

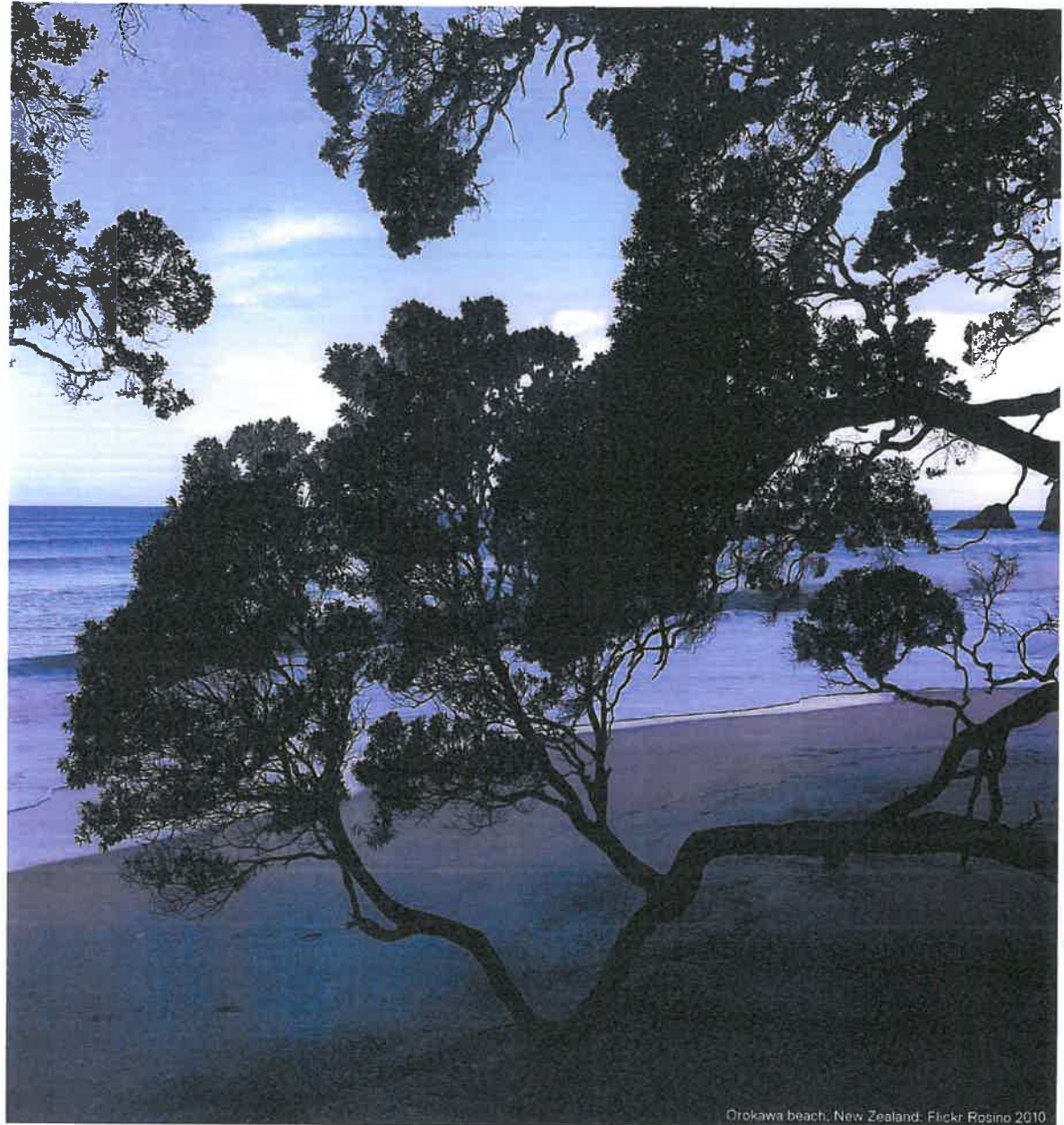
# ARCHITECTURAL DESIGN STATEMENT

## 02 THE BRIEF

### 02.1 THE BRIEF

The design brief for the New Zealand International Convention Centre has been agreed with the New Zealand Government and includes both aspirational goals for the quality of the architectural and urban design of the centre as well as clearly defined requirements for its size and operational flexibility. The NZICC's most significant components include a 3,000 seat Plenary Theatre for Plenary session presentations to delegates, as well as an area of 8,600SQM for serving exhibitions. In addition to these areas are 3,000SQM of meeting rooms, associated pre-function public spaces, back of house spaces (BOH) and car-parking. A pedestrian air-bridge connecting the new convention centre to the existing convention centre is also a requirement of the brief to enable several large events to be held concurrently, as is coach drop-off and pick-up adjacent to the main entry.

In addition to the development of the NZICC, the intention is to develop a connected 300 room, 5 star hotel located adjacent to the entry plaza and main entry of the NZICC which will support and be integrated with the centre. This - along with a publicly-accessible lane running mid-block between Hobson and Nelson Streets - provides the valuable opportunity to achieve a cohesive multi-faceted development providing public spaces, event spaces, parking, food and beverage offerings, and accommodation within the same city block for delegates and other visitors to Auckland. Office accommodation supporting the NZICC management, administration and marketing teams will also be located within the development. It is intended that this integration within the site and with the surrounding Victoria Quarter will create synergies that enable the NZICC to create a competitive and distinctive offering to the New Zealand and Asia-Pacific convention and events market.



Orokawa beach, New Zealand. Flickr Rosino 2010

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

There are several key areas of the brief that are critical to meet in providing for the needs of the centre. For the project to be an enduring success these critical drivers need to be met in balance with the relationship of the project to its immediate site and the needs of the surrounding city. The scale and purpose of the project, the relatively constrained site, and its city centre location result in this being both an urban design and operational challenge.

The following sections outline the masterplanning response to achieving this balanced relationship, and to ensuring that the project and the city relate to and support one another.

### 03.1 A NEW TYPOLOGY - AN URBAN CONVENTION CENTRE

An International Convention Centre is a highly active large-scale project with significant people and vehicle movements occurring on a 24/7 basis. Early in the process the team identified that this central urban site demanded an open, permeable condition on all four sides in order to humanise what is often found internationally to be a dominant and blank building typology (the box-with-docks approach). A design strategy was agreed that would ensure that the centre would contain the impact of the vehicle loading demands away from the street edges, preserving all edges for pedestrian amenity and visibility into the centre. This has been achieved.

The design team identified that it was the vertical arrangement of the major spaces in relation to the surrounding city that would define the quality of the visitors' experience. Many options were considered in particular either the Plenary Theatre

or the Exhibition Halls being located at Hobson Street level (see early masterplanning diagram at right). The benefits of seeing into the activity and changeability of the exhibition spaces at street level as well as the ease of access to and exit from these major spaces at grade were both desirable. In addition to this the excitement of the major theatre and banquet spaces being located at high level and being able to see out across the city from these spaces also drove the final arrangement.

The characteristics that will give the NZICC a future competitive edge in the meetings/convention market are precisely those which will enhance its value as a community asset. The distribution of entrances and pre-function areas of the building and the openness of its signature spaces will create activity all around the building, animating the public spaces around it and making the building feel approachable. The spaces in the building will be the most sought-after venues in the city. These spaces have been designed in such a way as to allow fast and effortless conversion from meeting and exhibition functions to banquet and performance use, ensuring that they will be available for local events as well as for exhibitions and association meetings.

The constant presence of events open to the city both day and night will enhance the vibrancy of this precinct.

### EXPRESSION OF FUNCTIONALITY

This approach then led to a further goal which was to create an architecture that legibly expressed this vertical order and sequence in the way that the functions of the centre were arranged and expressed externally, and the way in which the spaces would be experienced by the delegates and occupants internally. The exhibition halls are fully glazed, there is then a deep recess to the truss zone where the majority of plant is located, and then above this the plenary theatre form is expressed as a floating highly transparent container. Within this form the plenary theatre and its surrounding meeting rooms and service spaces - curved in plan - is expressed using strong colour. This central use then finds form in the geometry of the roof, and the illumination of this form at high level at its southern and most visible end.

### CONCURRENT EVENTS

A further design strategy has been to ensure that the access solutions and operational design of the centre has the flexibility to provide for multiple concurrent events. This is a fundamental requirement of the project brief and informed the master-planning process. What this means for Auckland is a facility that is active more often, for longer periods and for a much wider cross section of the community. This has led for example to the need for the subdivision of the main exhibition hall into three separate halls, each served by their own entry (Hobson, Wellesley and Nelson). The distribution of lift cores and meeting rooms

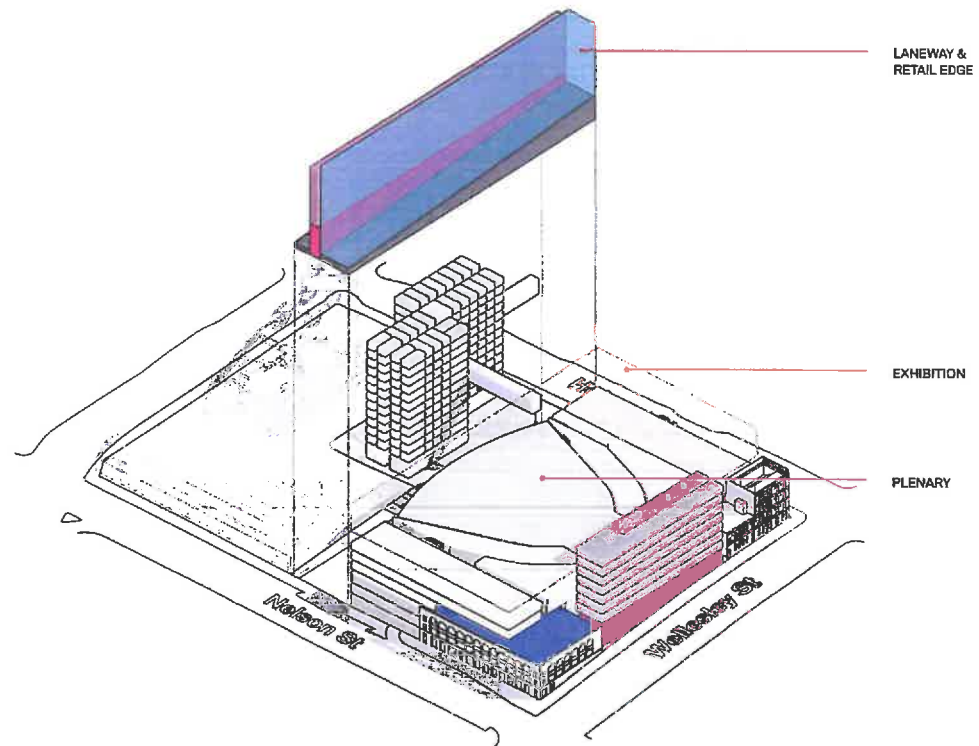
throughout the centre also responds to this need for operational flexibility.

The existing SKYCITY Convention Centre will at times support the NZICC to serve the level of flexibility and concurrency that some simultaneous event scenarios will need. The air bridge across Hobson Street is therefore a fundamental functional requirement to support this as it provides fast, integrated, and sheltered pedestrian access between the two centres at the correct level (the meeting room level of the NZICC or Level 4).

This is in addition to the wider public benefit of the new airbridge resulting from the way it extends the existing through-site connection from Albert Street

including the current airbridge across Federal Street.

Beyond these spatial and operational masterplanning strategies, has been the goal of creating an authentic and memorable customer experience for those using the facility that embodies what it means to both *be here* in Auckland and in New Zealand as a visitor, and to *be from here*. The opportunity of creating a powerful contemporary expression of Auckland and New Zealand's identity has been at the forefront of our design thinking.



EARLY MASTERPLANNING DIAGRAM

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

### 03.2 ARRIVAL - MULTIPLE ENTRIES

Creating a strong and legible sense of arrival is essential in the design of any large scale civic or public building.

For visitors to the NZICC, arrival to the city and the centre will occur either by car down Nelson Street, by lift up from the car park below or on foot from many different directions, depending on the location of their accommodation, transport mode or alternative car parking. International and local visitors will also arrive from the Aotea station of the City Rail Link (CRL) or the hotel rooms of several adjacent hotels via either street level or across the air bridge. The requirement for serving concurrent events within the centre of different scales and types provides an opportunity to humanise the street edge of the centre through the creation of multiple entries.

