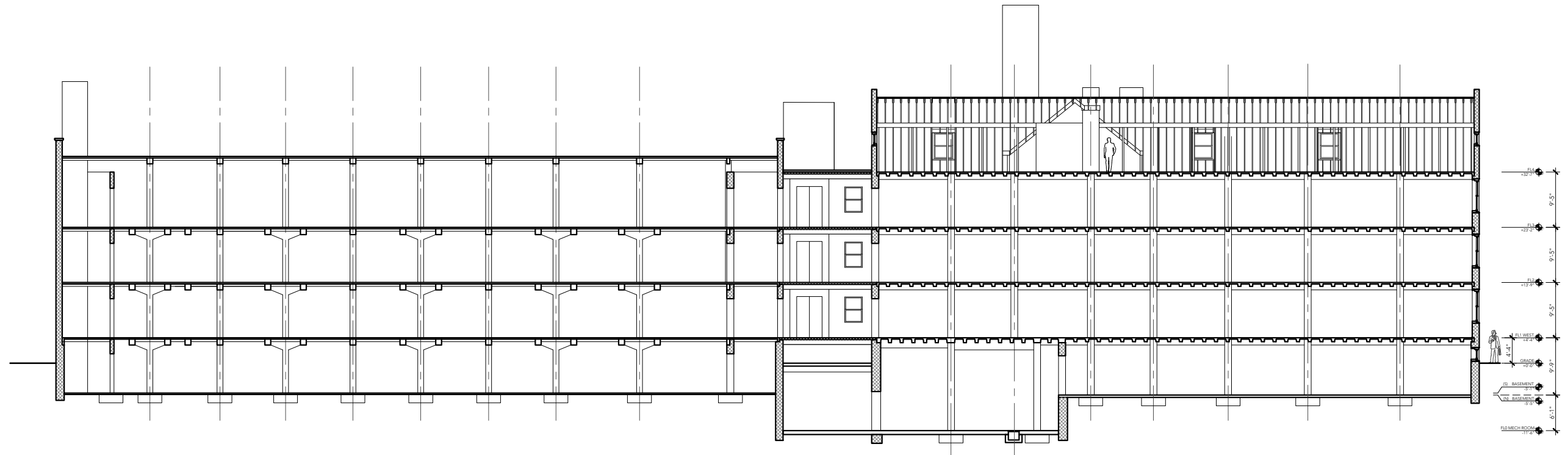
ELEVATIONS & SECTIONS - BUILDING 2  
PROPOSED  
SCALE: 1" = 20'-0"



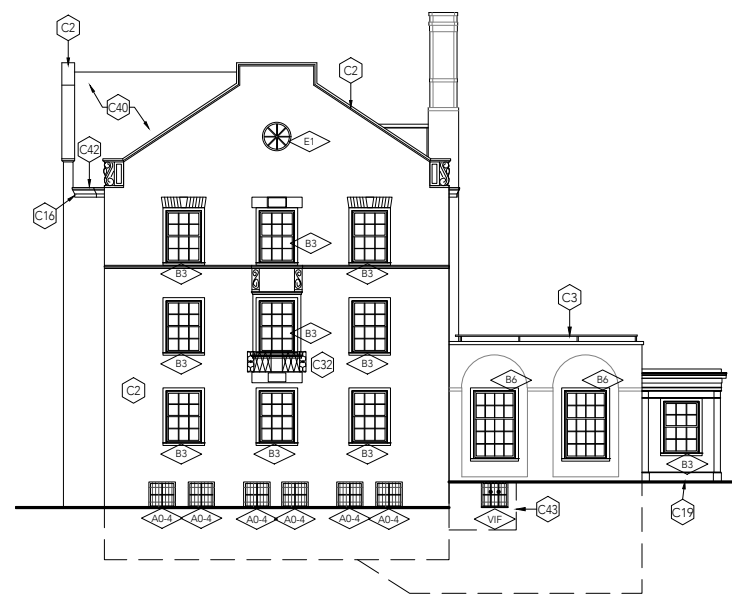
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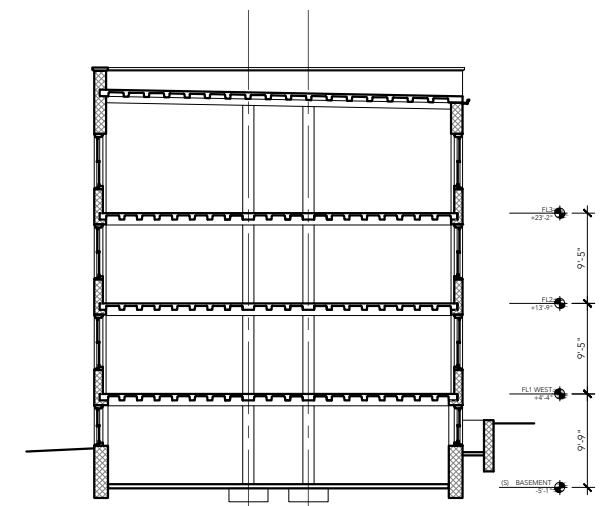
DRAWING ISSUE INFORMATION:		A3.01
<b>CITY LANDMARKS REVIEW</b>		
OCTOBER 21, 2021	TDG FRANKLIN REALTY, LLC	



SECTION @ BLDG. 2 (NORTH)



NORTH ELEVATION



SECTION @ BLDG. 2 (SOUTH)

# ELEVATIONS & SECTIONS - BUILDING 2

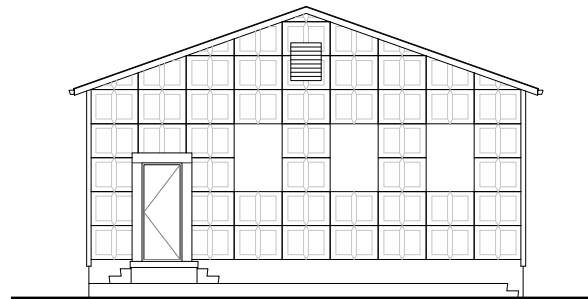
PROPOSED  
SCALE: 1"=20'-0"



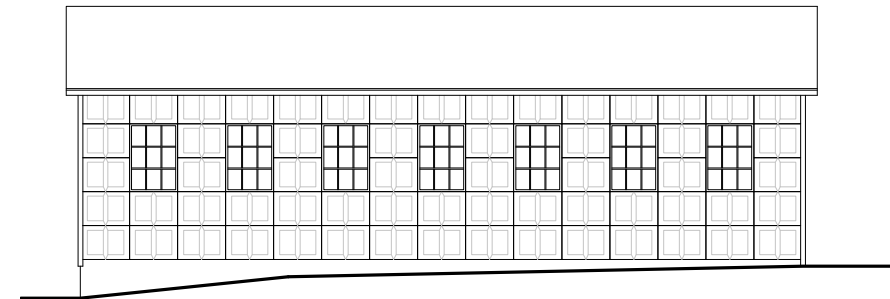
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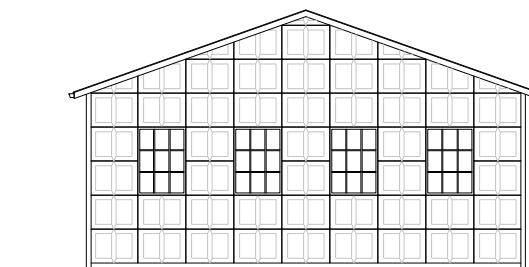
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<b>CITY LANDMARKS REVIEW</b>		
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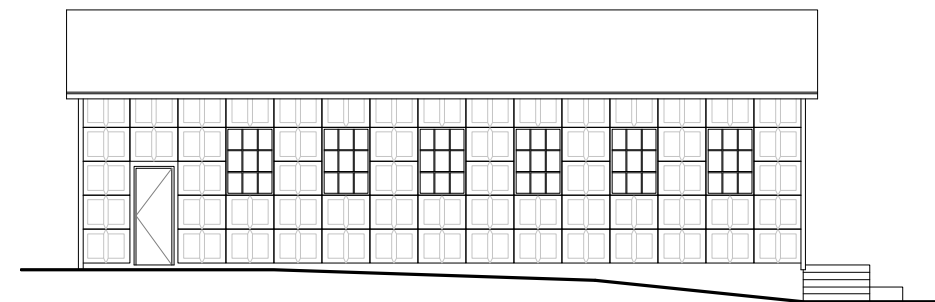
BLDG. 3 (WEST ELEVATION)



BLDG. 3 (SOUTH ELEVATION)



BLDG. 3 (EAST ELEVATION)



BLDG. 3 (NORTH ELEVATION)

## ELEVATIONS & SECTIONS - BUILDING 3

SCALE: 1"=20'-0"



PROPOSED HISTORIC REHABILITATION & RENOVATION:  
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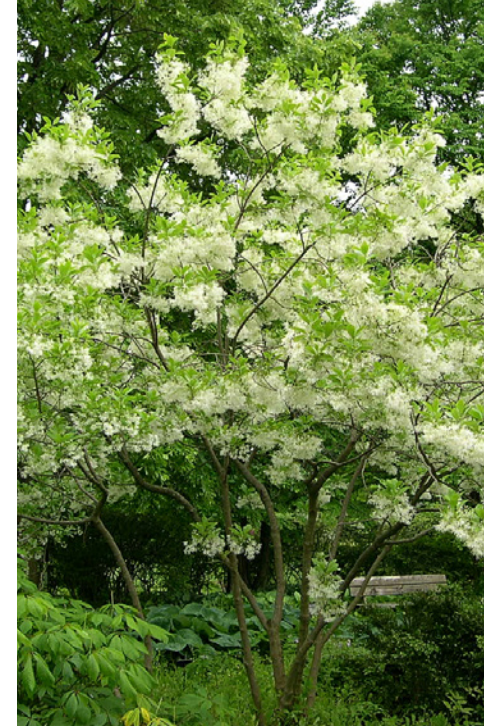
TREES



