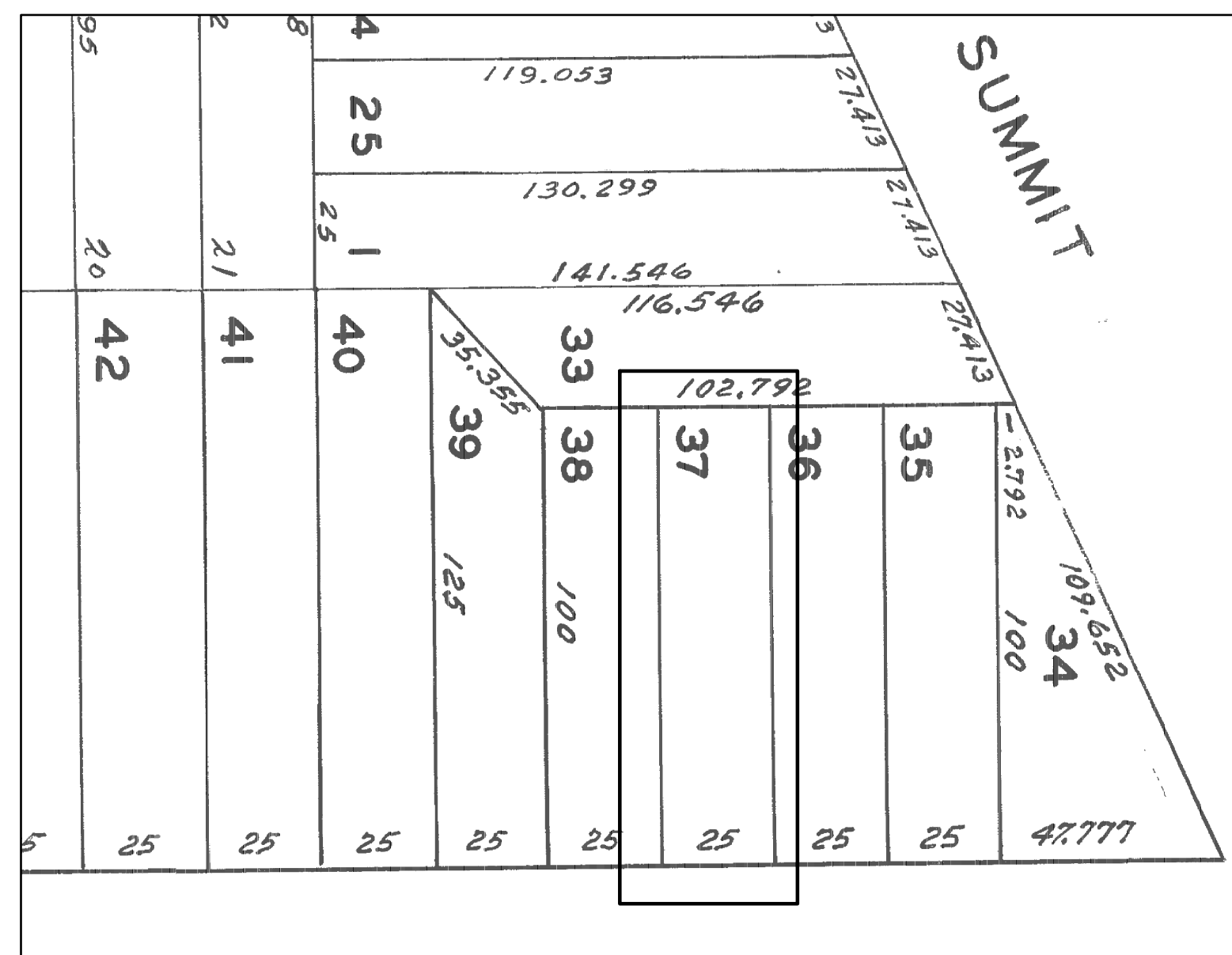


RESIDENTIAL REAR LANDSCAPE IMPROVEMENT

MY-LINH TRINH
8 MINERVA STREET
SAN FRANCISCO, CA

PARCEL MAP



VICINITY MAP



GENERAL NOTES

All work shall comply with applicable codes and trade standards which govern each phase of work, including, but not limited to: 2016 California Building Code, 2016 California Residential Code (CRC), 2016 California Plumbing Code (CPC), 2016 California Mechanical Code (CMC), 2016 California Electrical Code (CEC), 2016 California Code of Regulations Title 24, 2016 California Fire Code (CFC), 2016 California Green Building Standards Code, and 2016 HAYWARD Municipal Code.