Whilst multiple entry points are desirable the location of the main exhibition hall at the same level of Hobson Street, combined with the desire to connect with Victoria Street, means that the main entry is logically located on Hobson Street at the northern end of the site. An arrival and entry plaza is located in this location. As the masterplan has developed this plaza has become a pivot point in plan between a mid-block crossing over Hobson Street, the footpath, coach and taxi drop-off zones designed for the western side of Hobson Street, the main entry to the NZICC, and the entry to the hotel. At this point the plaza also serves as a key collection point into the head of the laneway. The plaza similarly plays a role in connecting the vertical movement (via shuttle lifts that front on to the plaza) between the car park below grade, and the air-bridge above across Hobson Street to the eastern side of Hobson Street. These connections in turn provide wider connectivity and integration with current and future planned transport and streetscape projects such as the CRL, the role Wellesley Street West will play for buses, and the greening of Victoria Street.

Two secondary entries are masterplanned in addition to the entry plaza and two entries at

Hobson Street. A significant entry is located on Nelson Street at the opposite end of the main horizontal and vertical circulation 'spine' running through from Hobson Street. This entry is equally as grand as Hobson Street, and is served by escalators up to the exhibition (Hobson Street) level. Adjacent to this entry is a secondary coach drop off and pedestrian entry within the building, accessed from the shelter and security of the Nelson Street car park level. Finally a third public entry is designed on Wellesley Street West, by way of a large glazed entry pavilion arranged along and down the street edge. This pavilion is placed between the forms of Nelson House and the Albion Hotel, relating to their scale and architectural set-out. The hotel can be entered from Hobson Street and also off of the NZICC plaza

These pedestrian entry points on the three street frontages of the Convention Centre are all clearly legible and provide clarity, choice, and convenience when entering the building and flexibility in its operation. In addition to physical accessibility visual permeability into and out of the centre is achieved by providing glazed elevations to all three street edges. This ensures that the life, colour, and varied activity of the centre's interior becomes part of the life of the city, rather than being invisible to the city within a blank box.

#### LEGEND

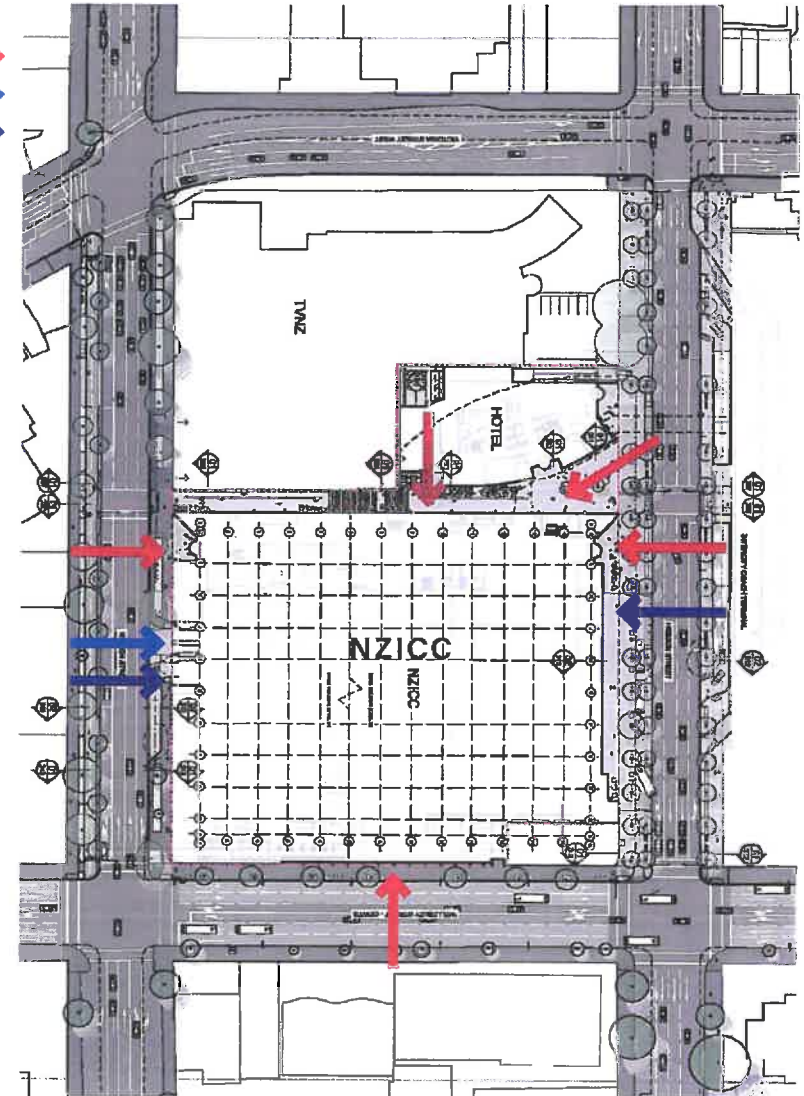
PEDESTRIAN



COACH/TAXI



LOADING



MULTIPLE ENTRY POINTS

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

### 03.3 THE LANEWAY, GALLERY, & THE SPACES THEY SERVE

The typical convention centre model requires a substantial arrival plaza along the “public edge”. In Auckland this was not seen as a good urban response because of the desirability of a built form and active edge to the street boundaries. However there remains a need to have external space for large delegate numbers during peak times.

With the main entries located and an arrival plaza defined on Hobson Street the opportunity arose to create a pedestrian laneway running east west through the site adjacent to the Television New Zealand (TVNZ) boundary that would support this functional need in a unique manner. This mid-block external laneway is on-axis with the proposed mid-block pedestrian crossing across Hobson Street and provides an invitation into the depth of the site for pedestrians to move across the northern face of the NZICC. With the addition of the hotel into the

scheme this laneway has activity and definition on both sides leading off Hobson Street, before stairs leading down to the Nelson Street level. Moving down toward Nelson Street further activity in the form of food and beverage retail tenancies and office spaces are located adjacent to and accessed off the laneway. The lane is 6 metres wide, open to the sky, and has a variety of cross sectional conditions along its length. Five entry points are created along its length into the plan of the Convention Centre and these tenancies, integrating the laneway with the interior of the convention centre and vice versa (see illustration below). As with other privately-owned publically-accessible lanes in the city centre the laneway will become a part of the Auckland city fabric for residents and visitors alike.

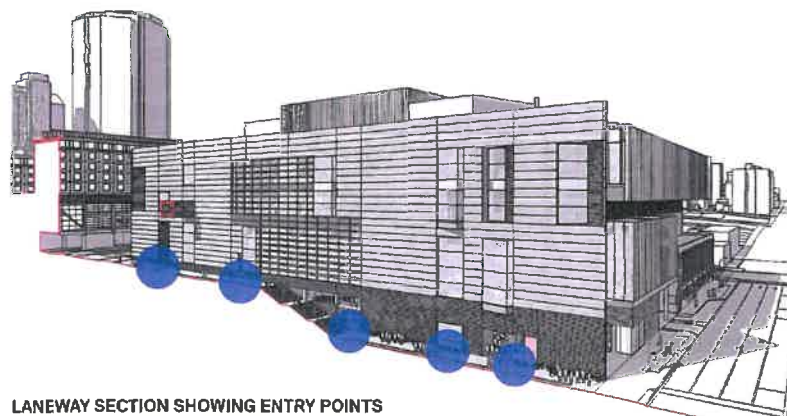
Moving south into the building from the laneway there are three zones of indoor and outdoor, and horizontal and vertical circulation layered beside one another, including the laneway itself, running east-west along the northern face of the main served spaces of the Convention Centre. The laneway provides access, invitation, and a sense of place on arrival. From here visitors move through the ‘circulation spine’, a 7 metre wide occupied zone rising full height through the building. This spine houses entries, meeting rooms, lift banks, escalators, plant rooms, and escape stairs. Although very substantial, its design intent is also to act as

a large screen, admitting and filtering light, and providing a glimpse through of the activity beyond.

Beyond the spine is the circulation gallery, shown below – a dramatic space 7M wide, 110 metres long, and 25 metres high, spanned by a series of bridges that provide access at upper levels from the spine to the meeting rooms and main theatre (the Plenary). The primary functional requirement for this space is way finding. It is highly desirable in these buildings that the visitors can navigate their way around the building with ease. Every

functional space can be seen from the gallery. In addition these spaces are the first impression of the building and the spaces where delegates meet and discuss their experiences. This space has large-scale skylights in its roof admitting light down from above, and it has ‘veils’ to each side that filter light and define views. These three circulation zones aligned east-west each serve differing functions, however it is the way in which they are integrated and will be experienced in sequence moving from outside in, and then out

again that will be important for the success of the centre. The overall design intent is to provide a spatially rich and interesting experience that ranges in its scale and materiality, and where the changing quality of the light throughout the day and the year affects the mood of the space. The spaces will be further enlivened through the integration of art and technology. Again the design intent is to counter the traditional convention centre typology where large-scale concourse spaces often lack character or depth in their urban or architectural quality.



LANEWAY SECTION SHOWING ENTRY POINTS



GALLERY & VEIL

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

### 03.4 NELSON HOUSE

The building known as Nelson House, located on the corner of Nelson and Wellesley Street West, was part of the site amalgamated to accommodate the NZICC. The building has been accorded heritage status (Category 2) by Heritage NZ as well as under the Council's District Plan and the PAUP. These recognise the building as having heritage value. A heritage assessment of the building has been carried out by the specialist Heritage Architect David Pearson. This assessment established that the two street frontages of the building have exceptional heritage value as well as the staff entry and limited other elements such as mushroom heads to columns. The remaining interior of the building is assessed as having limited if any

heritage value, having undergone significant change through its life as a factory, offices, and hotel. The building interior is generally in a poor condition. This is recognised by the heritage listing in the District Plan and PAUP specifically excluding the interior.

Throughout the extensive NZICC masterplanning process - carried out over a period of 6 months - many options were explored for how the major components of the NZICC could be laid out. These included locating the Exhibition Hall at high level, and also at low level. Many factors were considered including achieving a positive urban design outcome in relation to Nelson Street, the opportunities for through-site linkages through the centre of the site, and creating public entries on all four sides of the centre.

It became clear very early in the master-planning

process for the NZICC that the scale of the footprint of Nelson House (50m x 35m), and the scale of both the NZICC's required Exhibition Hall footprint (8,600m<sup>2</sup>) would significantly overlap with Nelson House - see diagram below. It was established through the master planning phase that Nelson House could not be accommodated in its current form while achieving these two core requirements of the brief.

Options were considered at this point for addressing Nelson House. Options of on the one hand total demolition, or on the other 'exploded demolition' (the wholesale preservation and re-use of parts of the building) were considered. Neither were seen as desirable town-planning or architectural development options because they would involve loss or destruction of significant heritage values that could otherwise be retained, and in some cases, as with the facades, restored.

From the outset the architectural design team has believed in the importance if possible of retaining the heritage fabric of Nelson House that is assessed as having exceptional heritage value. Equally as important as retaining heritage fabric of value has been the requirement to maintain the legibility of the existing three dimensional form of Nelson House - for the presence and scale of the existing building to be preserved and able to be understood by the first-time visitor. This second point is critical in ensuring that the retention and reconstruction of parts of the building achieves an outcome of greater integrity and sophistication than the familiar and unsatisfactory examples of superficial 'façadism'. It has seen significant effort go into ensuring Nelson House can remain to be seen in three dimensions.

In this sense a lead was taken from the successful outcome achieved with the integration of the base of the development of 80 Queen Street and the Jean Batten building. There a building recognised for its heritage values was incorporated into a major commercial redevelopment in a way that maintained its overall identity and protected its heritage significance.

Nelson House occupies a critical corner location, and is also 'book-ended' by the Albion Hotel on the upper end of the Wellesley Street West block - also a listed heritage building. The simple forms of the two heritage buildings with their detailed facades -



### EXHIBITION FOOTPRINT PLAN OVERLAY

each representative of different eras and uses - tell chapters of a story of the history of this part of Auckland. The NZICC continues this story and an integrated composition of forms of similar scale from three different eras has been designed to step up the Wellesley Street West street-frontage. These forms will be activated with public and staff entries (including the re-use of the original staff entry of Nelson House), and in their scale and detail will assist in maintaining a human scale to this important and sensitive street edge.

The project team believes that an outcome that carries the history of the area forward and retains it alongside the new development of the NZICC, is a worthwhile goal.