CBF - European Hornbeam



CO - Hackberry



CV - White Fringetree



CK - Kousa Dogwood



MYB - Yellow Bird Magnolia



MV - Sweetbay Magnolia



MASS - Spring Snow Crabapple



UVF - Valley Forge Elm

SHRUBS



ARLS - Mound Chokeberry



AZ - Azalea



BXGG - Green Gem Boxwood



BGV - Green Velvet Boxwood



CDEA - Beautyberry



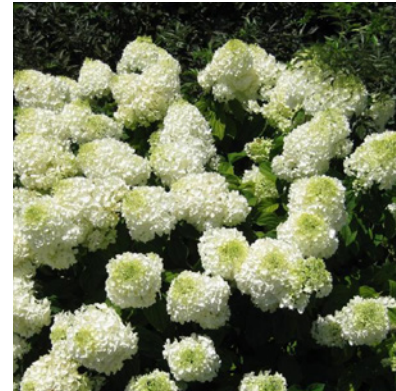
CA - Summersweet



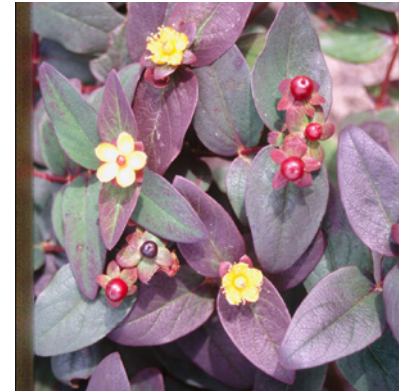
HYA - Annabelle Hydrangea



HLL - Little Lime Hydrangea



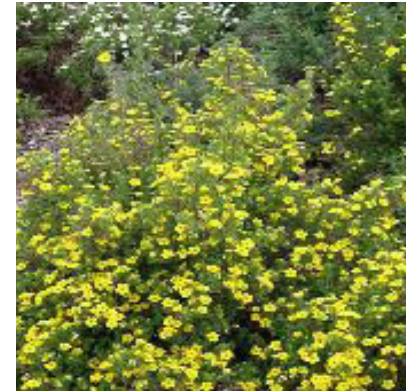
HPB - Bombshell Hydrangea



HYP - St. Johnswort



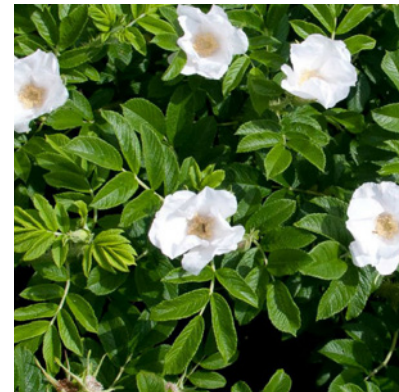
MB - Betty Magnolia



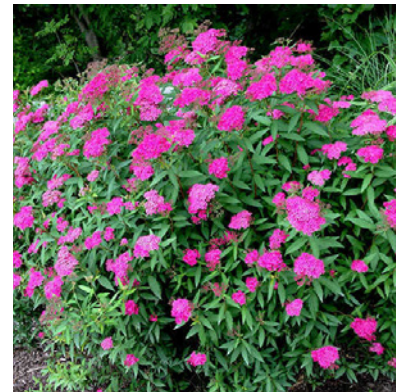
PF - Cinquefoil



RKW - White Knock Out Rose



RRA - White Rugosa Rose



SP - Anthony Waterer Spirea



SMP - Palabin Lilac



TMD - Dense Yew



TMH - Hick's Yew



TOW - Globe Arborvitae



TPG - Gelderland Arborvitae



VPN - Newport Viburnum



VPS - Doublefile Viburnum

GRASSES & PERENNIALS



ALL - Ornamental Onion



AMS - Arkansas Blue Star



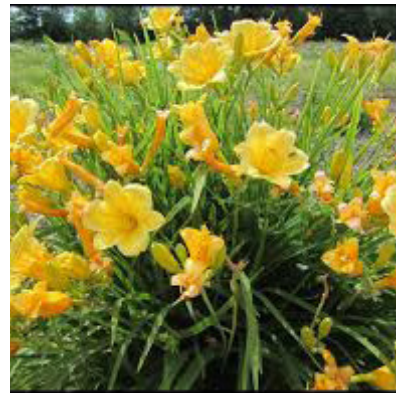
CAL - Karl Foerster Reed Grass



ECH - Purple Coneflower



HEL - Perennial Sunflower



HEM - Daylily



HOS - Plantain Lily



IRIS - Siberian Iris



LAV - Lavender



LIR - Lilyturf



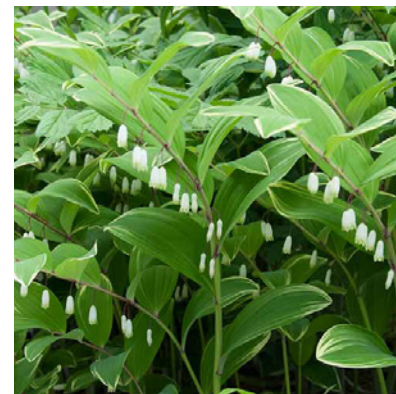
PACH - Spurge



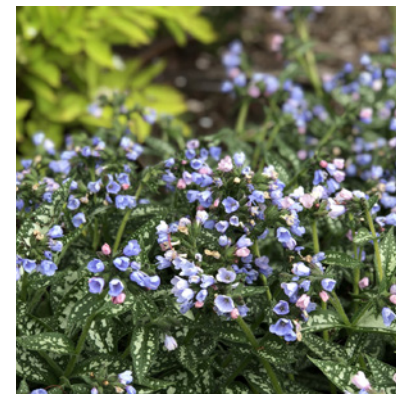
PAN - Switchgrass



PHX - Moss Phlox



POV - Solomon's Seal



PUL - Lungwort

GROUNDCOVERS & VINES



AKE - Fiveleaf Akebia



HUM - Hops Vine



LON - Native Honeysuckle

# Certificates of Appropriateness

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October 28, 2021

**Case 21-081:** Ohio City, Lorain Avenue Historic Districts

**1730 West 25th Street, 2810 Clinton Avenue, 2459 Washington Avenue, 4909 Lorain Avenue**

Matthew 25 Collection Sculpture Installations

Ward 3: McCormack

Project Representatives: Gregory Peckham, Nancy Boylan, LAND Studio; Maria Estes,  
Community West Foundation



# Matthew 25 Collection

## ABOUT COMMUNITY WEST FOUNDATION

At Community West Foundation We Support Agencies that:

- Provide Shelter to the Homeless
- Eliminate Food Insecurity and Hunger
- Ensure that Everyone has Access to Clean Water
- Support Refugees
- Offer Physical, Mental Health, and Addiction Recovery Programs
- Help the Formerly Incarcerated Re-Integrate into Society

In 2020 Community West invested in 70+ nonprofit organizations totaling more than \$7.4M (largest year in history)

Examples of the Diverse Agencies We Support

Building Hope in the City

The Refugee Response

May Dugan Center

Scranton Road Ministries

Seeds of Literacy

Edna House for Women

Cleveland Housing Network

Providence House

Front Steps

# HOW IT STARTED



NEWS

## Cleveland Statue Sparks Conversation and a 911 Call

BY KARLYNN WELLS | CLEVELAND  
PUBLISHED 5:00 AM ET OCT. 18, 2020



CLEVELAND — Through a collaboration with the Community West Foundation, a statue named Homeless Jesus was temporarily installed at St. Barnabas Episcopal Church a few days ago. Priest Alex Martin says the statue, created by a Canadian sculptor Timothy Schmalz, is there to remind people that homelessness is a significant problem.



News Weather Near Me VERIFY Watch

CORONAVIRUS COVID-19 VACCINE RADAR CLEVELAND AKRON EDUCAT

FAITH

## Police called to check up on 'Sleeping Jesus' statue outside Bay Village church

The church's priest hopes the episode sparks conversation.





## WHERE IT HAS LED US : PROJECT GOALS

Elevate awareness & stimulate dialogue about critical social justice issues

Highlight partner organizations that are impacting critical social justice issues

Beautify and enhance community spaces with a powerful, artful message

## MEET THE ARTIST : TIMOTHY SCHMALZ

Canadian born (1969) sculptor

Schmalz's work is in city's across the world including Rome, Johannesburg, Dublin, Madrid.

Rome is the only city in the world that is home to the complete Matthew 25 collection. Cleveland will join Rome by the end of 2021.



## LOCATIONS

3389 Fulton Road

1730 W. 25<sup>th</sup> Street

2810 Clinton Avenue

2459 Washington

4909 Lorain Avenue

## COMMUNITY PARTNERS

Family Ministry Center

Cleveland Clinic Lutheran Hospital

Malachi House

St. Malachi Parish

Urban Community School/Refugee Response

# ***HOMELESS JESUS***

**St. Malachi Parish**

2459 Washington Avenue

## **Artwork Material**

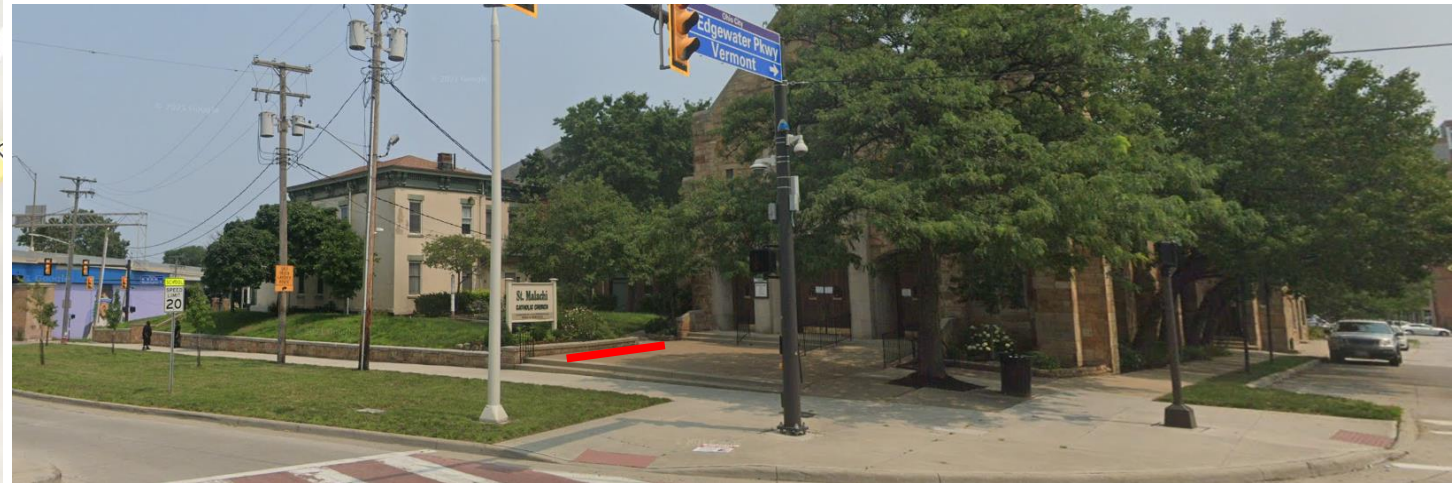
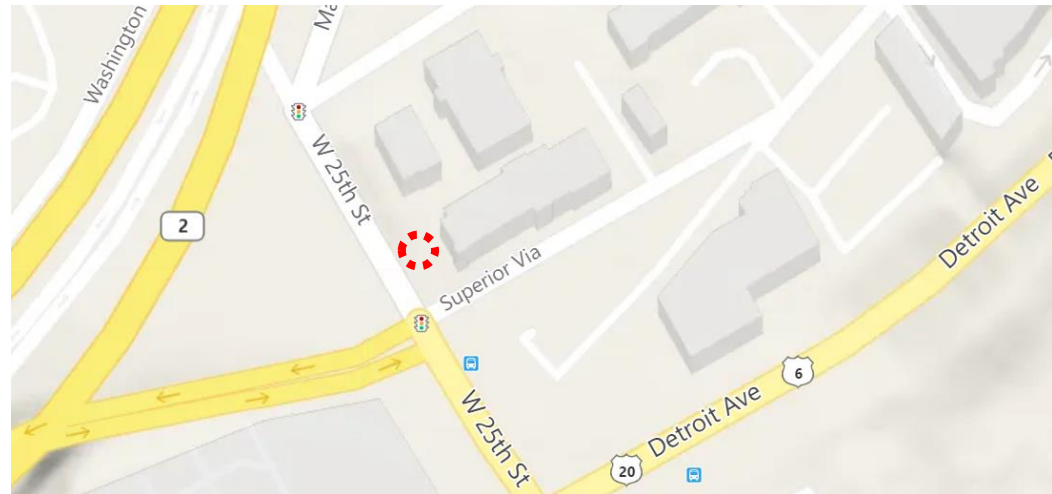
Bronze

## **Artwork Dimensions**

36" H x 84" W x 24" D

## **Weight**

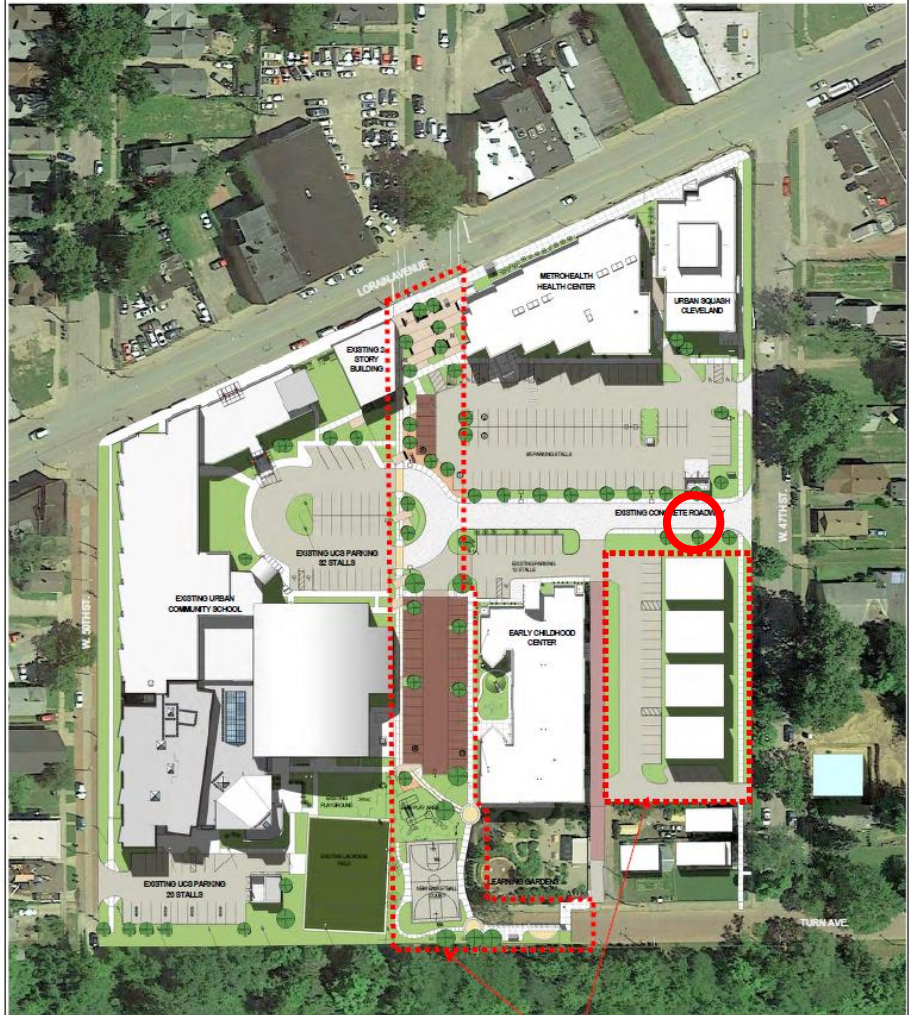
600 lbs.