The contractor shall carefully inspect all excavation work for compliance to requirements of the prevailing building code. Should any conditions appear questionable due to excessive dampness, granular composition, sluffing, softness or other defect, the contractor shall contact the engineer or designer.

All information pertaining to the site shall be, and shall remain, the owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, position of existing improvements, soils report and all related data. These documents have been prepared on the information available to the designer.

It is the responsibility of the contractor and all subcontractors to check and verify all dimensions and conditions indicated on these drawings and make known any discrepancies prior to commencing their work.

These drawings are intended for use in a negotiated construction contract and, therefore, may not specifically detail or specify materials and/or manufacturers. The contractor shall provide all samples and/or cuts as required to assist owner or his agent in making material selections.

No guarantee for quality of construction is implied or intended by the architectural documents and the contractor shall assume full responsibility for any or all construction deficiencies.

The developer and/or general contractor shall hold harmless, indemnify and defend the designer from any action initiated by the initial owner or any subsequent owners for construction deficiencies, modifications or such conditions which may be beyond the control of the designer.

All dimensions shown take precedence over scaled dimensions.

Contractor shall coordinate with owner prior to ordering any fixtures, equipment, cabinetry, etc. for owner's approval.

Sheet metal contractor shall provide owner with heating duct & register location prior to installation for owner's approval.

All dimensions to face of stud unless otherwise noted.

Electrical contractor to verify with owner type and locations of all electrical fixtures, outlets, switches and subpanels prior to installation.

Plumbing contractor to verify with owner type and locations of all plumbing fixtures, faucets, etc. prior to installation.

Address number shall be illuminated with contrasting background and a minimum 1/2" stroke by 4" minimum height per CBC501.2 and DCMC 15.08.080.

TEST & INSPECTIONS

PROVIDE TESTS AND INSPECTION FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE 2016 EDITION.

THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND INSPECTIONS

THE FOLLOWING ITEMS AND ALL OTHER ITEMS AS REQUIRED BY TITLE 24 SHALL BE INSPECTED AND/OR TESTED BY THE LAB. (SEE ALSO TEST AND INSPECTION LIST)

- REBARS, ANCHOR BOLTS, SOIL COMPACTION.
- INSTALLATION OF ALL EMBEDDED ANCHORS AND EPOXY DOWELS.
- INSPECTION OF WOOD SEISMIC SYSTEM: NAILING OF ROOF, FLOOR AND WALL SHEATHING; INSTALLATION OF FRAMING HARDWARE AND HOLD DOWN.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER/PROJECT OR SPECIAL INSPECTOR A MINIMUM OF 48 HOURS PRIOR TO TIME OF INSPECTION

RETAIN AND SUBMIT COMPLETE RECORD OF ALL TESTING AND INSPECTION OF WORK.