The team has therefore pursued an outcome in consultation with representatives of the Heritage agencies, that involves demolition of portions of the building with the least heritage significance, and preserves in full the frontages of Nelson House; reconstructing and developing the NZICC up to,

around, and over these frontages in such a way that so far as possible achieves this goal.

On the southern Wellesley Street edge the setbacks at both level 4 and 5 have resulted in the forgoing of developing significant building volume in favour of the new scheme not rising directly behind or above the frontage of Nelson House (see rendered view on facing page). At Level 5 the required area for the 1,000 person banquet space at that level cantilevers to the south out over Nelson House below. This enables Nelson House to maintain its corner presence. On both of these frontages these moves have come at considerable capital construction cost to the NZICC project, and have also required operational compromises to be accepted and designed around.



NELSON HOUSE EXISTING CONDITION



HOBSON STREET PLAZA

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

The proposed design solution considers several key factors that if all addressed together can result in a positive outcome. Firstly, the ability for the original three dimensional form of the building to be clearly legible is achieved through major setbacks of the mass of the new building above Nelson House. On Nelson Street level 4 of the NZICC or the 'Truss Zone' level is set back 6.1m from the street edge, enabling the parapet of Nelson House to be clear of the building behind. This setback is repeated at greater depth on Wellesley Street West, resulting in 'clear air' above the corner of Nelson House on the corner and each side (see sketch at right). In addition to these set-backs, at the uppermost level (L5), the south elevation on Wellesley Street West is set back from the street edge by 5.7m (see sketch at right), further resulting in the form of Nelson House maintaining its own presence above and around the location of the original staff entry. On the western side this significant setback from the street edge has resulted in reductions in the ceiling height in part of the Exhibition Hall, and this has resulted in requiring a negotiation to the design brief within the agreement between SKYCITY and the Crown that enables the project. The Crown has accepted this change on advice as being necessitated by the opportunity and requirement to achieve an acceptable and positive outcome for how Nelson House is approached. On the southern Wellesley Street West edge the setbacks at both level 4 and 5 have resulted in the forging of developing significant building volume in favour of the new scheme not rising directly behind or above

the frontage of Nelson House (see rendered view on facing page). At Level 5 the required area for the 1,000 person banquet space at that level cantilevers to the south out over Nelson House below. This enables Nelson House to maintain its corner presence. On both of these frontages these moves have come at considerable capital construction cost to the NZICC project, and have also required operational compromises to be accepted and designed around.

At each end of the building's facade return walls are re-constructed and these return in by 7m in each location. On Wellesley Street West the wall runs full height up to the parapet, and in this location a frameless clear glass lobby is built to form a transition from the form of Nelson House to the adjacent new form of the Wellesley Street West entry 'Pavillon'. The base of this pavilion steps up Wellesley Street West, taking a lead from Nelson House's architectural set-out. At the northern end the new Nelson St facade of the NZICC stops short of Nelson House and an inset is created to again transition and enable the return end wall to read. This is emphasised at street level where the wall returns in 7m to a height of 6.5m. This masonry wall will be treated to match the new colour scheme of the external facade.

In the interior the need to where possible relate the new floor levels to the existing floor levels have been identified - refer illustration at right. The proposed new Exhibition Hall floor level is located

approximately 300mm lower than the original 2nd floor level. At the facade the depth of the exhibition floor slab is reduced and the structure set-back and arranged to avoid conflict in cross section between the existing window glazing and the new structure. A sleeve of space is created along the length of Nelson St, and within this (double-height) space a potential mezzanine floor is located, set back from the facade. This avoids the conflict between that floor edge and the window set-out. Octagonal Column heads have been identified as having some heritage value, and these will be re-constructed against the facade beneath the Exhibition floor and at roof level where new columns on the inside face of the facade meet the underside of the roof. It is envisaged that these columns will be located at every second bay of the original building.

Once analysis of the paint scrapings has confirmed the original colours a new colour scheme for the building will be developed as indicated in the preliminary colour scheme below. It is intended that both the tonality and colours of this revised colour scheme integrate with the palette of the NZICC and vice-versa, creating a cohesive whole where neither dominates.

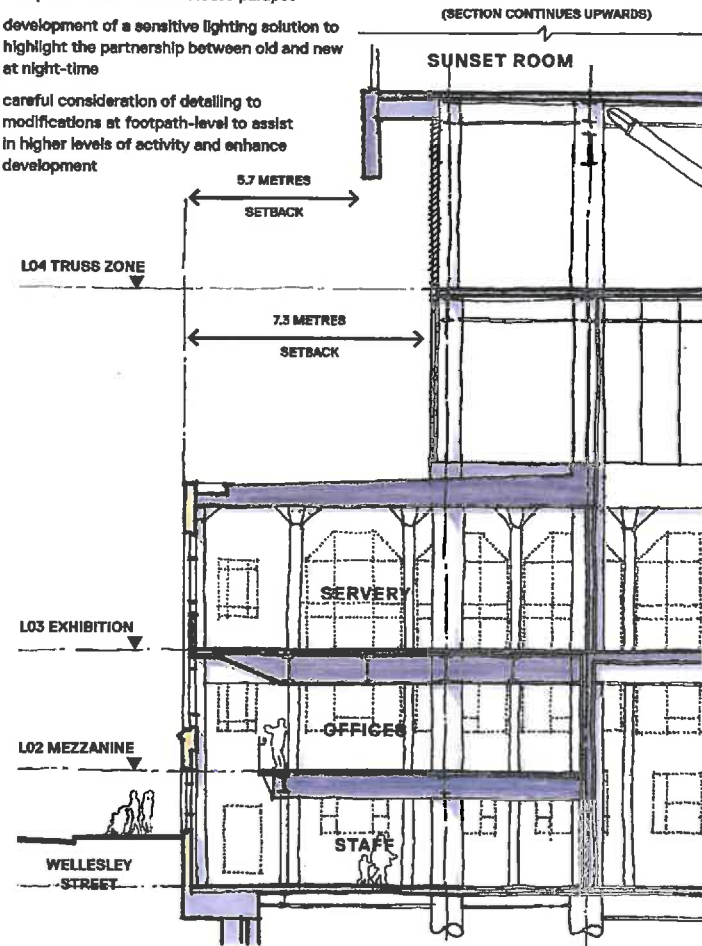
### 03.5 HERITAGE PEER REVIEW

Architect Ian Athfield has been engaged to undertake an independent review of heritage, context, and urban design issues in relation to the NZICC development. This review is provided separately, and is supportive of the overall design approach to the retention and restoration of the Nelson House facade elements. The report records items of detail that will be explored in the next design stage to further strengthen the relationship between the retained and new building - including:

- strength of the return walls to echo original footprint of Nelson House, challenging use of mimicry of original openings in these walls
- detailing & finishes to Nelson House interior walls to reflect original craftsmanship of Lippincott's design
- continuing consideration of the use of spaces directly behind the facades
- differentiation of new and old structure behind

Nelson House, including use of a secondary structural module that corresponds to Nelson House. Innovative structural methods such as suspension of the mezzanine floor to be explored

- use of a single material treatment to the setback wall plane behind Nelson House parapet
- development of a sensitive lighting solution to highlight the partnership between old and new at night-time
- careful consideration of detailing to modifications at footpath-level to assist in higher levels of activity and enhance development



WELLESLEY ST FACADE SECTION



Colour Scheme for Berfel House  
 Base walls and Plaster - Basene Half sandstone  
 Upper walls - Firenze Cloudy  
 Ledges - Basene Tullerone  
 Steel entry - Firenze coloro Grey

PRELIMINARY NEW NELSON HOUSE COLOUR SCHEME

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

### 3.6 HOBSON STREET HOTEL

During the masterplanning phase, two key areas were explored for future development opportunities on the site: a narrow southern sleeve fronting Wellesley Street, and the north eastern corner of the site adjacent TVNZ and fronting 85-91 Hobson Street.

After consideration of access, outlook, integration with the NZICC, and other site specific outcomes from this work, the Hobson Street option was selected as the preferred location to develop a future development opportunity in the form of the hotel proposal. In addition to the advantages to a hotel use on this portion of the site, the inclusion of the Wellesley Street sleeve for NZICC use allowed significant moving south of key circulation and BOH spaces, permitting the creation of the laneway along the northern boundary.

The hotel site is bisected by the TVNZ-Waiaerua microwave transmission shaft across its north west corner at high level, and is constrained vertically by the E10 view protection plane (of Mt Eden from the northern motorway Harbour Bridge approaches) approximately 34m above street level. This allows the creation of 11 hotel floors, above a ground floor lobby with 5m ceiling height. The mass of the existing TVNZ building is confined to the Victoria Street edge, with the rest of that site occupied by relatively low level buildings. As a result there are opportunities for high quality views and natural light from north facing rooms that avoid the construction of a blank wall to the north.

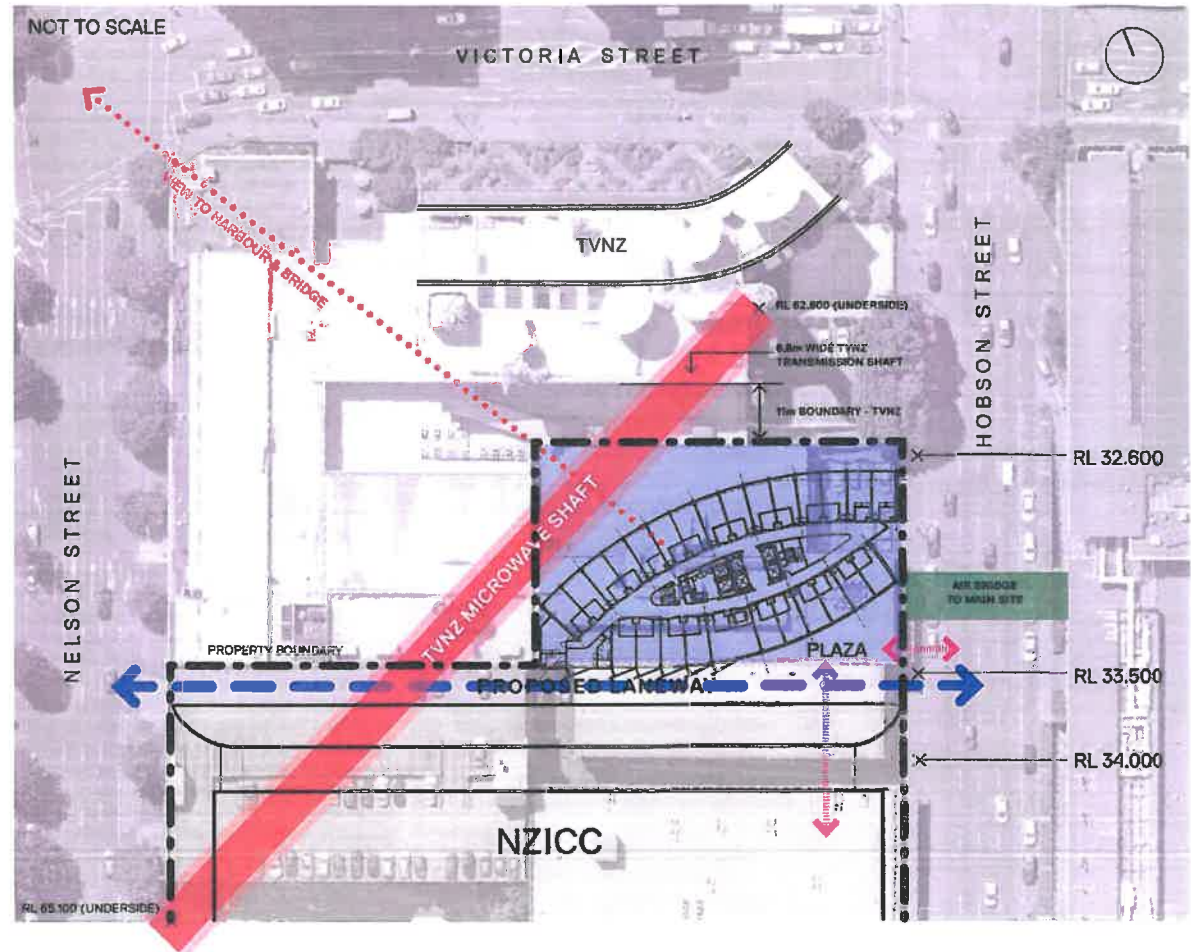
The plan form of the hotel responds to these site constraints by creating a double-loaded central corridor with two curved accommodation wings oriented east/west. This diagram relates well to the existing form of the TVNZ building. On the north side of the building, these rooms have views overlooking the Victoria Quarter, and at higher level, Victoria Park and the Auckland Harbour Bridge. On the south side, the building curves away from the NZICC spine wall allowing the laneway to widen into the plaza and open up space and views south down Hobson Street.