# WHEN I WAS A STRANGER

## Refugee Response @ Urban Community School

Corner of W. 47<sup>th</sup> Street & Lorain Court



**Artwork Material**

Bronze

**Artwork Dimensions**

42" H x 23" W x 39" D

**Sculpture Weight**

300 lbs.

**Stump Seating Weights**

100 lbs. each

# ***WHEN I WAS SICK***

**Cleveland Clinic Lutheran Hospital**  
W. 25<sup>th</sup> Street & Vestry Avenue

## **Artwork Material**

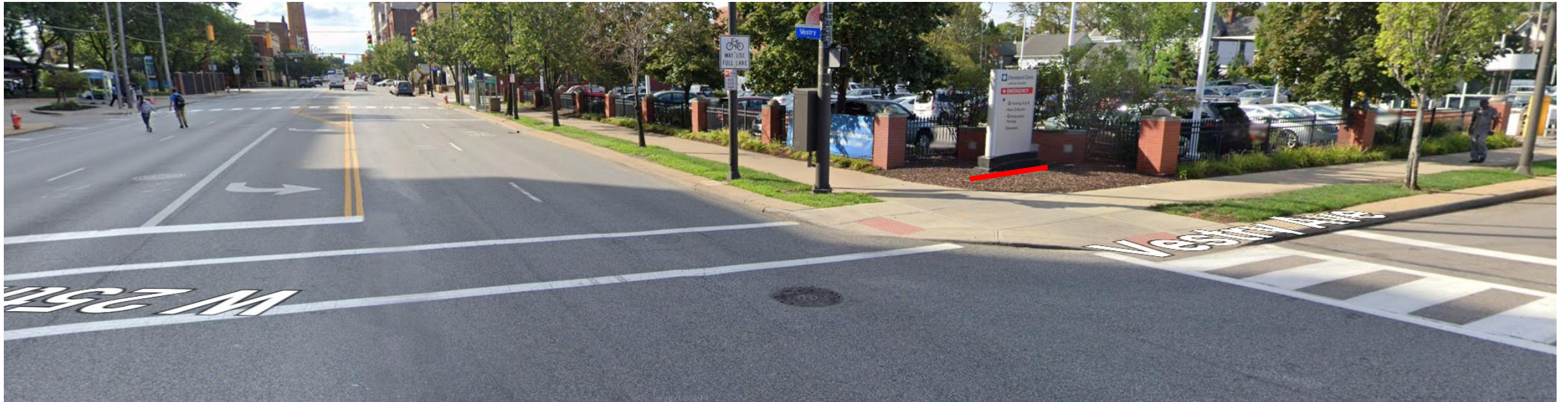
Bronze

## **Artwork Dimensions**

39" H x 78" W x 38" D

## **Weight**

200 lbs.



# ***WHEN I WAS NAKED***

## **Malachi House**

2810 Clinton Avenue

**Artwork Material**

Bronze

**Artwork Weight**

200 lbs.

**Base Material**

Granite

**Base Weight**

200 lbs.

**Artwork Dimensions**

24" H x 36" W x 36" D

**Artwork Base Dimensions**

12" H x 40" W x 40" D



# WHEN I WAS IN PRISON

## Family Ministry Center

3389 Fulton Road

### Artwork Material

Bronze

### Base Material

Granite

### Artwork Dimensions

27" H x 23" W x 7.5" D

### Pedestal Dimensions

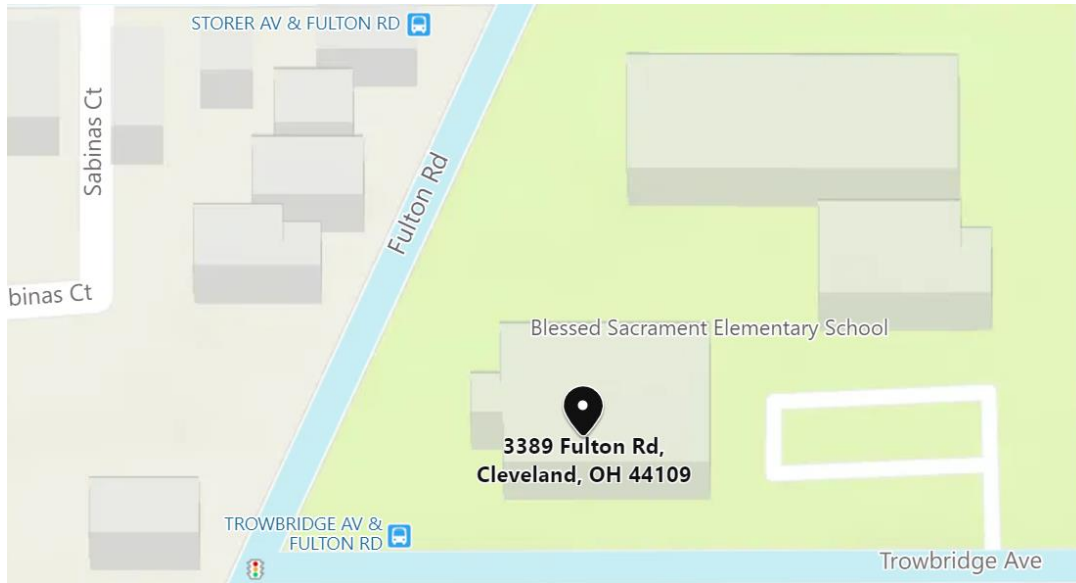
42" H x 29" W x 13" D

### Artwork Weight

75 lbs.

### Base Weight

1,360 lbs.



Signage Detail



# WHEN I WAS HUNGRY & THIRSTY

previously installed by  
Old Stone Church



When I Was Hungry  
and Thirsty  
Old Stone Church

## Matthew 25: Six public art sculptures depicting basic human rights to be installed around city

THURSDAY, SEPTEMBER 16, 2021

SHARE f t in e



ADVERTISEMENT

**CREATING A CLEANER HEALTHIER CLEVELAND.**

GIVE US YOUR EMAIL AND WE WILL GIVE YOU OUR WEEKLY ONLINE NEWSLETTER. FAIR?



## Creator of 'Homeless Jesus' has found a home in Cleveland for 5 more sculptures

Updated: Aug. 02, 2021, 3:12 p.m. | Published: Aug. 02, 2021, 2:00 p.m.



'Homeless Jesus' was the first sculpture the Community West Foundation acquired; now, five others with different messages are coming to be placed around the Cleveland area. (cleveland.com)



495 shares

By [Linda Gandee](#)

Advertisement

THE PLAIN DEALER  
cleveland.com

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**DO YOU HAVE QUESTIONS ON THE 2022**

# Matthew 25 Collection

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THANK YOU!





October 28, 2021

**Case 21-082:** Cleveland Museum of Art Fine Arts Garden (19-019 Master Plan 5/9/2019)

**11150 East Boulevard**

Fine Arts Garden Extension

Ward 9: Conwell

Project Representatives: Jeffrey Streaan, Architect, Cleveland Museum of Art

# Fine Arts Garden Extension

A Partnership between the Cleveland Museum of Art  
and the Northeast Ohio Regional Sewer District

This site, across Chester Avenue from the  
Olmsted Fine Arts Garden remains a part of the  
Garden and has been maintained by the  
Museum since the creation of the Garden in  
1928.

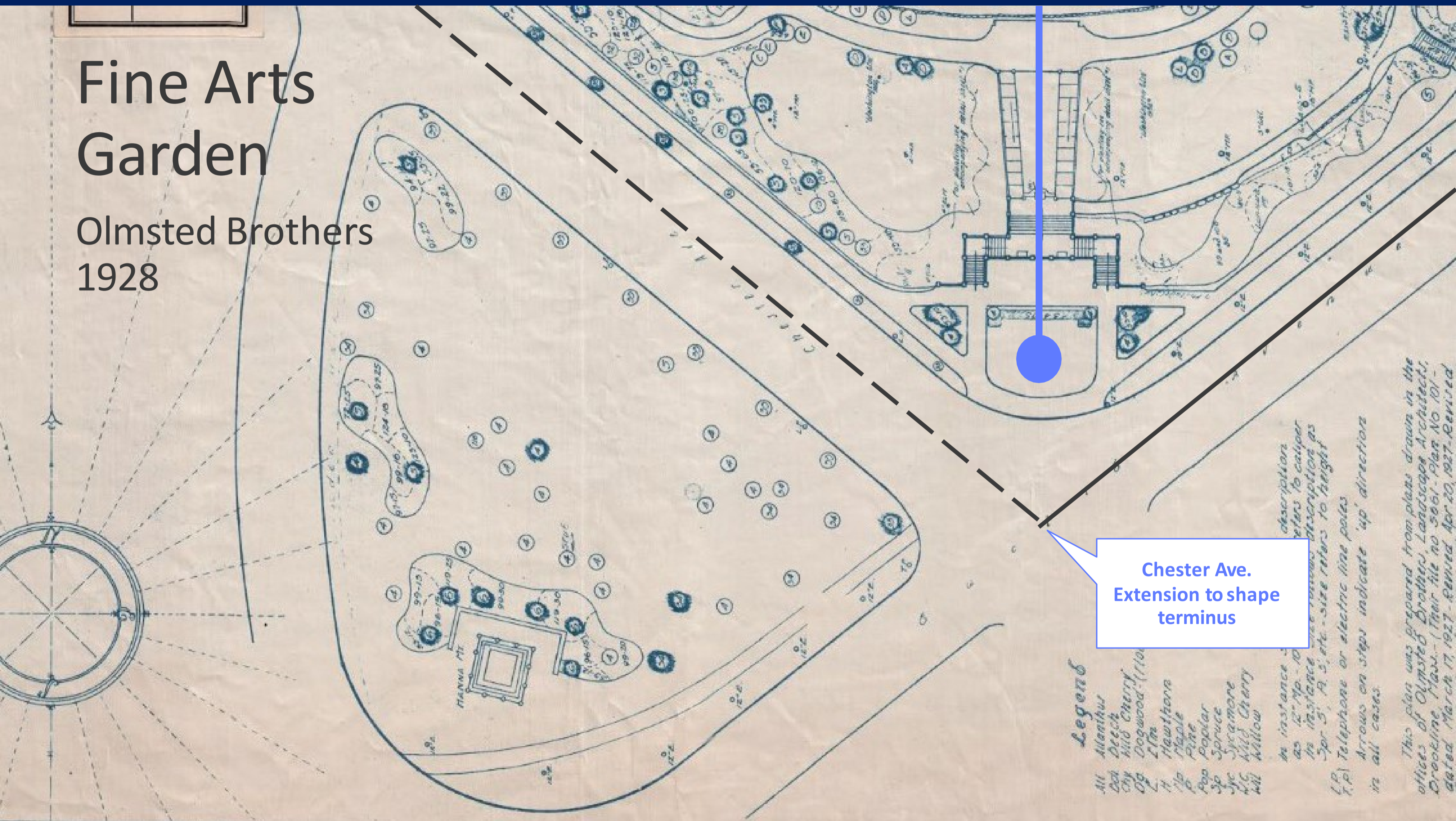
# Fine Arts Garden

Olmsted Brothers  
1928



# Fine Arts Garden

Olmsted Brothers  
1928



Chester Ave.  
Extension to shape  
terminus

- Legend**
- All. Alanthus
  - Do. Dech
  - Chy Wild Cherry
  - Og Dogwood
  - Lm
  - H Hawthorn
  - Ma Maple
  - P Pine
  - Pop Poplar
  - Sp Spruce
  - Syc Sycamore
  - W.C. Wild Cherry
  - W Willow