INDEX TO DRAWINGS

- A1.0 COVER SHEET; SITE PLAN; GENERAL NOTES; DATA
- A2.0 PROPOSED SITE PLAN, & DETAILS

ABBREVIATIONS

F.S.B.	FRONT SETBACK	Ø & ∅	DIAMETER AND AT
S.S.B.	SIDE SETBACK	ARCH. BLDG. BLKG.	ARCHITECTURAL BLOCKING
R.S.B.	REAR SETBACK	C.L.	CLEAR CENTER
TYP.	TYPICAL	CLR. CTR. DWG. (E)	EXISTING
T.O.M.	TOP OF WINDOW	EA.	EACH
T.B.D.	TO BE DETERMINED	ELEV. ELECT.	ELEVATION ELECTRICAL
S.C.	SOLID CORE	HORIZ.	HORIZONTAL
F.A.U.	FORCE AIR UNIT	HT. M.B.	HEIGHT MACHINE BOLTS
A.C.	AIR CONDITIONING	MAX. MECH. MFR.	MAXIMUM MECHANICAL MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MIN. MISC. N.I.C.	MINIMUM MISCELLANEOUS NOT IN CONTRACT
F.S.	FINISHED SLAB	NTS.	NOT TO SCALE
F.G.	FINISHED GRADE	O.C. OPNG.	ON CENTER OPENING
F.F.	FINISH FLOOR	OPP. REQ'D. SECT.	OPPOSITE REQUIRED SECTION
F.P.	FIREPLACE	SIM. SPEC. STAGG. STRUCT.	SIMILAR SPECIFICATION STAGGERED STRUCTURAL
G.	GUEST	SYM. TYP. VERT.	SYMMETRICAL TYPICAL VERTICAL
T.O.	TOP OF	W/O WT.	WITHOUT WEIGHT
U.O.N.	UNLESS OTHERWISE NOTED		

FASTENERS SCHEDULE

CONNECTION	NAILING
1. JOIST OR RAFTERS TO SIDES OF STUDS	
8-INCH JOIST OR LESS	3-16d
FOR EACH ADDITIONAL 4 INCHES IN DEPTH OF JOIST	1-16d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
a. BLOCKING BETWEEN JOISTS OR RAFTERS- TO JOIST OR RAFTERS-TOENAILS EACH SIDE, EACH END	2-10d
b. BLOCKING BETWEEN STUDS, EACH END	2-10d TOENAILS OR 2-16d
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16d AT 16" OC
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3-16d PER 16"
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d AT 24" OC
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d AT 16" OC
DOUBLED TOP PLATES, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 6" OC
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d AT 16" OC ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. JOIST OR RAFTERS AT ALL BEARINGS-TOENAILS, EACH SIDE	2-10d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" x 8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" x 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	16d AT 24" OC
24. BUILT-UP GIRDER AND BEAMS	20d AT 32" OC AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	2-16d AT EACH BEARING

PLANNING & BUILDING DATA

A.P.N.: 1061/031
ZONE: RH-1 ATTACHED ONE-FAMILY
BUILT: 1995
LOT AREA: 2500 SF (25'x100')

OCCUPANCY CODE: RH-1
TYPE OF CONSTRUCTION: V-B

SCOPE OF WORK

RESIDENTIAL MINOR REAR LANDSCAPE IMPROVEMENT AT OPEN REAR YARD AREA, INCLUDES EXCAVATION OF HARD SOILS/ROCK, FILL AREA WITH 3-4" BASE GRAVEL, AND BUILD NEW CONCRETE RETAINING WALL AROUND PERIMETER AS SHOWN (NOT GREATER 4'-0" HIGH).

OWNER

MY-LINH TRINH
8 MINERVA STREET
SAN FRANCISCO, CA 94112
PHONE: (415) 866 - 4236

DESIGNER

LD ENGINEERS
211 TENTH STREET, SUITE 268
OAKLAND, CA 94607
CONTACT: BRANDON LE
PHONE: (510) 786 - 7726

PICTURE - FRONT OF PROPERTY



PICTURE - REAR OF PROPERTY

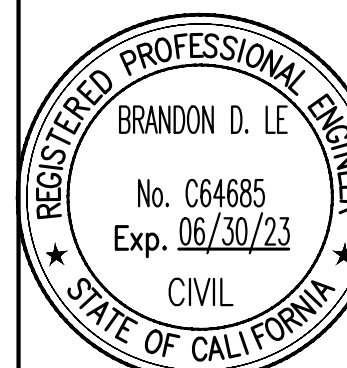


PROJECT LOCATION
8 MINERVA STREET
REAR YARD VIEW

REAR LANDSCAPE
IMPROVEMENT AREA,
SEE SITE PLAN

REVISIONS	BY
FIELD REVISION	1

LD ENGINEERS
211 TENTH STREET, SUITE 268
OAKLAND, CA 94607
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Info@LDengineers.com