### BUILDING FORM AND ARCHITECTURE

The hotel facade treatments are designed to assert a building identity distinct from, yet complementary to, the more civic character of the NZICC. Each curved wing is clad with a fully glazed curtain wall system, overlaid with an overlapping systems of glazed shaped fins to control shading and views. This creates a richly varied facade treatment that allows the characteristically cellular interior of the hotel to activate the exterior views of the building - see rendered view opposite. This theme is applied similarly to the south-facing facade and adapted to form angled 'guardsvan' windows where immediately adjacent the NZICC. These maintain privacy by creating longer oblique views down the laneway.

At ground level, the hotel lobby forms the northern edge of the NZICC entry plaza, activating its edge with the main hotel entry point and retail tenancies, including a large restaurant at the top of the laneway stairs anchoring this area and extending north beneath the hotel to a courtyard at the north. This zone is at the intersection of a number of key activities: an entrance into the NZICC spine wall; the point at which the plaza tapers and begins its level change down to Nelson Street; and the western edge of the hotel mass beyond which the laneway space opens to the sky along its northern edge.

The hotel ground floor has two entry points through revolving doors; one directly east from Hobson Street, and a second accessed from the plaza directly aligned with an entry into the NZICC gallery. The lobby is arranged to create long views deep into the plan when viewed from both the street and the lane, breaking up the internal mass at ground level and activating the plaza space.



HOTEL SITE CONSTRAINTS DIAGRAM





HOBSON STREET HOTEL

# ARCHITECTURAL DESIGN STATEMENT

## 03 THE SITE & MASTERPLAN RESPONSE

### 3.7 HOBSON STREET AIRBRIDGE

A pedestrian airbridge is proposed, connecting the NZICC to the existing SKYCITY Main Site atrium and allowing access to existing pedestrian links east as far as the Albert Street CRL station - see diagram below. This connection runs through, but is separated from, the H4 level of the proposed hotel, allowing access to a dedicated lift for access independent of NZICC use.

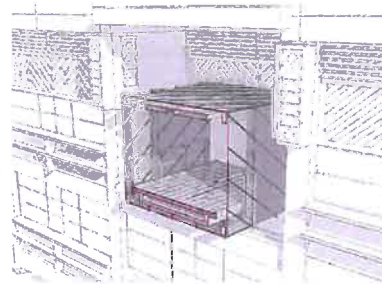
The connection is created in two raised links; a 32m long primary span between the hotel and Main Site over Hobson Street, and a smaller 9m span between the NZICC and the hotel over the plaza. The bridge coincides with NZICC level 4 - the

truss level meeting areas. The landing point is immediately between the main passenger lifts, which run through all NZICC and carpark levels. Glazed doors are used to create a secure lobby around these lifts, allowing the NZICC to continue hosting a convention function while allowing the airbridge to connect down into the NZICC gallery, plaza or carpark levels.

The bridge runs through the interior of the hotel, with rooms removed at H4 to create effectively an enclosed gallery or promenade which overlooks the plaza. This is generously sized, and includes a separate dedicated lift between the bridge level and the plaza at street level, offering further flexibility for pedestrian access.

The main airbridge spans Hobson Street at a height of 11m above street level, connecting at right angles

into the SKYCITY Main Site at what is currently an external balcony. This location allows the connection with the existing building to be recessed into the plan creating a 'sleeve' that allows a light connection as shown below.



### FORM AND EXPRESSION

Historically, airbridge connections within the central city have been of very simple braced truss design with little formal expression. By delivering this bridge as part of a larger development there is an opportunity to create a design element that is informed by and further complements the hotel and NZICC precinct.

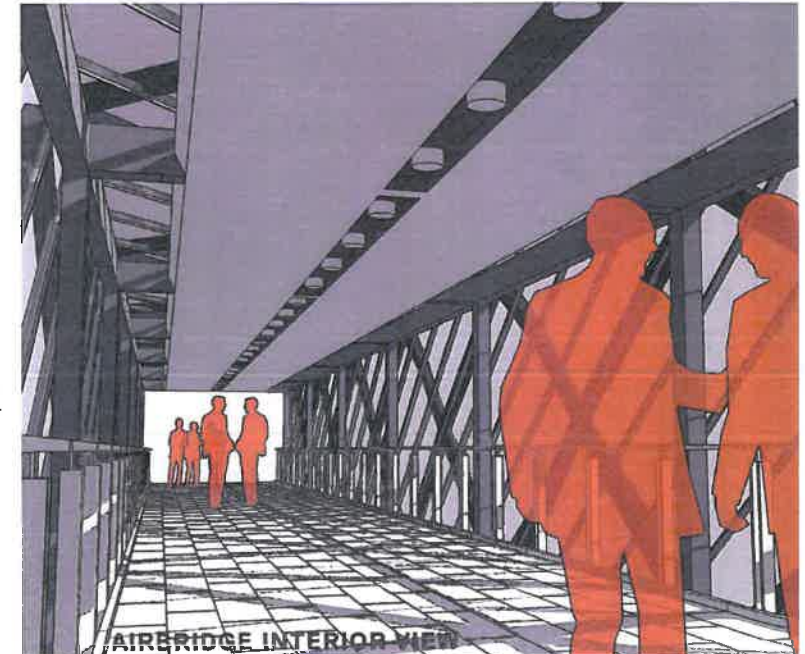
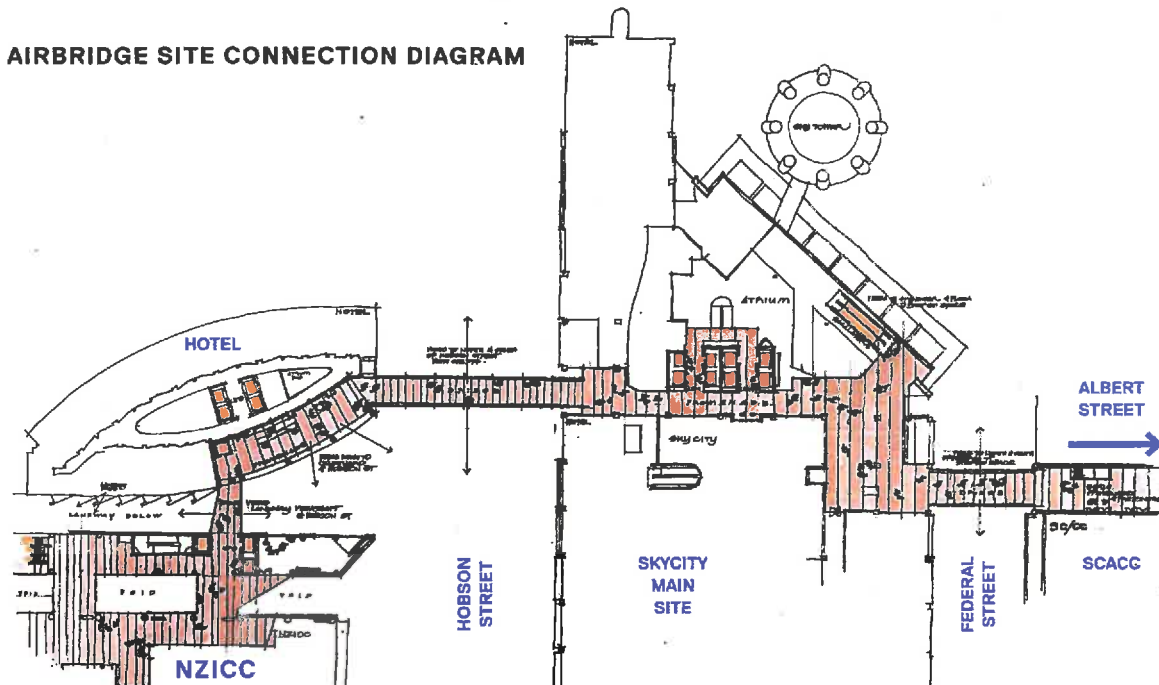
Beginning with the basic force diagram required to span such a significant distance, the NZICC airbridge 'explodes' this diagram and expresses the diagonal structural bracing elements outside a glazed weather enclosure, with the orthogonal post and chord members within. This layering creates visual interest from both within the bridge walkway and when viewed from below - a view which should be treated with equal importance as the more typical street level views. The glazing and structural framing are wrapped around all four sides, and along with the use of lighting

this treatment creates a vibrant and lightweight appearance under differing daylight and weather conditions - refer also the image on the preceding page.

The diagonal motif is a device that relates legibly to both the existing decorative treatments of Main Site and the proposed facade language of the new Hobson Street Hotel.

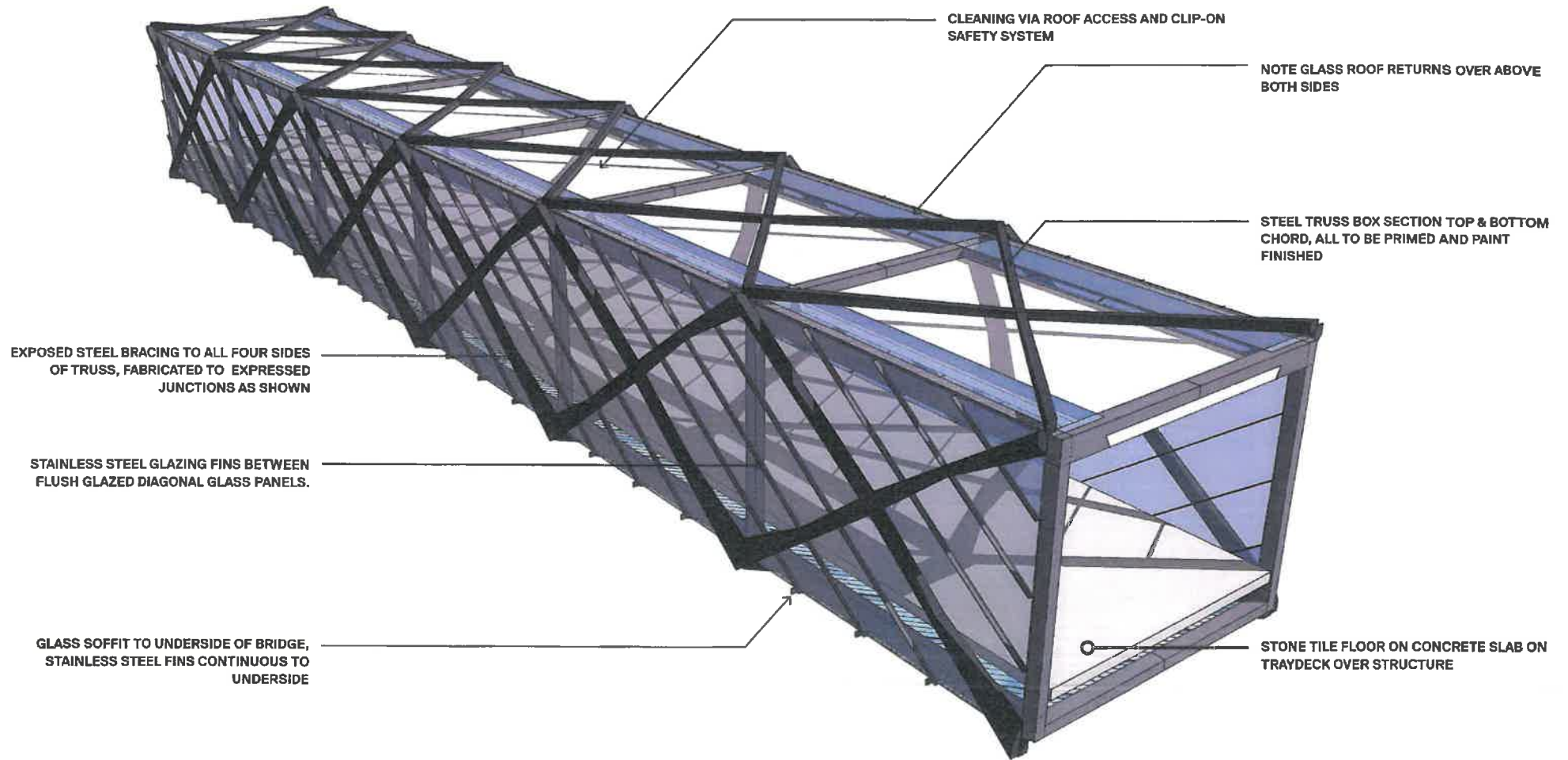
This is developed further to create the diagonally 'woven' glazing orientation, which is edged with small brushed stainless steel inserts as shown on the diagram opposite. This creates a subtle underlying texture to the glazing which contributes interest and vibrance from both within and outside the bridge - an environment that is treated as continuous from SKYCITY through to the NZICC.