In instance as 12-Mp-10 refers to caliper  
In instance as 12-Mp-10 refers to height  
P.P. Telephone or electric line poles  
Arrows on steps indicate 'up' direction  
in all cases

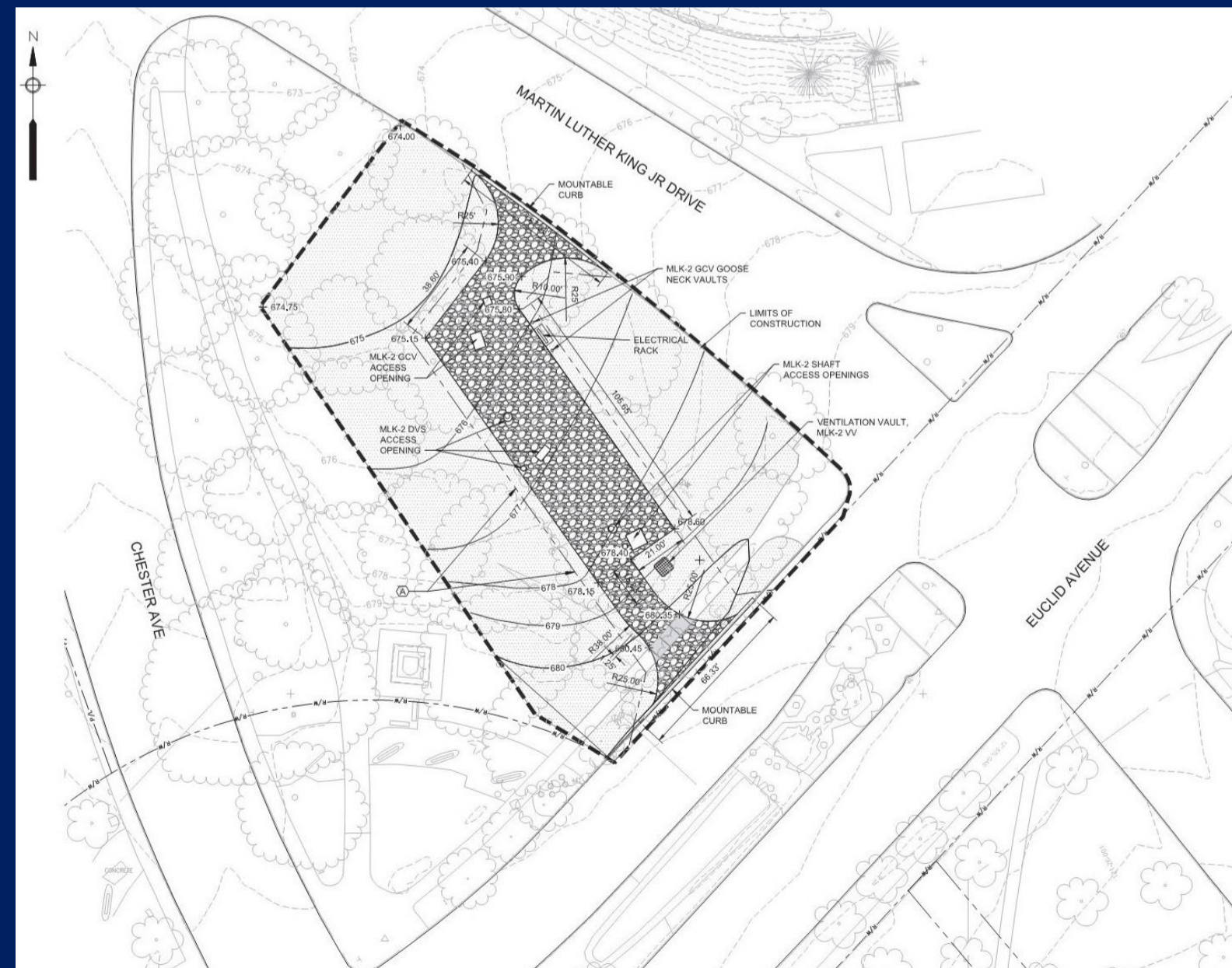
This plan was prepared from plans drawn in the  
office of Olmsted Brothers, Landscape Architects,  
Dorchester, Mass. (Their file no 5061 - Plan No 101 -  
dated March 17, 1927 - Revised Apr 20, 1927 - Revised



The Northeast Ohio Sewer District has been installing infrastructure on the site as part of its mitigation plan to reduce flooding in the University Circle area. The Cleveland Museum of Art proposes to rehabilitate the site once the infrastructure work is complete.

# NEORSD Doan Valley Storage Tunnel

- Reduction of over 365 million gallons of combined sewer overflows (project-wide)
- Decreased flooding during rain events

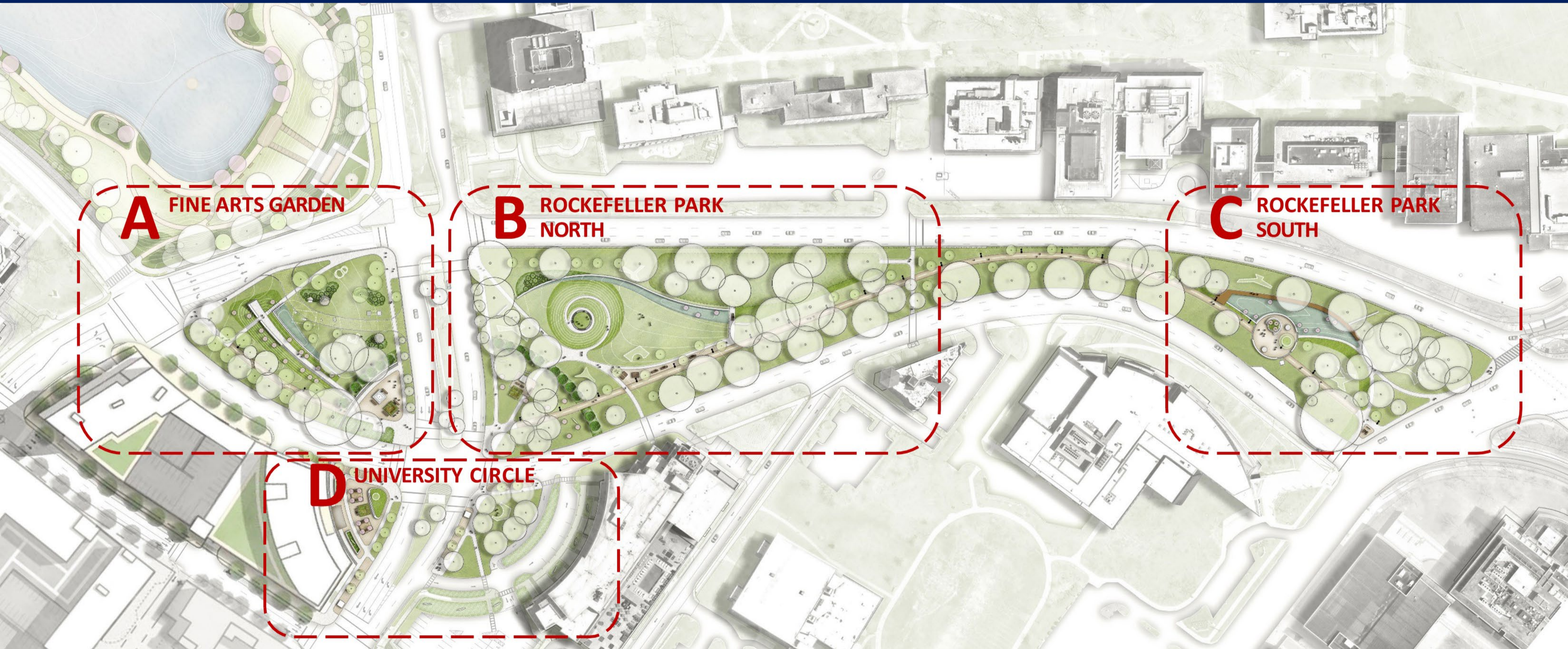


MLK-1 Shaft Site

MLK-2 Shaft Site

This activity created a need for a comprehensive look at the area. The Cleveland Museum of Art and University Circle Incorporated commissioned Sasaki and Associates to create a plan that indicate improved pathways, areas for the gathering of students and residents in the area and a dog park. That plan we presented to the public, online and to City officials for feedback in October of 2020. The proposed improvements to the site are based on the comprehensive Sasaki plan.

# Concept Plan



# AREA A

## Fine Arts Garden



Original Concept Plan

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
<b>DECIDUOUS TREES</b>						
CV	1	CRATAGEUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	1.5'-2" CAL	AS SHOWN	B&B, SINGLE STEM
MG	5	METASEQUOIA GLYPTOSTROBODES	DAWN REDWOOD	12'-14" HT.	AS SHOWN	B&B
NS	5	NYSSA SYLVATICA	BLACK TUPELO	2'-2.5' CAL	AS SHOWN	B&B, LIMBED TO 6'
PA	1	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	LONDON PLANETREE	3'-3.5' CAL	AS SHOWN	B&B, LIMBED TO 6'
QP	1	QUERCUS PALUSTRIS	PIN OAK	2'-2.5' CAL	AS SHOWN	B&B, LIMBED TO 6'
QR	1	QUERCUS RUBRA	RED OAK	2'-2.5' CAL	AS SHOWN	B&B, LIMBED TO 6'
TGG	3	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8'-10" HT.	AS SHOWN	B&B
<b>SHRUBS</b>						
CS	6	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	30'-36" HT.	AS SHOWN	NO. 5 CONT.
HP	7	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT PANICLE HYDRANGEA	24'-30" HT.	AS SHOWN	NO. 5 CONT.
HQ	6	HYDRANGEA QUERCIFOLIA 'FLEMYGEA'	SNOW QUEEN HYDRANGEA	24'-30" HT.	AS SHOWN	NO. 5 CONT.
IG	6	ILEX GLABRA 'SHAMROCK'	INKBERRY	36'-48" HT.	AS SHOWN	CONT.
IVN	10	ILEX VERTICILLATA 'NANA'	WINTERBERRY	24'-30" HT.	AS SHOWN	CONT.
IVJ	1	ILEX VERTICILLATA 'JIM DANDY'	WINTERBERRY	30'-36" HT.	AS SHOWN	CONT.
RA	10	RHUS AROMATICA 'GRO-LOW'	GO-LOW FRAGRANT SUMAC	24'-30" HT.	AS SHOWN	CONT.
VR	2	VIBURNUM X RHATIDOPHYLLOIDES 'ALLEGHANY'	ALLEGHANY VIBURNUM	24'-30" HT.	AS SHOWN	CONT.
<b>GROUNDCOVERS</b>						
	350 SF	40% SPOROBIOLIS HETEROLEPIS 'TARA'	ORNAMENTAL GRASS GROUNDCOVER	4" POTS/QT.	18" O.C.	
	2,085 SF	40% SESLERIA AUTUMNALIS				
		20% SALVIA MEMOROSA 'CARADONNA'				
	770 SF	PACHYSANDRA TERMINALIS	JAPANESE PACHYSANDRA	4" POTS/QT.	12" O.C.	
		50% CAREX SILVER SCEPTRE				
		50% CAREX PENNSYLVANICA	CAREX GROUNDCOVER MIX	PLUGS	12" O.C.	
	22,850 SF	NEW LAWN AREAS: SEE NOTES ON PLAN				
	3,750 SF	REINFORCED LAWN PAVERS: SEE NOTES ON PLAN				
	14,300 SF	EXISTING LAWN RENOVATION: SEE NOTES ON PLAN				

EXISTING HARRISON DILLARD TRAIL ASPHALT PATH:  
 • BASE SCOPE: PROTECT DURING CONSTRUCTION  
 • ADD-ALTERNATE 01: MILL & OVERLAY ASPHALT PATH

NEORS MLK-2 SHAFT SITE EXISTING CONSTRUCTION FENCE ALIGNMENT. THIS FENCE WILL REMAIN AS SHOWN TO ENCLOSE CONSTRUCTION ACTIVITY. RESTORE ALL LAWN AREAS OUTSIDE THIS FOOTPRINT. PROVIDE 6" OF PLANTING SOIL AND NEW SEEDED LAWN INSIDE THIS FOOTPRINT.