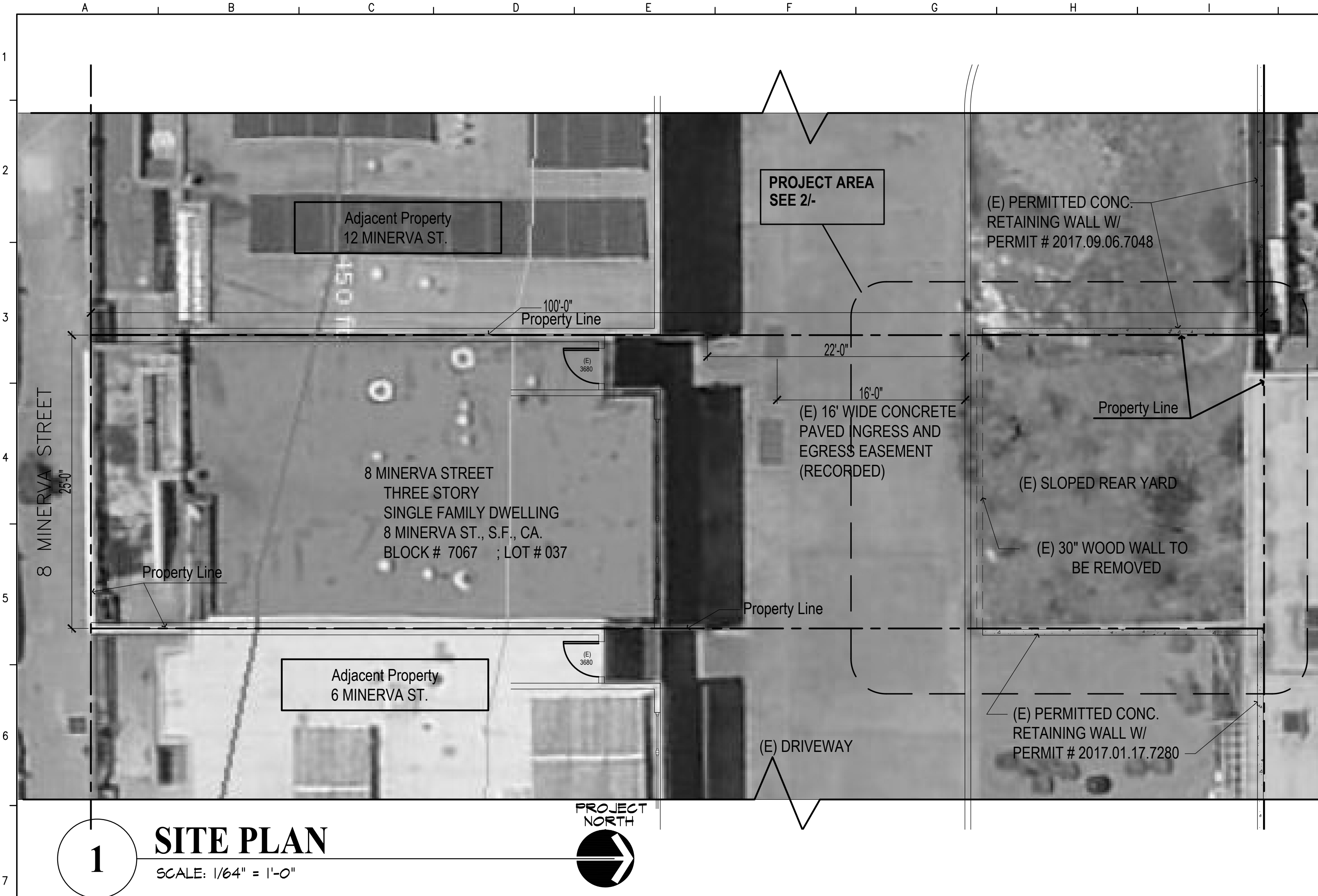


PROPOSED REAR LANDSCAPE IMPROVEMENT
MY-LINH TRINH
8 MINERVA STREET
SAN FRANCISCO, CALIFORNIA 94112