### AIRBRIDGE SITE CONNECTION DIAGRAM





HOBSON STREET HOTEL



**AIRBRIDGE PERSPECTIVE VIEW - MAIN SPAN**

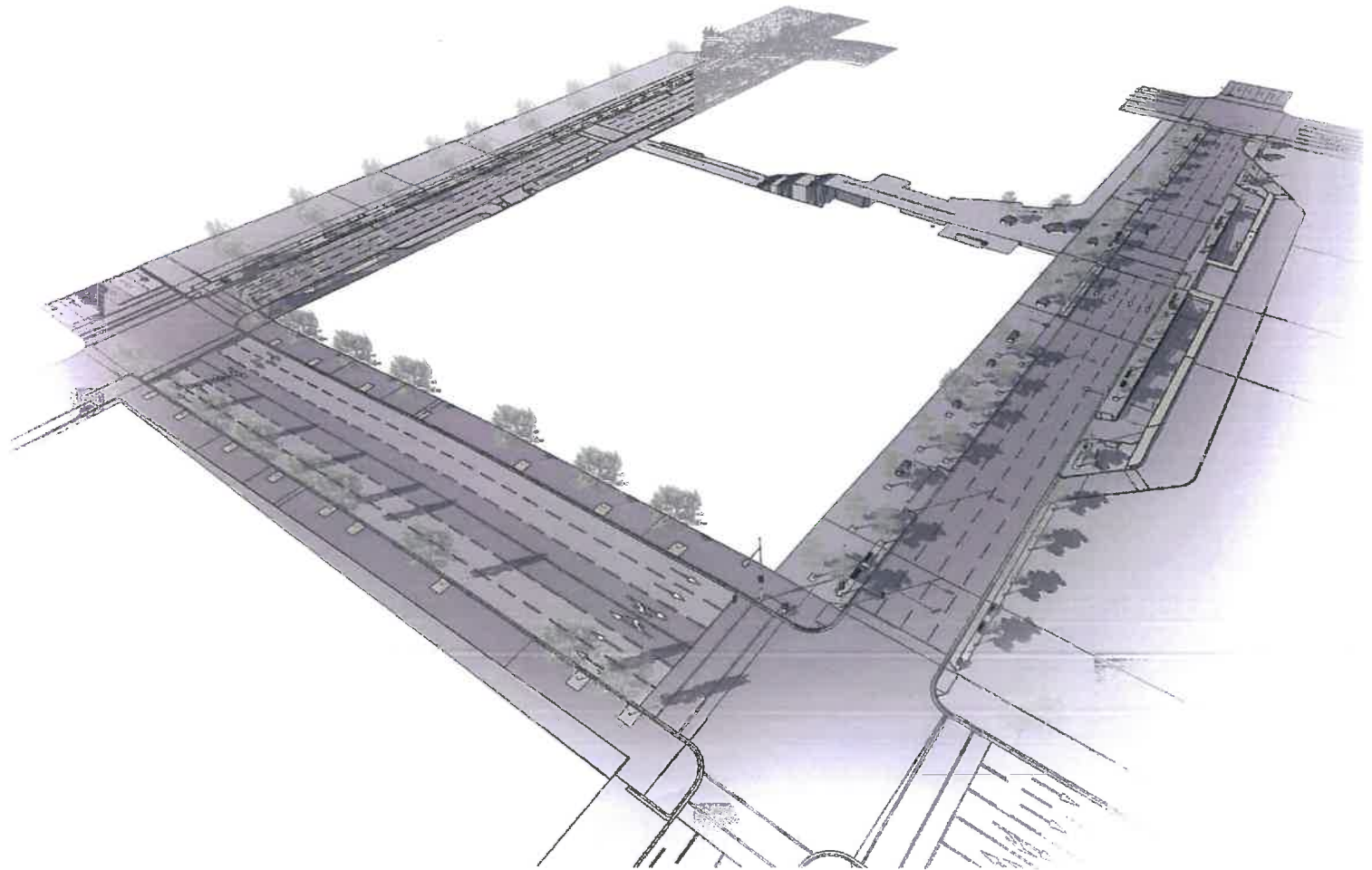
# ARCHITECTURAL DESIGN STATEMENT

## 04 STREETScape, EXTERNAL PUBLIC REALM, ACCESSIBILITY

The integration of the architectural and urban design of the edges of the Convention Centre with the urban design and landscape architecture of the streetscape will be a fundamental driver of its success.

The streetscape, external public realm, and accessibility of the centre have all been critical aspects of the design and have informed the master-planning and concept design of the centre. These aspects and requirements have been designed by Boffa Miskell in collaboration with the architectural design team and are detailed in Boffa Miskell's design report.

The design process has also involved extensive consultation and collaboration with Urban Designers and Landscape Architects from Auckland Council's Built Environment Unit, and also Transport Planners and Engineers from Auckland Transport. This has assisted in achieving the design solution for the public realm around the NZICC and for coach drop off on Hobson Street, and the use of the space for this purpose has become integral to the viability of the overall design solution proposed and the future success of the NZICC.





LANEWAY CUTAWAY VIEW

# ARCHITECTURAL DESIGN STATEMENT

## 05 SIGNAGE

The signage strategy for the NZICC preserves the civic character of the architecture.

A series of guiding principles control the size and arrangement of signage, to integrate the identity and wayfinding functions with the architecture. These principles are:

- Preserve civic character as opposed to commercial character;
- Avoid signage to upper levels of the building;
- Develop a suite of unique but complementary signage strategies for the various types of signage, including those of the hotel;
- Prioritise legibility and intuitive wayfinding;
- Build in flexibility to address the changing event and wayfinding signage required in the operation of the Convention Centre, including the development of separate visual identities as required to achieve successful concurrent use
- Utilise digital signage technology to deliver required flexibility.

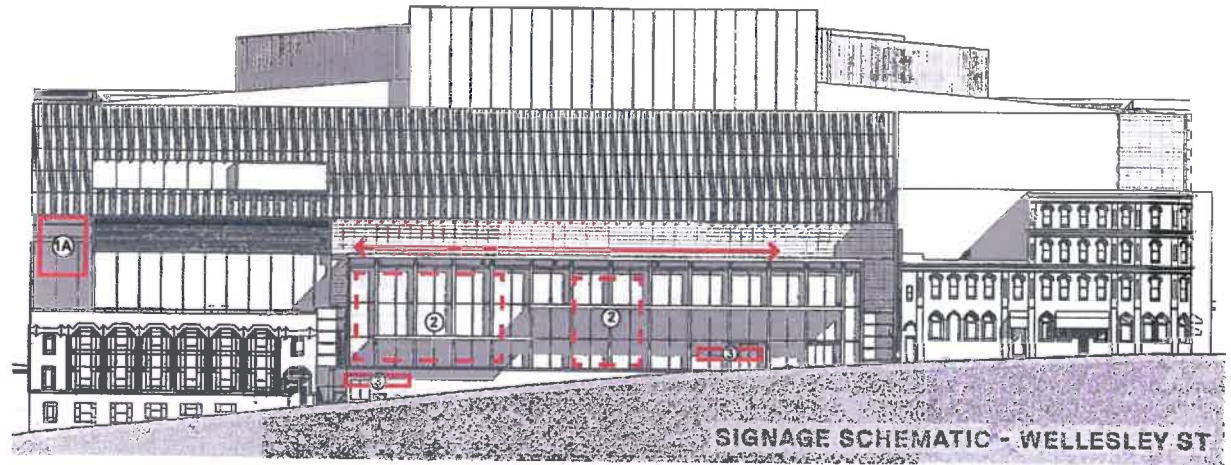
Further detailed assessment of this strategy can be found in the Boffa Miskell Urban Design package, excerpts of which are shown at right.

### NOTE:

Location and dimensions of signage are indicative only for the purposes of Urban Design Panel

### LEGEND

- 1A** Large scale permanent NZICC building signage  
Indicative dimensions:  
5.0m x 7.0m
- 2** Large scale temporary event signage. External facing behind glass line; up to 50% of glass frontage length  
Indicative dimensions:  
Large panel 16.0m x 8.0m  
Small panel 6.5m x 8.0m
- 3** Small scale permanent signage



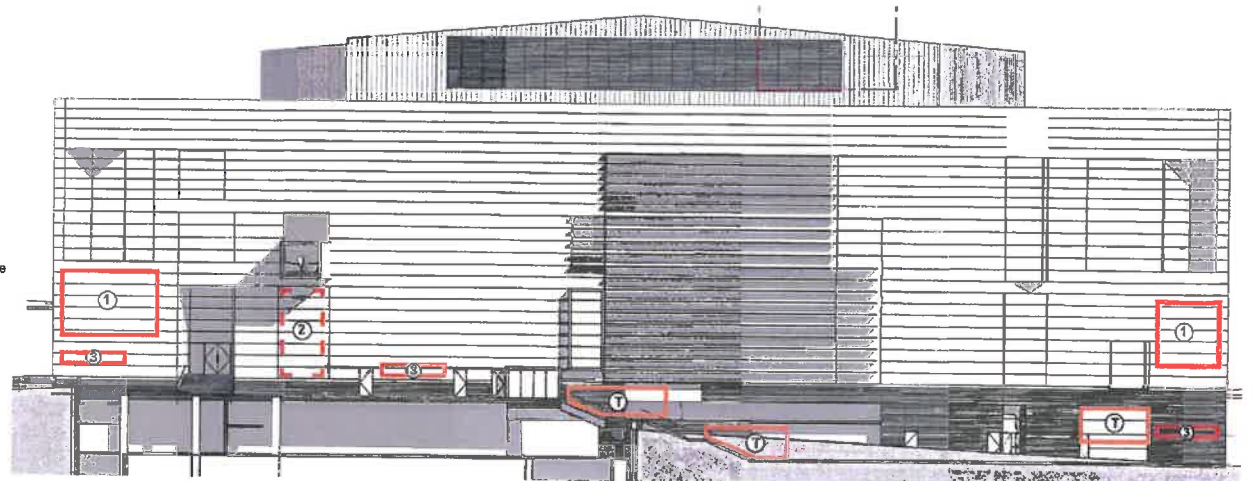
### NOTES:

Location and dimensions of signage are indicative only for the purposes of Urban Design Panel

Refer separate sheet for laneway signage strategy providing details of signage for laneway tenancies

### LEGEND

- 1** Large scale permanent NZICC building signage  
Indicative dimensions:  
10.0m x 6.0m
- 2** Large scale temporary event signage. External facing behind glass line;  
Indicative dimensions:  
4.5m x 9.0m
- 3** Small scale permanent signage
- T** Tenancy signage zone.  
Flexibility for wall and protruding signage.



# ARCHITECTURAL DESIGN STATEMENT

## 06 THE NEW ZEALAND INTERNATIONAL CONVENTION CENTRE

### 06.1 OVERALL FUNCTIONAL LAYOUT & MASSING

The Convention Centre essentially occupies a rectangular footprint bounded by Hobson Nelson and Wellesley Streets and is constrained to this footprint by property boundaries and these street edges. The various functions are therefore arranged vertically and connected by front of house and back of house lifts, and escalators.

The main loading dock is located below ground, accessed from one main vehicle access point off of Nelson Street. This vehicle crossing is combined with the main access into the car park. It was decided that out of hours truck access to the exhibition halls by the largest vehicles would be off of Hobson Street directly into those spaces through an operable door within the facade. Locating the exhibition halls at this level avoided the need for large-scale intrusive truck ramps needing to be built up from below or further up from Hobson Street to a higher level.

#### BELOW GROUND

Four levels of car parking, storage, and plant-rooms are designed below ground (below Nelson Street level) with a connection through the existing tunnel to the current SKYCITY car park across Hobson Street. These levels are all accessed from the main vehicle entry off Nelson Street, thus avoiding ramps down the 7m level difference from Hobson Street.