EXISTING LAWN RENOVATION:  
 1. MOW, DETHATCH, CORE AERATE, AND RAKE  
 2. OVERSEED WITH COOL-SEASON TURF SEED, JONATHAN GREEN BLACK BEAUTY GRASS SEED, OR APPROVED EQUAL  
 3. WATER NEWLY PLANTED AREAS AND KEEP MOIST UNTIL NEW LAWN IS ESTABLISHED  
 INSTALL MULCH RINGS AROUND EXISTING TREES TO REMAIN. MULCH RINGS SHALL BE 4" FROM BASE OF LARGE TREES AND 2" FROM BASE OF SMALL TREES, TYPICAL.  
 CUT AND PATCH ASPHALT PAVING TO MEET NEW CONCRETE PAVING

NEW CONSTRUCTION FENCE TO MATCH NEORS MLK-2 SHAFT SITE EXISTING CONSTRUCTION FENCE TO REMAIN HISTORIC UNIVERSITY CIRCLE RIGHT-OF-WAY

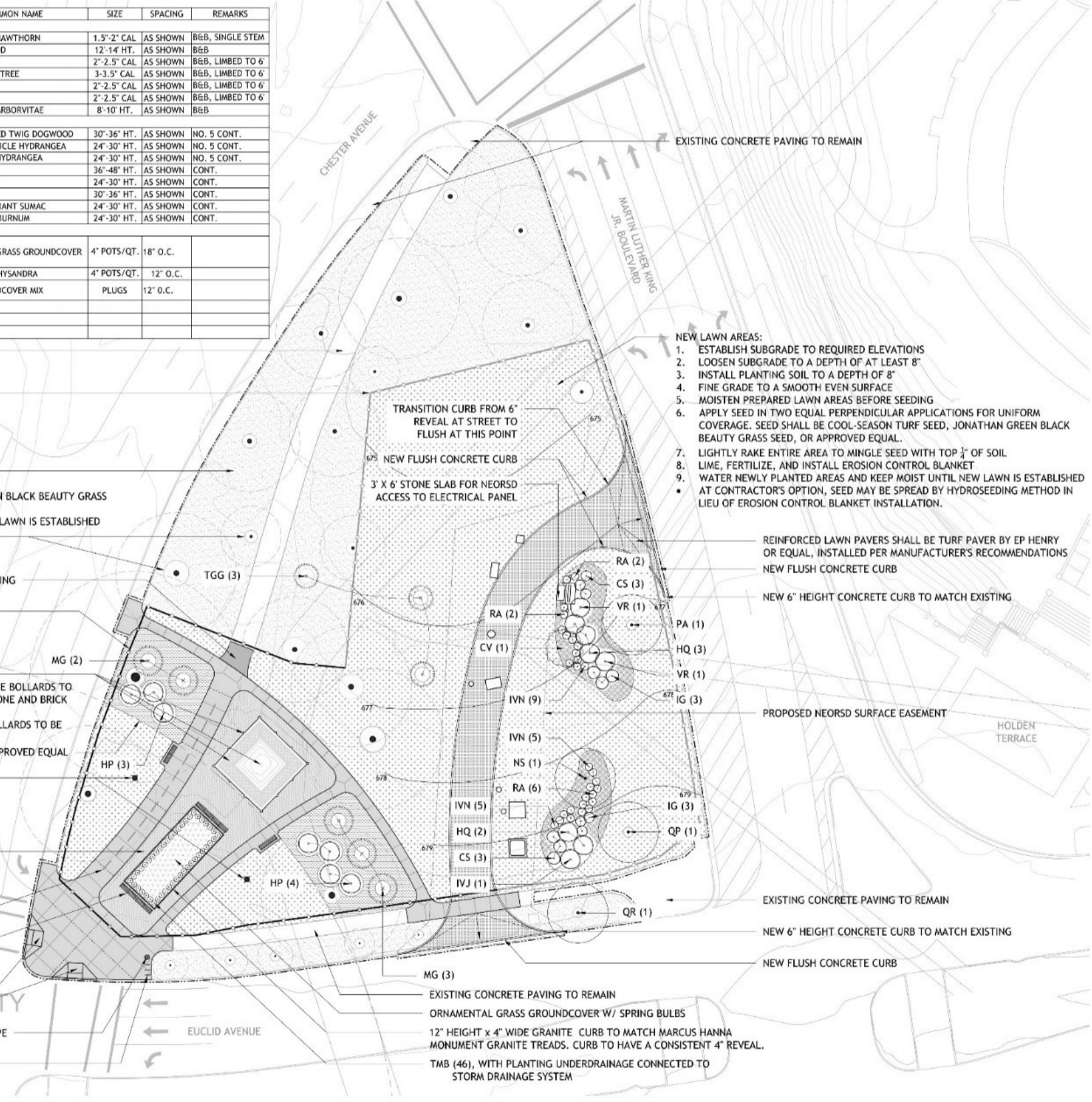
MARCUS HANNA MONUMENT:  
 • BASE SCOPE: MONUMENT, STONE & BRICK PAVING, AND STONE BOLLARDS TO BE PROTECTED DURING CONSTRUCTION. PRESSURE WASH STONE AND BRICK AT SUBSTANTIAL COMPLETION.  
 • ADD-ALTERNATE 02: STONE & BRICK PAVING, AND STONE BOLLARDS TO BE REHABILITATED  
 METAL EDGING, TYP. - BORDER CONCEPTS BORDER KING, OR APPROVED EQUAL

LIGHTING FOR MARCUS HANNA MONUMENT:  
 • BASE SCOPE: NO LIGHTING  
 • ADD-ALTERNATE 03: SPOT LIGHTING ON POLES, AS SHOWN

3"x9" CONCRETE UNIT PAVERS ON CONCRETE BASE WITH BITUMINOUS SETTING BED. PAVERS SHALL BE 'OLDE HANOVER' BY HANOVER ARCHITECTURAL PRODUCTS, OR APPROVED EQUAL. PATTERN SHALL BE 90° HERRINGBONE.

PAINTED STRIPING FOR SHARED-USE HARRISON DILLARD TRAIL  
 1939 WORLDS FAIR BENCH, MANUFACTURED BY KENNETH LYNCH & SONS. LENGTH: 96"; STAINLESS STEEL FASTENERS, UNFINISHED NATURAL IPE SEATING SURFACE. TOTAL QUANTITY: SIX (6)  
 NEW CURB RAMPS TO MEET CITY OF CLEVELAND STANDARDS  
 CHASE PARK LITTER RECEPTACLE, MANUFACTURED BY LANDSCAPE FORMS. SPECIFICATIONS TO MATCH NORD FAMILY GREENWAY.  
 1939 WORLDS FAIR BIKE RACK, MANUFACTURED BY KENNETH LYNCH & SONS. TOTAL QUANTITY: THREE (3)

Reduced Scope Plan



EXISTING CONCRETE PAVING TO REMAIN

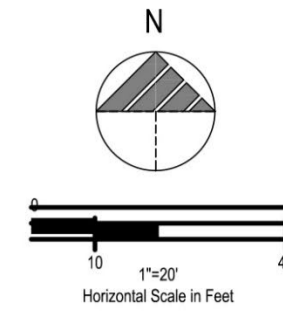
NEW LAWN AREAS:  
 1. ESTABLISH SUBGRADE TO REQUIRED ELEVATIONS  
 2. LOOSEN SUBGRADE TO A DEPTH OF AT LEAST 8"  
 3. INSTALL PLANTING SOIL TO A DEPTH OF 8"  
 4. FINE GRADE TO A SMOOTH EVEN SURFACE  
 5. MOISTEN PREPARED LAWN AREAS BEFORE SEEDING  
 6. APPLY SEED IN TWO EQUAL PERPENDICULAR APPLICATIONS FOR UNIFORM COVERAGE. SEED SHALL BE COOL-SEASON TURF SEED, JONATHAN GREEN BLACK BEAUTY GRASS SEED, OR APPROVED EQUAL.  
 7. LIGHTLY RAKE ENTIRE AREA TO MINGLE SEED WITH TOP 1" OF SOIL  
 8. LIME, FERTILIZE, AND INSTALL EROSION CONTROL BLANKET  
 9. WATER NEWLY PLANTED AREAS AND KEEP MOIST UNTIL NEW LAWN IS ESTABLISHED  
 • AT CONTRACTOR'S OPTION, SEED MAY BE SPREAD BY HYDROSEEDING METHOD IN LIEU OF EROSION CONTROL BLANKET INSTALLATION.

REINFORCED LAWN PAVERS SHALL BE TURF PAVES BY EP HENRY OR EQUAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS  
 NEW FLUSH CONCRETE CURB  
 NEW 6" HEIGHT CONCRETE CURB TO MATCH EXISTING

PROPOSED NEORS SURFACE EASEMENT

EXISTING CONCRETE PAVING TO REMAIN  
 NEW 6" HEIGHT CONCRETE CURB TO MATCH EXISTING  
 NEW FLUSH CONCRETE CURB

EXISTING CONCRETE PAVING TO REMAIN  
 ORNAMENTAL GRASS GROUNDCOVER W/ SPRING BULBS  
 12" HEIGHT x 4" WIDE GRANITE CURB TO MATCH MARCUS HANNA MONUMENT GRANITE TREADS. CURB TO HAVE A CONSISTENT 4" REVEAL.  
 TMB (46), WITH PLANTING UNDERDRAINAGE CONNECTED TO STORM DRAINAGE SYSTEM



### PLAN KEYNOTES #

1. CUT AND PATCH ASPHALT PAVING TO MEET NEW CONCRETE RING
2. HISTORIC UNIVERSITY CIRCLE RIGHT-OF-WAY
3. MARCUS HANNA MONUMENT:
  - 3.1. BASE SCOPE: MONUMENT, STONE & BRICK PAVING, AND STONE BOLLARDS TO BE PROTECTED DURING CONSTRUCTION. PRESSURE WASH STONE AND BRICK AT SUBSTANTIAL COMPLETION.
  - 3.2. ADD-ALTERNATE 02: STONE & BRICK PAVING, AND STONE BOLLARDS TO BE REHABILITATED
4. METAL EDGING, TYP. - BORDER CONCEPTS BORDER KING, OR APPROVED EQUAL
5. 1939 WORLDS FAIR BENCH, MANUFACTURED BY KENNETH LYNCH & SONS. LENGTH: 96", STAINLESS STEEL FASTENERS, UNFINISHED NATURAL IPE SEATING SURFACE. TOTAL QUANTITY: SIX (6)
6. NEW CURB RAMPS TO MEET CITY OF CLEVELAND STANDARDS
7. CHASE PARK LITTER RECEPTACLE, MANUFACTURED BY LANDSCAPE FORMS. SPECIFICATIONS TO MATCH NORD FAMILY GREENWAY.
8. 1939 WORLDS FAIR BIKE RACK, MANUFACTURED BY KENNETH LYNCH & SONS. TOTAL QUANTITY: THREE (3)
9. EXISTING CONCRETE TO REMAIN
10. 12" HEIGHT X 4" WIDE GRANITE CURB TO MATCH MARCUS HANNA MONUMENT GRANITE TREADS. CURB TO HAVE CONSISTENT 4" REVEAL.
11. NEW 6" HEIGHT CONCRETE CURB TO MATCH EXISTING
12. NEW FLUSH CONCRETE CURB
13. PROPOSED NEOSRD SURFACE EASEMENT
14. REINFORCED LAWN PAVERS SHALL BE TURF PAVER BY EP HENRY OR EQUAL, INSTALLED PER MANUFACTURERS RECOMMENDATIONS
15. EXISTING TELEPHONE LINE
16. NEOSRD EDUCATIONAL SIGNAGE

Current Schematic Design

Turf pavers by **EP Henry** will be utilized in the reinforced access road for maintenance trucks.



## Materials and Finishes

### Furnishings and Site Amenities

**Manufacturer:** Kenneth Lynch & Sons

**Model:** 1939 Worlds Fair Bench & Bike Rack

**Dimensions:** 96"L x 27"D x 34"H

**Wood:** Natural Ipe

**Frame:** Ductile Iron

**Frame Finish:** Powder coated Iron (color TBD)



This product is widely used in parks with landscape design plans from Fredrick Law Olmsted.