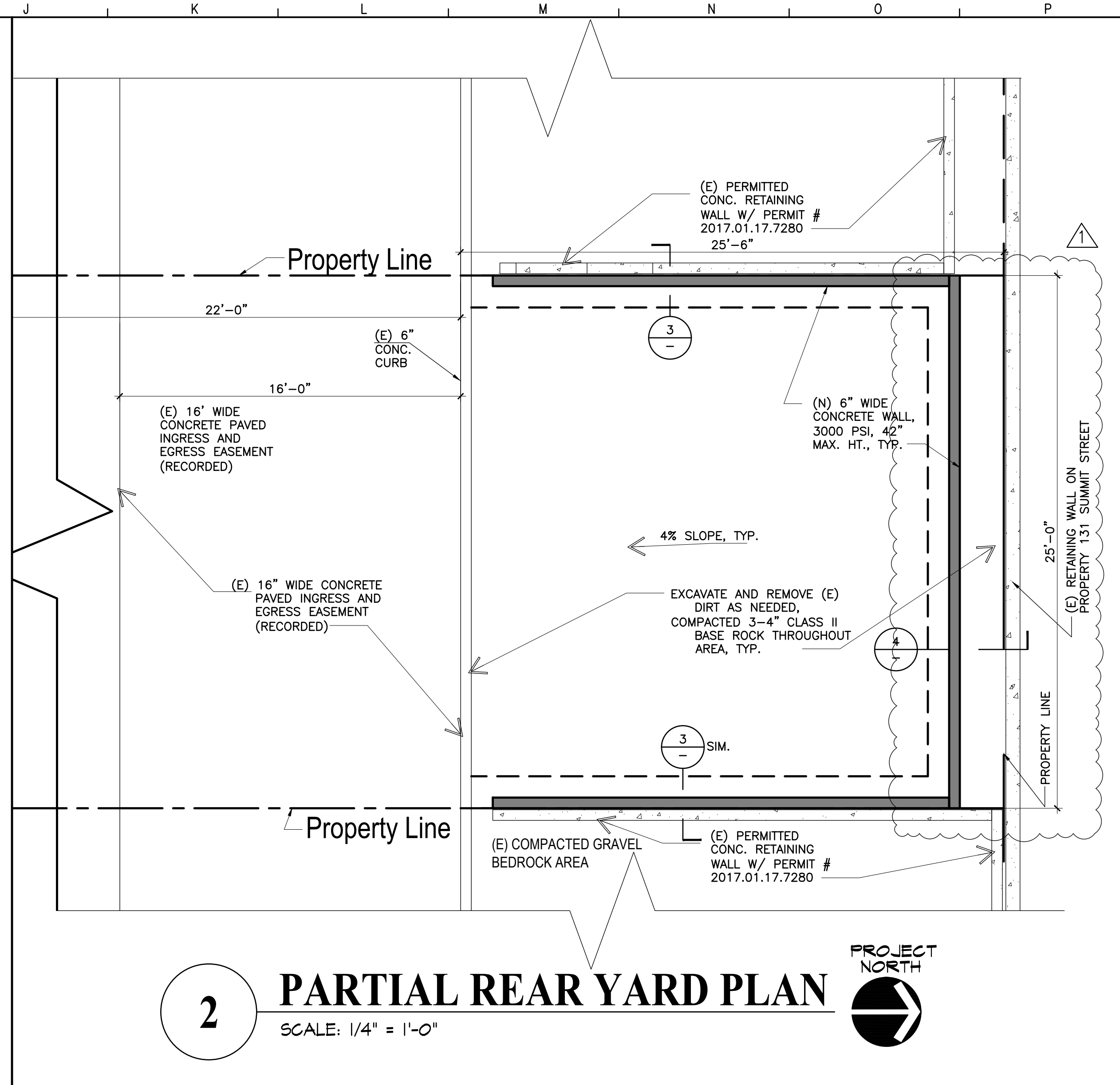
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COVER SHEET
SITE PLAN