#### LEVEL ONE

At the level of Nelson Street (level 1) is located the main loading dock, main kitchen, further car parking, supplementary coach drop off, offices, and the western entry at Nelson Street to the front of house (FOH) circulation gallery. Access through to the hotel loading dock is also gained at this level. Two retail and food and beverage tenancies activate the north-western corner facing Nelson Street and

the laneway. Staff changing and locker rooms are located in the south western corner as is a staff entry off Wellesley Street West. This staff entry is integrated with the existing detailed entry porch and canopy of Nelson House which will be restored and will include the reconstruction of the lobby space inside this entry.

#### LEVEL TWO

Level two is effectively a mezzanine level that supports the transition architecturally and functionally between Nelson Street and Hobson Street levels, accommodating the staff entry off Wellesley Street West through Nelson House, as well as food and beverage tenancies in the laneway. Further parking is also located to the east of the site below Hobson Street. Beneath the hotel also at this level, is a covered taxi drop-off / valet area.

#### LEVEL THREE

Level three can be considered the 'ground floor' of the centre, and is accessed at grade from Hobson Street. This level accommodates the large multi-purpose flexible volume of the exhibition halls – a single space approximately 120m wide, 75m long and 9.5m high. This volume will be used in many different configurations however it is essentially three main halls divided by operable walls and 'swing spaces' running north-south that provide side access. Public circulation, fire escape stairs and toilets facilities are located in the north. In addition, there are service lifts rising up from the loading dock and further escape stairs in the south. This level is also the main lobby level of the Hobson Street Hotel and the shared NZICC / Hobson Street Hotel arrival plaza. From the plaza there is an invitation to move down into the amenity of the laneway.

#### LEVEL 3M

A mezzanine level is created above the Wellesley Street gallery (mid level between the exhibition floor and the truss zone) at the southern end of the facility only, housing plant rooms and backup electrical generator equipment.





# ARCHITECTURAL DESIGN STATEMENT

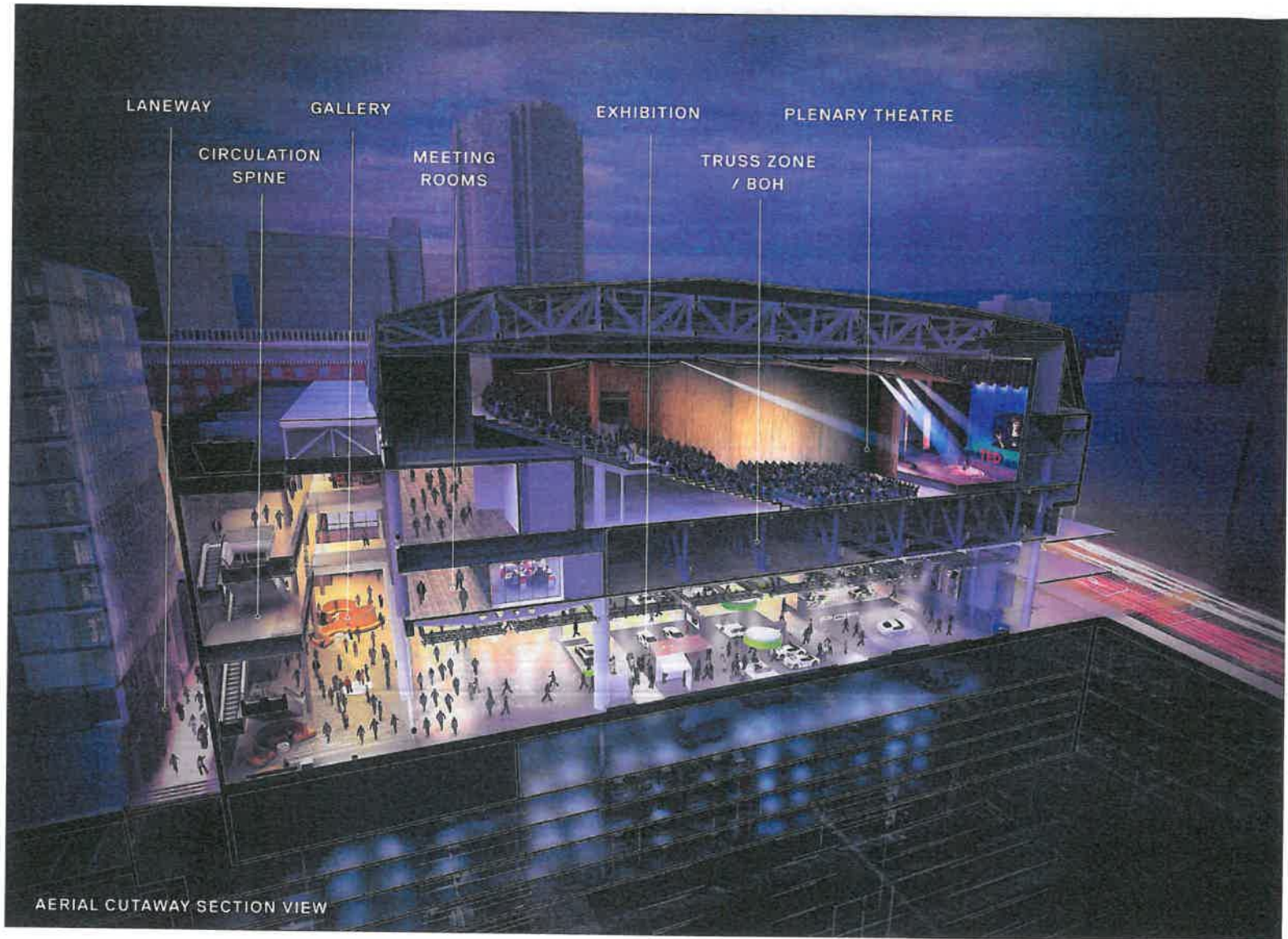
## 06 THE NEW ZEALAND INTERNATIONAL CONVENTION CENTRE

### LEVEL FOUR

Level four (also known as the "Truss Zone"), creates a central operational heart for the facility, with the main scullery, staff room, operational management offices, and significant storage areas all housed here. Major plant-rooms also house air-handling equipment serving the exhibition floor below and the plenary level above. Banks of louvres run full length and full height along the east and west facades, providing inlet area to these systems. At the northern end of the building large areas of flexible meeting rooms are located adjacent to the circulation gallery, including two meeting rooms in the northern spine wall.

### LEVEL FIVE AND ABOVE

Level five houses the Plenary Theatre - a multi-purpose space that can act as a theatre for up to 3000, can be divided in two to serve concurrent plenary sessions, as well as working as a banquet space, concert venue, and supporting many other possibilities. Flanking this central theatre are further meeting rooms and in the south western corner the venue's premier banquet space known as the "Sunset Room". Large public pre-function areas connect all of the individual spaces and are also function and event spaces in their own right. The fully glazed facades to the east and the west offer un-interrupted views to the city, the Waitakeres, and the sky. Two boardroom style meeting rooms occupy the northern spine, with spectacular views to the city and the harbour. Significant toilet facilities, serveries, and storage areas are also housed on this floor within the central form of the plenary theatre.



AERIAL CUTAWAY SECTION VIEW

# ARCHITECTURAL DESIGN STATEMENT

## 06 THE NEW ZEALAND INTERNATIONAL CONVENTION CENTRE

### 06.2 FACADE AND ROOF DESIGN

A building of this scale and use offers the opportunity to create an enduring work of architecture – both in terms of its physical durability and its architectural impact. From the outset a series of compositional decisions that result in simple powerful forms that celebrate and work with this scale have been taken. Opportunities for activation and providing a human scale are then preserved through the planning of the facilities circulation and the weaving in of architectural elements and spaces. Firstly the master plan responds to the site's urban context and qualities. The architectural composition is then informed by the site's outlook to the west, the slope down between Hobson and Nelson Streets, the expression of the vertical arrangement of the major functions, and also the inter-relationships outlined earlier with the heritage buildings – Nelson House and the Albion Hotel.

The building is designed within the height limits defined on the site in the first instance by the development controls (a rolling 50m height limit) and secondly by the overlay of the E10 view-control plane over the site. Another relevant constraint is the microwave transmission corridor located on the roof of TVNZ. This corridor passes diagonally across the north-western corner of the site. The overall height of the NZICC and the curved form of the Hobson Street Hotel in part responding to the presence of this corridor. A further relevant development control is the requirement to develop at the street edge to a minimum height of 19 metres (above mean calculated street level). The design stops short of this height at the Wellesley Street West street edge in favour of achieving a harmonious relationship described earlier in this report with the scale of the Albion Hotel and Nelson House. This approach has been developed in consultation with Auckland Council Built Environment Unit and has been presented to and supported by the Urban Design Panel.



# ARCHITECTURAL DESIGN STATEMENT

## 06 THE NEW ZEALAND INTERNATIONAL CONVENTION CENTRE

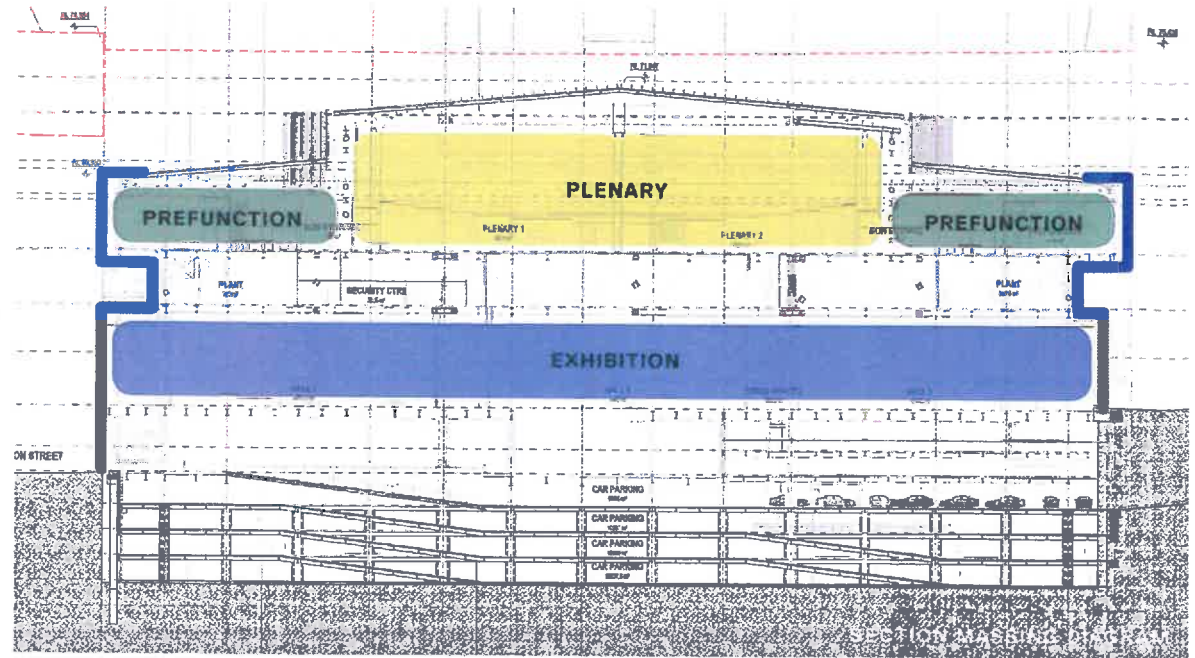
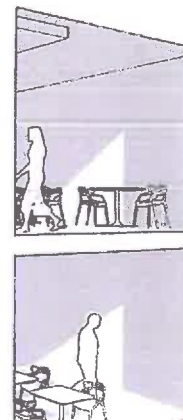
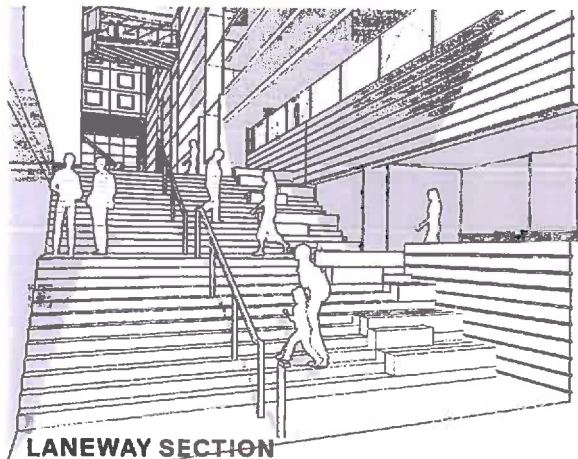
The northern elevation of the building ranges in height from approximately 28m at Hobson Street to 35m at Nelson St and is proposed to be clad in horizontally banded, textured, and coloured precast-concrete panels. Large expanses of glazing provide controlled views both in and out of the building - from the laneway and the upper floors - to views of the city and the harbour beyond. These openings are variously flush, inset, and projecting. Their variation in scale and the relief to the surface of the wall that is achieved provides modulation to the facade. Shadowing occurs during the day as the sun passes across to the west. At night the activity and changeability of the use of the centre will be expressed by movement in and out of the Centre from the laneway, the activity of people using the lifts, and movement across the interconnecting bridge above to the hotel. The potential dominance of the wall at its Nelson Street end is reduced through these measures, without reducing the architectural strength of this element. At the base of this wall the texturing of the concrete will be more detailed with deep grooving within the precast. This will provide a greater level of texture at the interface between the wall and the laneway, where pedestrians occupy the space and interface with the wall, as shown below.