# Cleveland Landmarks Commission

## Design Review

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October 28, 2021



**CITY OF CLEVELAND**  
Mayor Frank G. Jackson

# Euclid Corridor Design Review District

Design Review Advisory Committee

## Meeting Motion and Report Form

**Meeting Location:** MidTown Cleveland Offices located at 5000 Euclid Ave.

**Case Number:** EC 2021-026

**Meeting Date:** 09/30/2021

**Project Name:** Fine Arts Garden Extension

**Project Address:** Chester between MLK & Stokes

**Contact Person:** Jeffrey Streaan

**Architect/Contractor:** \_\_\_\_\_

**General Description:** \_\_\_\_\_

### Motion by Design Review Committee:

#### **Approved**

**Approve:** Brown, Holland, Pace, Rothenberg (Ch.), Solon, Trotta, Wagner

**Disapprove:**

**Abstain:** Streaan

**Non-Voting Members:** Kim Scott, Matt Provolt

### Recommendations:

- 1) Study improvements to crosswalks for pedestrian & cyclists access to space
- 2) Include some type of interpretive signage to enhance visitor's experience in understanding the work that's been done.



October 28, 2021

**Case 21-083:** Little Italy Historic District

**2087 Fairview Avenue**

Conversion to a Single-Family House; Front Porches and Patio Renovation, Rooftop Deck and Penthouse, Landscaping, Windows

Ward 6: Griffin

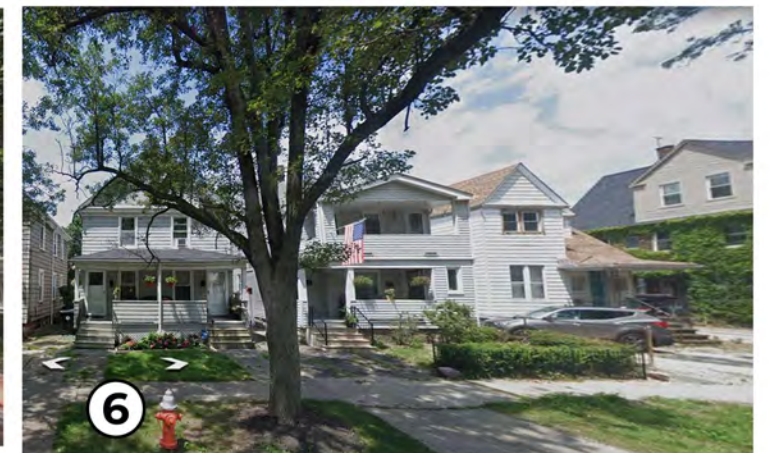
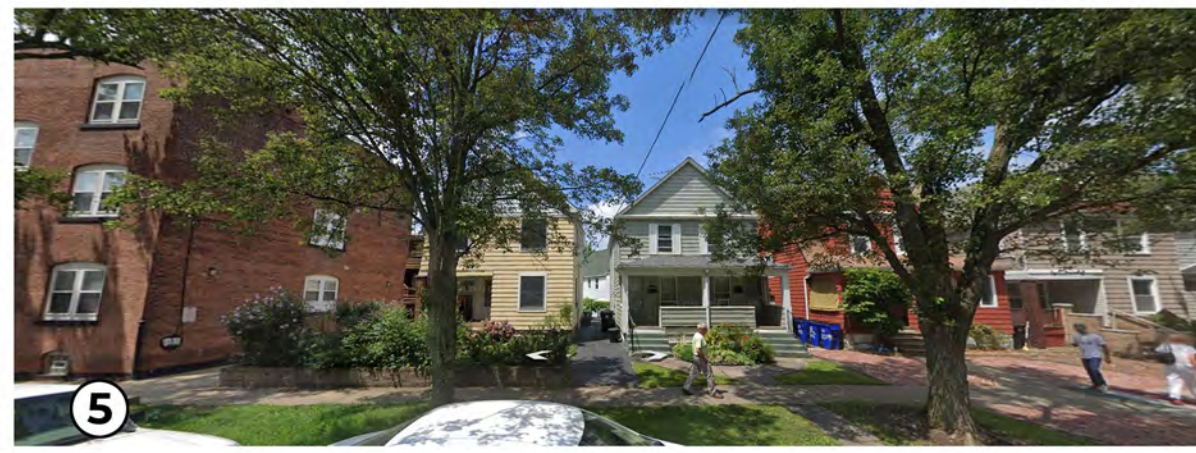
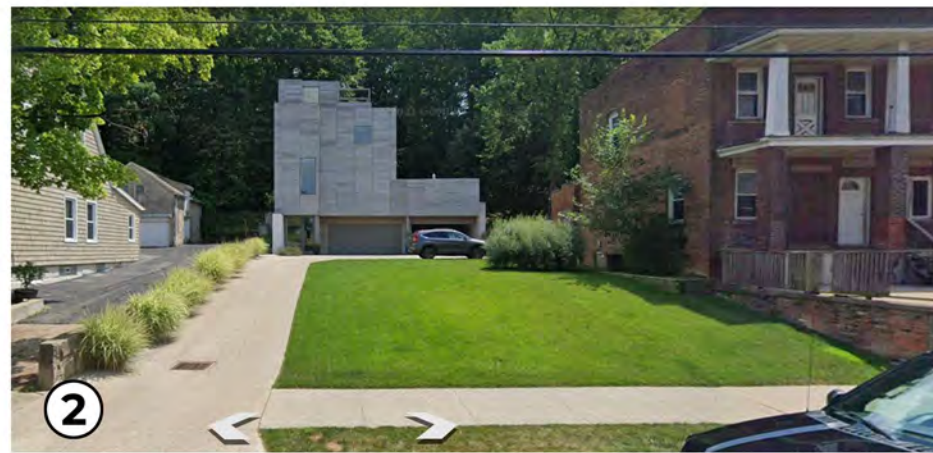
Project Representatives: Gregory Soltis, Gary Neola, Architects; Eric Kennedy, Owner