Date: 05.01.21
Scale: AS NOTED
Designed: BL
Drawn: BL
Job No.: 18.32.11

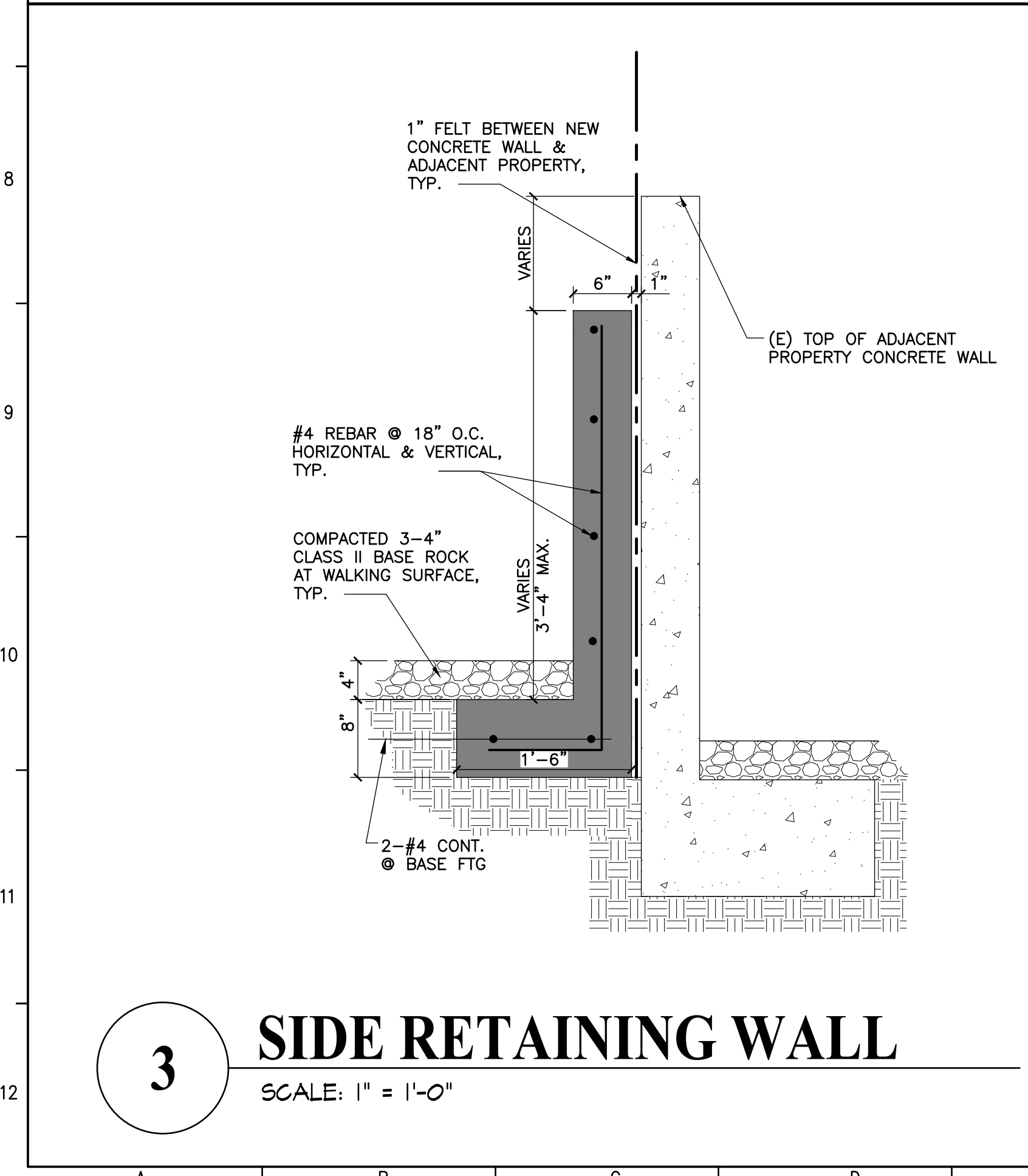
Sheet No.
A1
Of Sheets



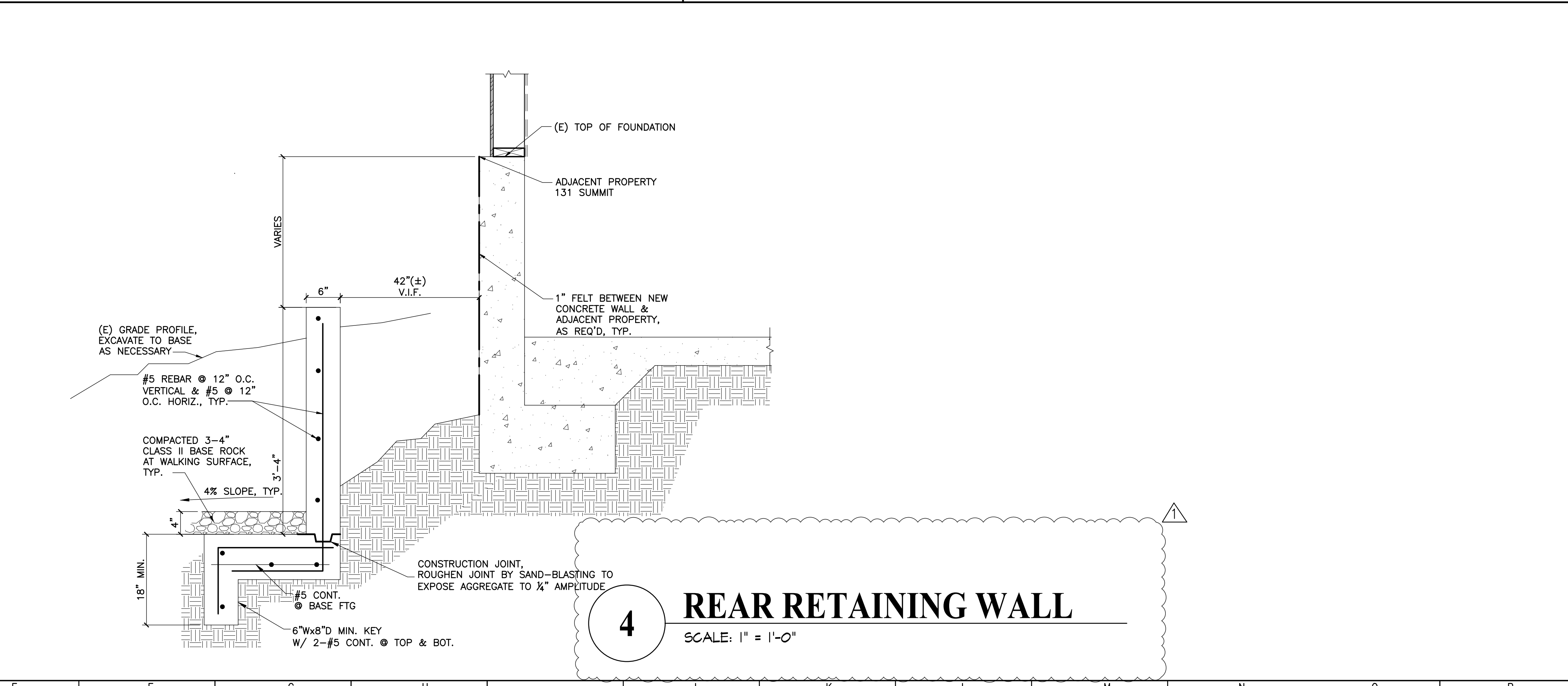
1 SITE PLAN
SCALE: 1/64" = 1'-0"



2 PARTIAL REAR YARD PLAN
SCALE: 1/4" = 1'-0"



3 SIDE RETAINING WALL
SCALE: 1" = 1'-0"



4 REAR RETAINING WALL
SCALE: 1" = 1'-0"

REVISIONS	BY
FIELD REVISION	▲

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REGISTERED PROFESSIONAL ENGINEER
BRANDON D. LE
No. C64685
Exp. 06/30/23
CIVIL
STATE OF CALIFORNIA

PROPOSED REAR LANDSCAPE IMPROVEMENT
MY-LINH TRINH
8 MINERVA STREET
SAN FRANCISCO, CALIFORNIA 94112

Sheet Title
SITE PLAN,
PARTIAL PLAN,
SECTIONS &
DETAILS

Date: 05.07.21
Scale: AS NOTED
Designed: BL
Drawn: BL
Job No.: 1832.11
Sheet No.

A2
Of Sheets