On Hobson Street the NZICC has a simple frontage, running south at a height of 25m for the majority of its length. The precast concrete of the northern

circulation spine angles in to the revolving door of the main entry, sheltered by a glazed canopy. The fully glazed exhibition hall then runs south facing the street, with the glazing rising up to a height of over 10m. Above this a substantial setback back to the louvres of Level 4 provides relief to the height that would otherwise have been facing on to the street. Above this anodised aluminium cladding panels line the soffit out to the facade of glass fins and glazing of the pre-function spaces at the plenary level. These steps in and out in cross-section combined with the transparency of the facade reduce the overall bulk of the building, and create a visual relationship from the outside in and the inside out, and are illustrated in the diagram to the right. A 4m deep canopy runs the full length of the facade, providing shelter against the building from both wind and rain.

At the interface with the Albion Hotel a vertical 'cassette' of terracotta cladding provides a suitable transition to the masonry facade and smaller scale of that building. The base of this is occupied by a 'micro cafe' that will provide activation facing the street.

Moving south and around the Albion Hotel onto Wellesley Street West the building is then set back at a high level, and at the street edge a glazed entry pavilion holds and activates the street frontage. A public entry is provided off of the street and the



slope of the street is managed by a rusticated clad base to this pavilion that echoes the base of the Albion Hotel and Nelson House. A series of vertical blade columns and a stepped canopy give greater detail to this facade. Above this at high level the southern elevation of the plenary level is clad in precast concrete panels - and in this location they have a vertical jointing and patterning. Higher still is the back-lit glazed rectangular form of the plenary theatre. This feature returns around each side of this form, giving life and quality to what would otherwise be a large blank expanse of cladding.

At the junction of Wellesley and Nelson Streets the corner is addressed through the integration with the three dimensional form of Nelson House described earlier in this report. To the north of Nelson House the main vehicle entry beneath the exhibition hall is approximately 16M wide and then to the north of this a retail tenancy transitions between this entry and the Nelson Street entry to the circulation gallery. This tenancy has glazing

and the opportunities for openings out onto the footpath. Above this the exhibition hall glazing, level 4 set-back and glass fins and glazing of the Hobson Street frontage is repeated on this western elevation. This provides the same high level of transparency and openness from the large-scale deep-plan spaces inside the centre to the street, the city, and the western views beyond.

The roof of the NZICC features the plenary form and houses a variety of roof-top plant, in particular smoke exhaust fans. The form and materials of the architectural roof design balance the need to coordinate with the most efficient structural design as well as managing cost. The objective has been a result that makes a positive contribution to the townscape when seen from a distance and from above. The height and alignment of the central form expresses the internal height of the plenary theatre. Around this are the lower slopes of the roof over the pre-function and banquet spaces that drop down to the east and west parapets. The

vertical walls of the southern end of the roof are very visible when walking up Wellesley Street West and down Hobson Street and to reduce their visual impact and express the special function within these walls are clad full-height in back-lit glass. The vertical walls of the plenary form are generally clad in vertical banded steel cladding system to reduce its scale and provide modulation.

At the northern end of the roof a series of sky-lights admit natural light down into the circulation gallery. Smoke exhaust fans are concealed by being set down into the roof between these sky-lights. The northern bulkhead of the plenary form, behind which is located a major plant room, is clad in banks of ventilation louvres.



MEDIATING MASS  
BETWEEN NZICC &  
ALBION HOTEL

DEEP RECESS AT  
LOUVRE ZONE

CANOPY TO STREET  
EDGE

SPINE WALL  
RETURNS BACK TO  
MARK ENTRY

HOBSON STREET VIEW

# ARCHITECTURAL DESIGN STATEMENT

## 06 THE NEW ZEALAND INTERNATIONAL CONVENTION CENTRE

### 06.3 NZICC OPERATIONAL DESIGN

#### FRONT OF HOUSE

Front-of-house spaces including pre-function spaces have been designed with the following characteristics:

- A high quality, flexible environment;
- Maximize external view opportunities; daylight and outlook;
- Have the capacity to host stand alone functions;
- Provide for both large and small scale spaces for informal gathering and pre-function activities;
- Have extensive audio visual infrastructure;
- Incorporate break out zones to accommodate unprogrammed social interaction;
- Be easy to secure; have easy legibility and way-finding for delegates; ability to control crowd movement;
- Provide clear orientation and directional elements that are incorporated into the base building design;
- Provide registration space with supporting utility services;
- Provide technology to allow for flexibility of events

#### BACK OF HOUSE

The back-of-house facilities have been designed to:

- Be distributed relative to loading and service requirements;
- Be in close proximity to halls and meeting rooms;
- Incorporate localized storage areas
- Be evenly distributed across the facility;
- Incorporate localised serveries, evenly distributed across the facility.

#### 05

PLENARY LVL  
(MULTI-FUNCTION LOCALISE STORAGE)

#### 04

TRUSS LVL  
(CENTRAL STORAGE & ACTIVITY CORE)

#### 03

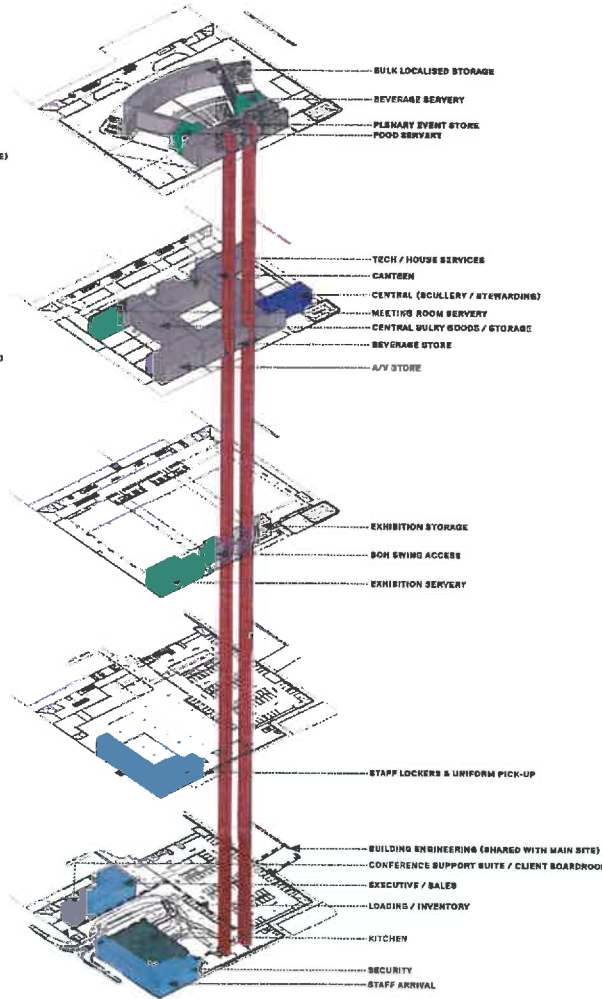
EXHIBITION LVL  
(SEWING & EVENT STORAGE)

#### 02

MEZZANINE  
(STAFF CHANGE FACILITY - FLOOR)

#### 01

LOADING LVL  
(VEHICULAR BOM & KITCHEN)



BACK OF HOUSE ORGANISATIONAL DIAGRAM

#### ADAPTABLE AND FLEXIBLE

A key design focus for the NZICC has been balancing the needs for hosting larger events, multiple simultaneous events and maximising the flexibility and functionality of spaces rather than designing spaces around a fixed size. Given that the size of events are typically not increasing (since the 2008 Global Financial Crisis) the facility design has responded to the new complexities of meeting formats. In today's market, international convention centres need to address current trends in the meetings industry and ensure that they are integrated with city amenities and culture.

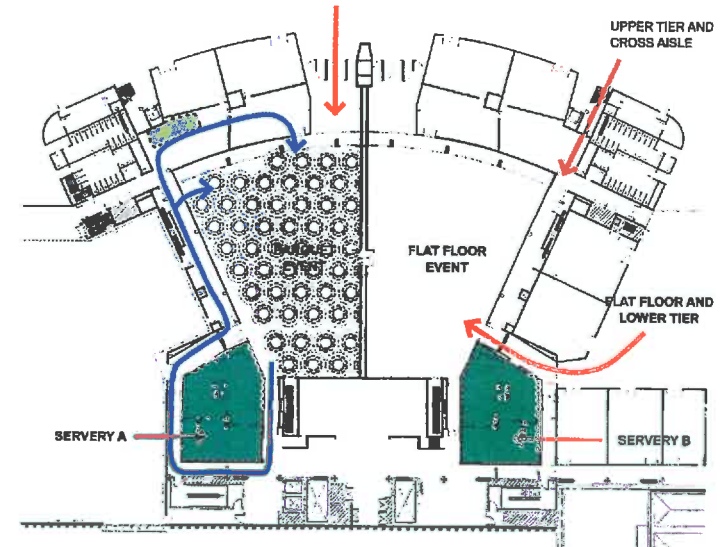
A key effect of these issues is that Centres are putting more emphasis on flexibility and functionality of spaces to provide better services; focusing on qualitative measures such as enhanced services.

For example renting a ballroom space for an event hosting 250 in a space capable of hosting 500 will reduce revenue opportunities. The goal is to be able to host two banquets of 250 concurrently as well as a stand-alone banquet of 500 (in the same space).

This is more complex than it seems given that in order to do so, pre function spaces must be able to support the two events, loading and vehicle access (coach and cars) must be able to support the two events, kitchens must be able to support two events and the circulation both F.O.H and B.O.H most also support concurrency, as shown in the example diagram below.

The NZICC design will set a new benchmark for flexibility and adaptability. The urban response of the lane/gallery/spine (described earlier) allows for multiple access points and supports the hosting of multiple events concurrently rather than the "traditional" front door which requires all the attendees of differing events to cross over/intermingle. This cross-over of differing delegates is disliked by conference organizers who hope to have the venue to themselves no matter how modest the size of their event.

The facility has been fundamentally organised around the separation of delegates both upon arrival but also throughout the centre due to the clear vertical and horizontal separation of pre-function and functional spaces.



EXAMPLE PLENARY CONCURRENCY DIAGRAM

# ARCHITECTURAL DESIGN STATEMENT

## 06 THE NEW ZEALAND INTERNATIONAL CONVENTION CENTRE

### FRONT OF HOUSE AND BACK OF HOUSE ACCESS.

Historically the convention centre model has not been compatible with a good urban context. This model typically saw one side devoted to public access/drop off (often a car park) two sides blank and the rear devoted to loading. This is often referred to as the 'box-with-docks' model.

The design of the NZICC has turned this on its head.

Instead of a large empty plaza with bus parking bays and on grade parking we have the lane and gallery acting as an urban element that reinforces Auckland identity. The sides facing Hobson and Nelson streets are highly transparent and allow the life of the centre to be revealed. Wellesley would normally have been the "loading dock edge". It has been designed as a separate stand-alone front of house entry (supporting concurrency). It is a space that is able to be used for multiple front of house activities.

### LOADING

The requirement of loading has been brought within/below the building. The efficient delivery of goods and equipment to a convention facility is crucial for its success.

Loading takes on two key components:

- The daily delivery of goods such as food to support the running of events. This can largely be achieved with small rigid vehicles
- The delivery of the key exhibition components for a convention. This requires a variety of vehicles including large double-trailer units (B-trains)

This apparent challenge to the urban fabric has been significantly mitigated in three ways:

- All small and medium vehicle loading occurring below the building at a dedicated loading dock hidden from the street. The vehicle access movements to this loading dock (via Nelson Street) will be no more significant than any other large building within the city. The loading dock is serviced by a series of large goods lifts which access every level of the facility.