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - LOCATION



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - SITE

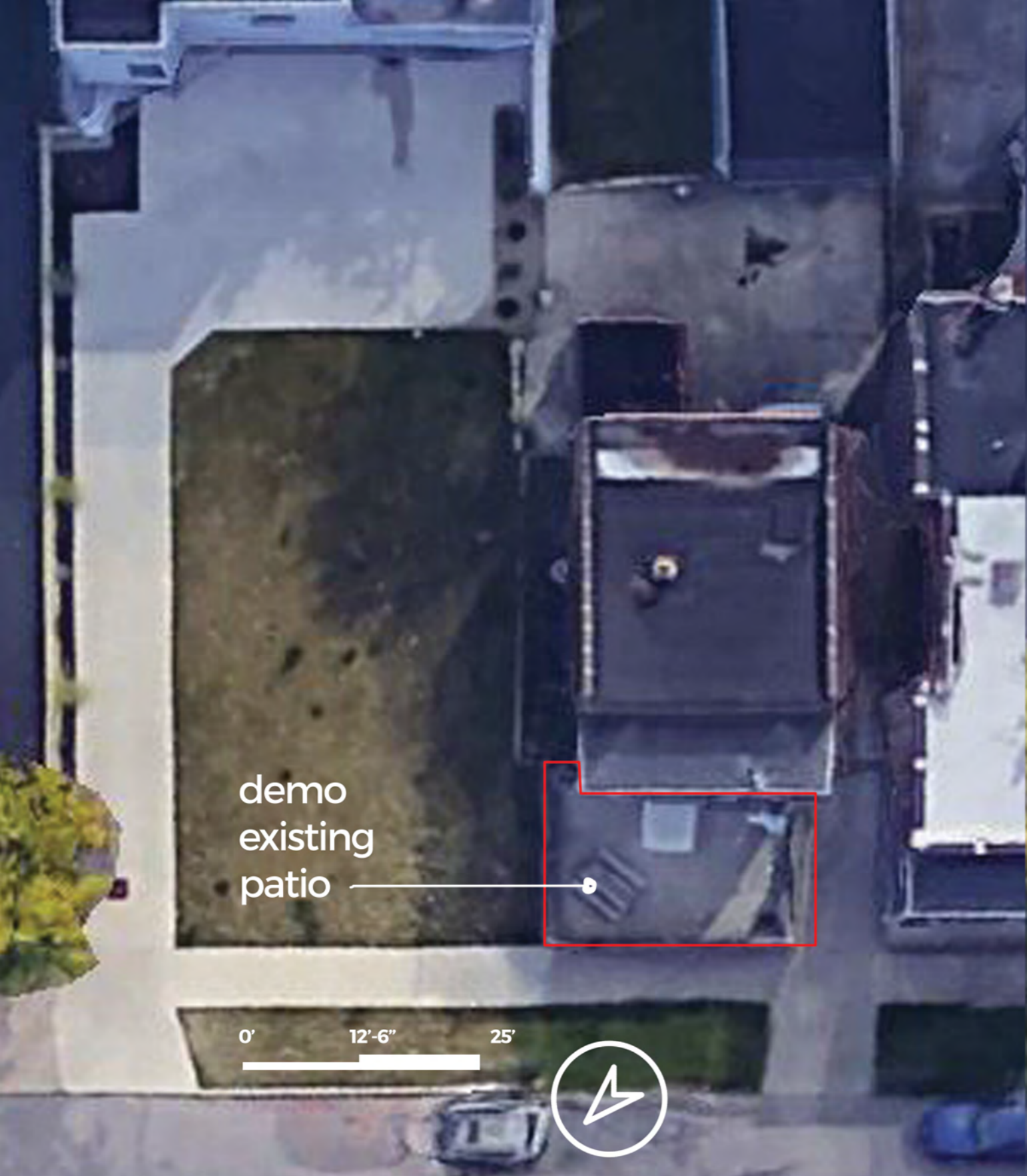


2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - CONTEXT



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - EXISTING CONDITIONS

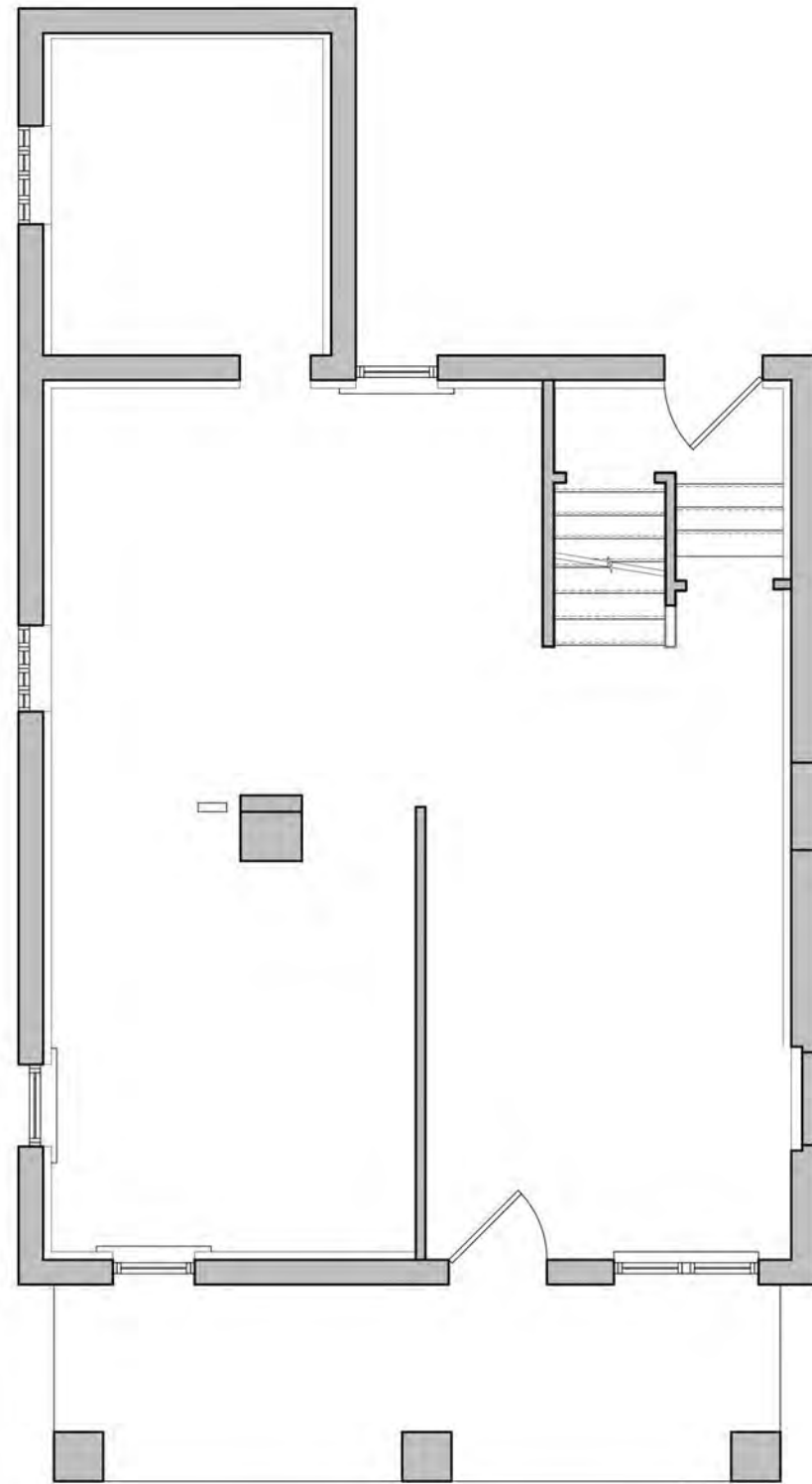




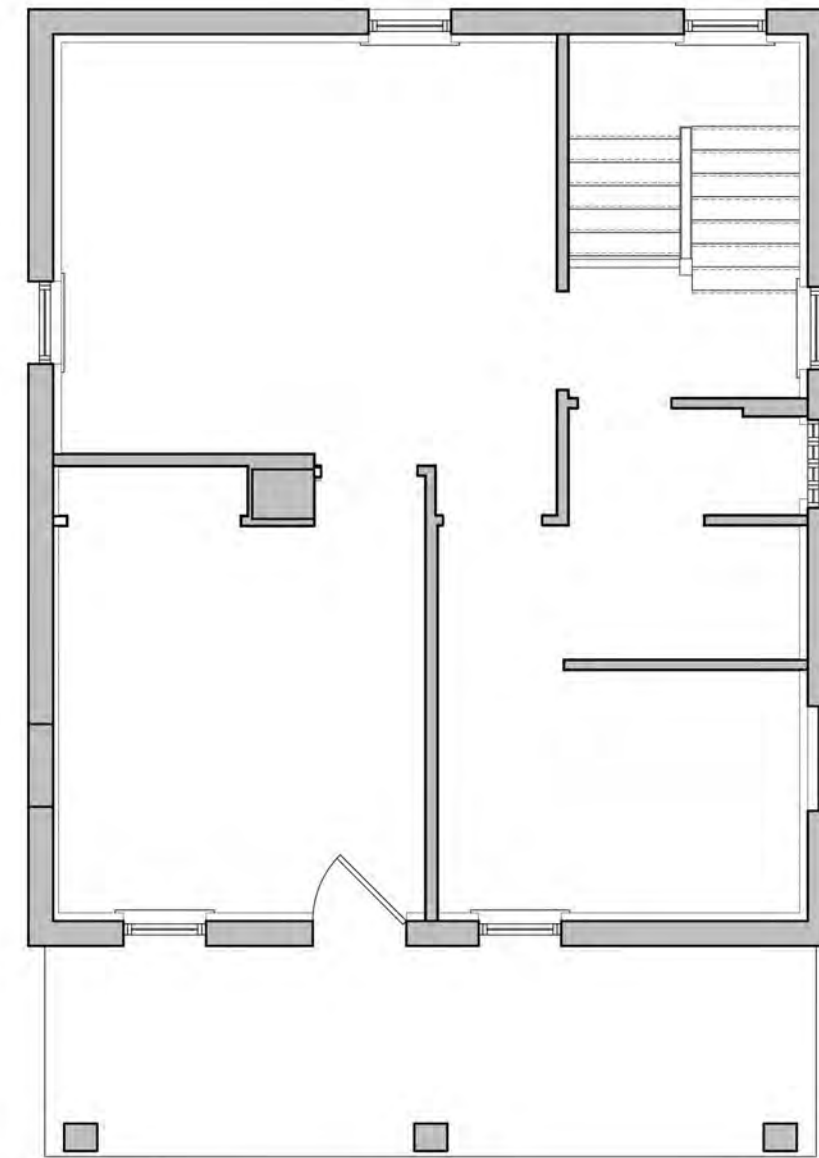
existing



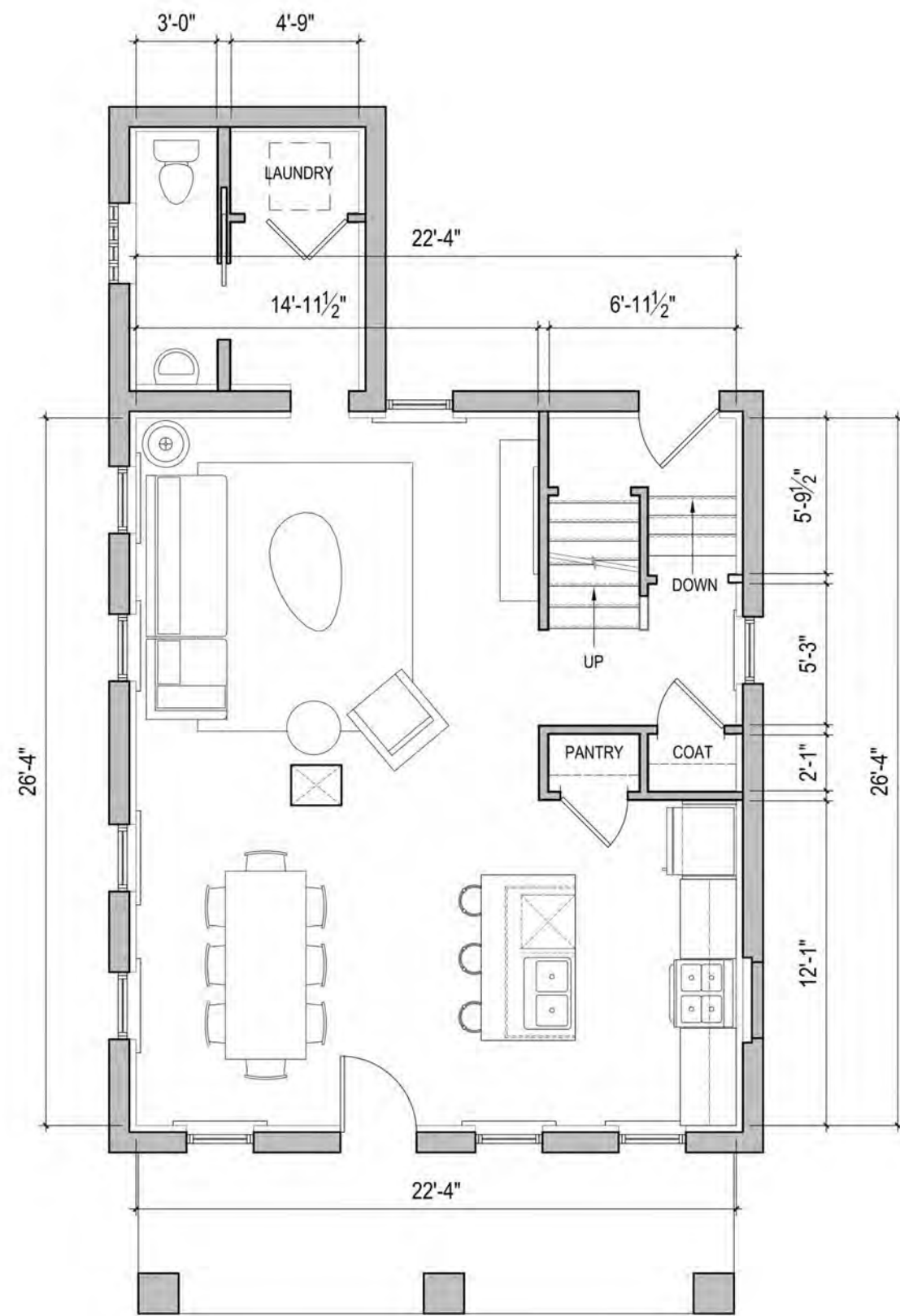
proposed



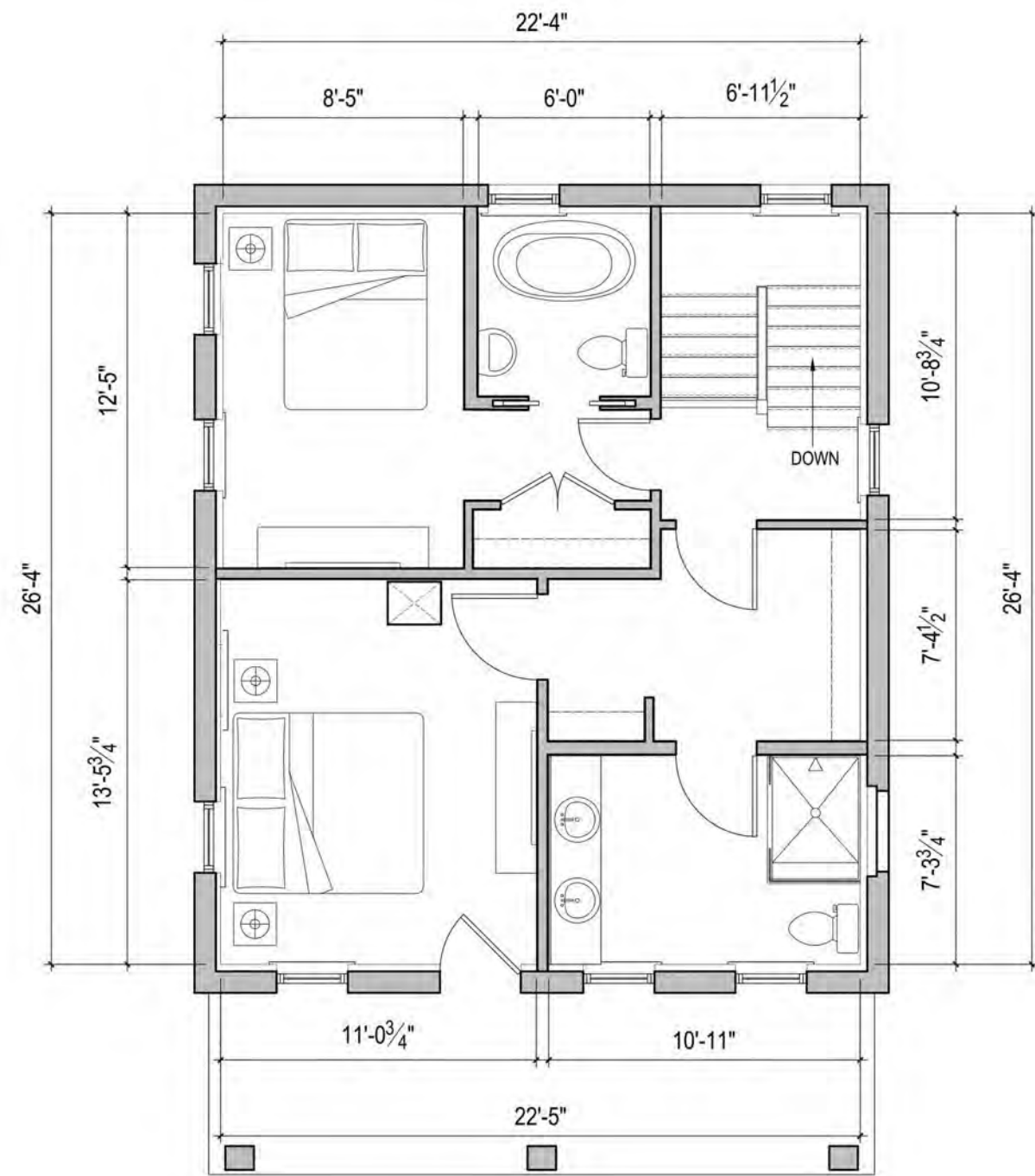
FIRST FLOOR



SECOND FLOOR



FIRST FLOOR



SECOND FLOOR

TOP OF PARAPET +/- 31'-6"

SECOND FLOOR +/- 16'-6"

FIRST FLOOR +/- 6'-0"

RETAINING WALL +/- 2'-6"

SIDEWALK 0'-0"



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES





2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



2087 FAIRVIEW AVENUE - LITTLE ITALY, CLEVELAND, OHIO - PERSPECTIVES



ASPHALT SHINGLE  
DURATION DESIGNER SERIES  
COLOR - BLACK SABLE



DOOR  
THERMA-TRU  
CLASSIC CRAFT  
FOUNDERS COLLECTION  
MATERIAL - FIBERGLASS  
COLOR - WHITE

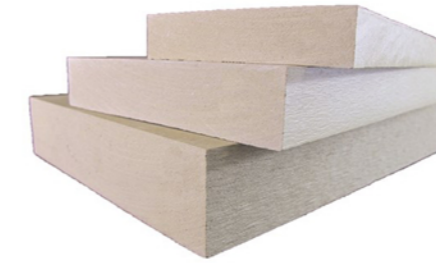
Double-Hung Interior



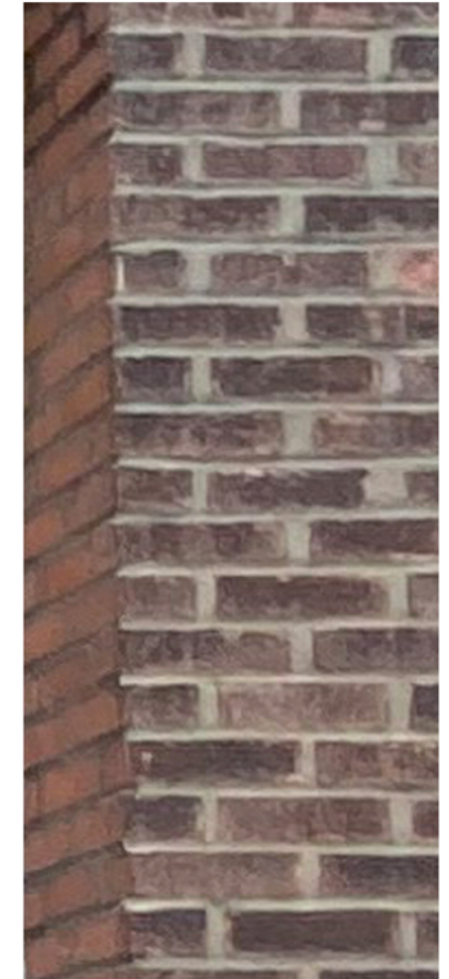
Double-Hung Exterior



DOUBLE HUNG WINDOWS  
PELLA RESERVE TRADITIONAL  
MATERIAL - ALUMINUM CLAD WOOD  
COLOR - WHITE



TRIM  
BORAL  
MATERIAL - FLY ASH  
COLOR - WHITE



MASONRY  
MATERIAL - BRICK  
COLOR - TO MATCH



# Cleveland Landmarks Commission

## Concept Plan

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October 28, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland Landmarks Commission

## National Register of Historic Places Nomination

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October 28, 2021

# National Register of Historic Places Nomination

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October 28, 2021



## **Euclid Avenue Christian Church / East Mount Zion Baptist Church**

Ohio Historic Site Preservation Advisory Board 12/3/21

**9990 Euclid Avenue**

Ward 6: Griffin

Project Representative: Margaret Lann, Cleveland Restoration Society, Nomination Preparer



East Mount Zion  
Baptist Church

A. CHARLES

Sunday Stop Only

Cleveland Clinic  
Cleveland, Ohio



East Mount  
Zion Baptist  
Church

















SEC

NO PARKING  
FIRE DEPARTMENT  
EXEMPT

NO PARKING  
EXEMPT

NO PARKING  
EXEMPT

OHIO  
HXW 3709  
CUYAHOGA

CAMRY

















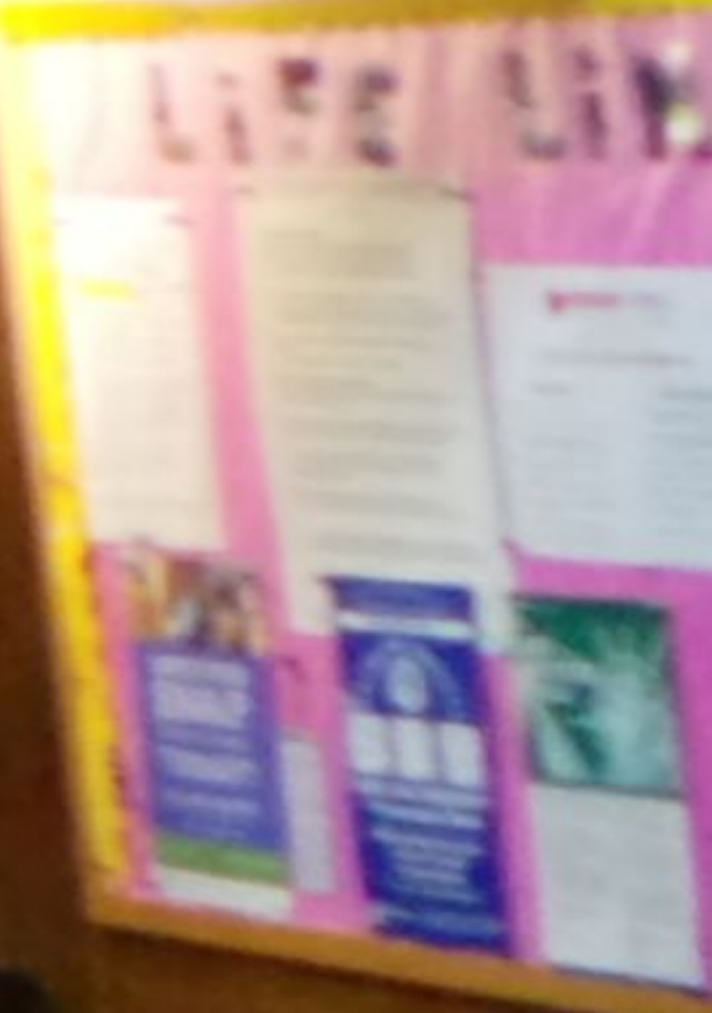




EXIT



EXIT



















TO THE GLORY OF GOD WHO  
GAVE AND WHO HATH TAKEN AWAY  
AND IN LOVING MEMORY OF  
WORTHY STEVENS STREATOR

1816 ← → 1902

HIS LIFE WAS FULL OF THE  
NOBILITY OF LOVING AND GIVING  
AND RICHLY ENDOWED WITH  
POWER FROM GOD TO COMFORT  
THE SORROWING AND IMPARTIC  
STRENGTH TO THE NEEDY

Euclid Avenue Christian Church  
Name of Property

Cuyahoga, Ohio  
County and State



**Figure 2.** Euclid Avenue Christian Church and East 100<sup>th</sup> St., circa 1900-1929. From Postcards of Cleveland via Cleveland State University. Michael Schwartz Library. Special Collections.



**Figure 3.** Euclid Avenue Christian Church, looking east down Euclid Avenue, 1923. From Cleveland Picture Collection, via Cleveland Public Library Digital Gallery.

Euclid Avenue Christian Church  
Name of Property

Cuyahoga, Ohio  
County and State

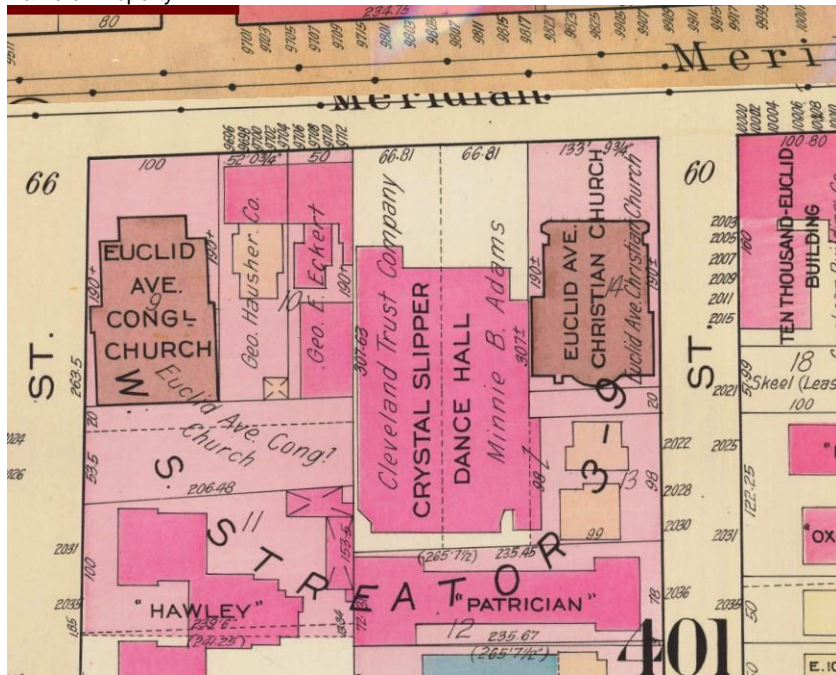


Figure 4. 1927-1937 Hopkins Plat Book map of Cleveland. Euclid Avenue Christian Church is labeled at the northeast corner of Euclid Avenue and E. 100<sup>th</sup> (formerly Streater Ave.) From Cleveland Historic Maps, via ESRI.

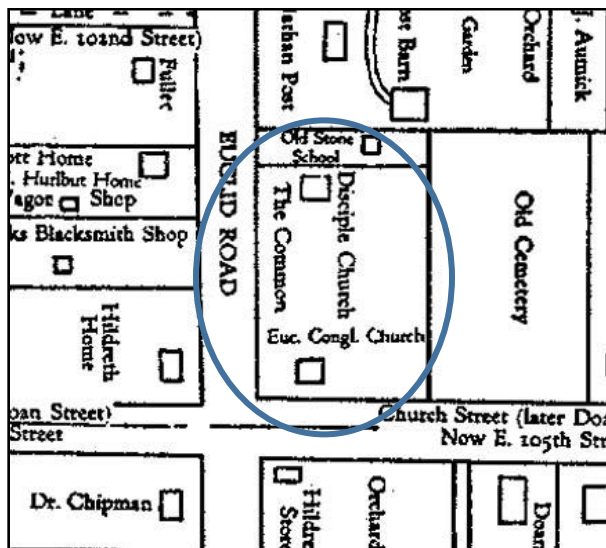


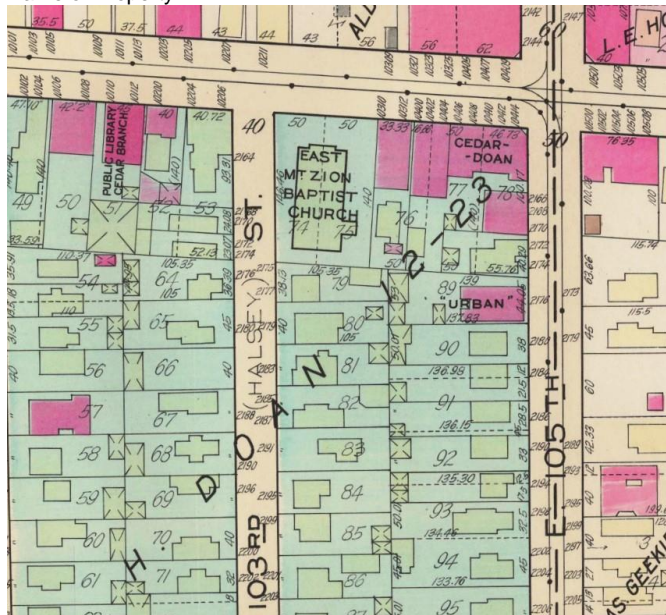
Figure 5. (Continued next page) Doans Corners Map, circa 1957. Drawn by Charles Asa Post. The site of the Euclid Avenue Christian Church is circled in blue. From Barrow, William C. "The Euclid Heights Allotment: A Palimpsest of the Nineteenth Century Search for Real Estate Value In Cleveland's East End" via ClevelandMemory.org

Euclid Avenue Christian Church

Name of Property

Cuyahoga, Ohio

County and State



**Figure 10.** 1927-1937 Hopkins Plat Book map of Cleveland. East Mount Zion Church is labeled at the corner of Cedar Avenue and E 103<sup>rd</sup> St. From Cleveland Historic Maps, via ESRI.



**Figure 11.** Rev. Ernest Hall of East Mount Zion performs marriage ceremony between Jesse Owens and Minnie Ruth Solomon. From Cleveland Press Collection via Cleveland State University. Michael Schwartz Library. Special Collections.



# Cleveland Landmarks Commission

## Section 106 Environmental Review

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October 28, 2021

October 28, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland Landmarks Commission

## Meeting Minute Approvals

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October 28, 2021

# Meeting Minutes Approval

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October 28, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland Landmarks Commission

## Administrative Reports

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October 28, 2021

# Cleveland Landmarks Commission

## Adjournment

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October 28, 2021

# Cleveland Landmarks Commission

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October 28, 2021