- B-train access to the exhibition level will be directly off Hobson Street onto the exhibition floor. Access will be via a large glass roller door. This door in turn acts as an alternative front of house access point. All loading will happen within the building (directly onto the exhibition floor). Goods can be distributed from this level (if required) by the large goods lifts which service every level.
- Logistics: the loading for NZICC will be managed by a logistics company off-site. The large multiple vehicles that are required to set up a major event will be handled away from the CBD. Vehicles will then be called to the NZICC as required and in a carefully controlled manner. Importantly this happens largely outside of business hours and mostly overnight. As such the urban and traffic impact often associated with facilities like the NZICC are avoided.

### COACH DROP OFF

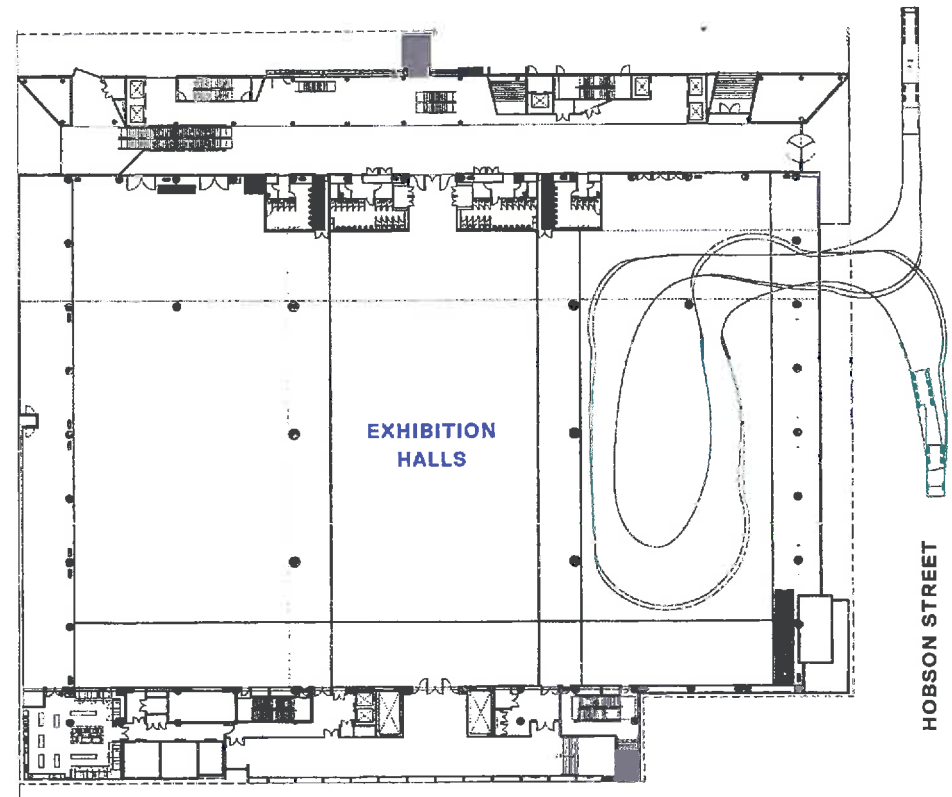
Coach pick up and drop off is a fundamental requirement of any convention facility. However the nature of this requirement is often misunderstood. The perception that delegates arrive to the centre by bus is largely incorrect. Most delegates choose hotels within walking distance and it is the experience of walking to the venue that they seek out. The experience of the city is one of the key reasons they have sought to attend the conference (along with the core program). In turn the city benefits most if the delegates are walking to and from hotels and restaurants.

The old model of delegates travelling by bus to the remote (to the CBD) convention centre is slowly becoming a thing of the past. The NZICC as an urban facility has been designed with a new city context in mind

What this means is that the anticipated congestion from large numbers of buses at peak hour will rarely occur. In the rare occasions this happens it can be well planned for to miss peak traffic movements.

However a core component of most conventions events are the "tours". Typically these tours occur on the last day or take place after morning sessions. These events involve a smaller number of delegates and can be programmed to avoid congestion.

To avoid congestion and support multiple events the design of the NZICC has taken the coach drop off design a step further. Hobson Street has been designed to allow for coaches to park off the roadway to pick up and drop off people. In addition to this a coach drop off/pick up bay is accessed off Nelson Street and is contained fully within the building (away from the street and traffic and directly linked to the gallery/ pedestrian entry). This drop off supports VIP delegates, all weather access and concurrency (a separate event from that requiring coaches on Hobson Street).



EXHIBITION FLOOR LOADING / TRACKING

# ARCHITECTURAL DESIGN STATEMENT

## 07 CONCLUSION - THE OUTCOME FOR AUCKLAND & NEW ZEALAND

**THE NZICC IS AN OPPORTUNITY TO MAXIMISE THE MUTUAL BENEFITS THAT PROJECTS OF THIS TYPE PRESENT. THE KEY BENEFITS CAN BE SUMMARIZED AS FOLLOWS:**

### FOR THE OPERATOR:

Grow a sustainable business with a global reputation and brand

### FOR AUCKLAND:

Assist Auckland's vision to become the most liveable city in the world and one of the world's recognised vibrant and innovative city brands.

Catalyst for contained and accelerated regeneration underway in Victoria Quarter in a manner consistent with Auckland Council and Auckland Transport projects including City Centre Masterplan and CRL.

### FOR NEW ZEALAND:

Grow tourism and business opportunities, expanding the New Zealand's economic base and brand.

**THE DESIGN HAS ALSO RESPONDED TO SEVERAL KEY ISSUES:**

### STRONG COMPETITION WITHIN THE SECTOR:

There are more facilities operating in a tighter economic context. The design has responded to this competition by developing a design for the NZICC that is an authentic city experience, providing a point of difference that is derived from seeing the urbanity of the site as an opportunity rather than a constraint. The flexibility and adaptability of the centre is aimed at providing more sources of income – both in their type and scale.

### ECONOMIC BENEFIT:

A growing recognition of the economic benefit of the convention industry to a city both in terms of direct benefit (tourist-spend) and indirect benefit (business opportunities/connections). The facility must be able to host global and regional events of scale whilst also supporting the local community.

### THE WORLD HAS BECOME MORE CONNECTED:

This has provided both opportunities and risks for

Convention Centre operators. Today's technology is impacting upon a facility's reputation. A bad (or ordinary) experience is communicated in an instant. The design aims to be both an exemplar of urban design/architecture and functionality.

### THE URBAN CONVENTION CENTRE:

Gone are the days of the box with docks. The NZICC will be a part of Auckland's family of public buildings. It will be seen as much as a mixed use-retail, hotel and entertainment precinct as it will be a typical "convention centre". It will be a driver of urban renewal in the Victoria Quarter. It is exactly this type of vibrant urban experience that will most impress the convention delegate.

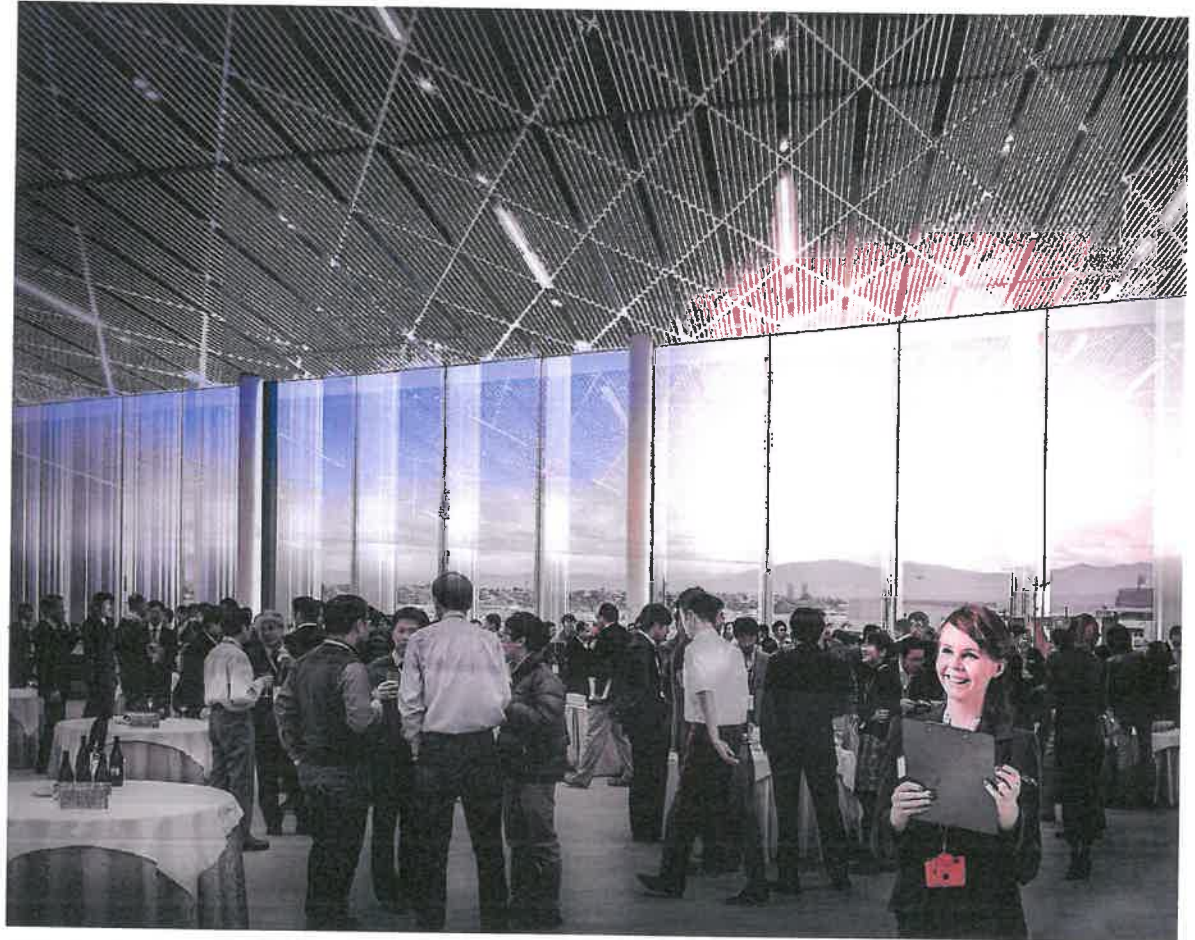
### CITY BRAND:

People are no longer willing to travel vast distances for generic experiences. They are looking for a unique experience/opportunity. For Auckland this means recognition that the NZICC is a key part of the national and international brand.

The NZICC will be of the highest operational and functional standards; flexible, technologically advanced, environmentally sustainable, provide international quality building services, offer the highest quality service (food and people) and allow for future adaptation.

The distribution of entrances and the openness of its signature spaces need to create activity all around the building, animating the public spaces around it and making the building feel approachable. The mezzanine levels in the building will be the most sought-after venues in the city. These spaces offer panoramic views of the city and harbour beyond, and must be designed in such a way as to allow fast and effortless conversion, from meeting and exhibition functions to banquet and performance use, ensuring that they will be available for local events as well as for exhibitions and association meetings

There is probably no conceivable asset that could be more effective in bringing life and vitality to the city. This project will link the emerging Victoria Quarter precinct to the CBD and Queen Street. The constant presence of events open to the city both day and night will create the vibrancy that is lacking today in this quarter of the city. The building will be open to the city, alive and engaging. The aim for the



building is for it to not be seen so much as a stand-alone building, but as a major step toward creating a new urban quarter that will be seen in time as one of the most valuable assets in Auckland. In conjunction with the Hobson Street Hotel and lane elements, it is enhancing the experience and quality of the design of the whole quarter of the city that is the goal of this design. The high quality of the architecture, and the compelling public spaces to

which it will give shape and substance, will be at the centre piece of this new quarter, which the Convention Centre will both inspire and give rise to.

Auckland will become one of the region's key meeting places and this will be a key driver for marketing its international brand and reputation. Importantly NZICC will also be relevant to the residents of both Auckland and the whole of New

Zealand, being seen as part of a growing suite of civic facilities and a driver of local urban renewal and national economic success. The characteristics that will give NZICC a competitive edge in the meetings market are precisely those which will enhance its value as a community asset. These characteristics are also synonymous with New Zealand's identity in our region and the world.

